



# SITE DEVELOPMENT PLAN, AMENDMENT NO. 9 TO

## LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24

### LOCATED IN THE SOUTHWEST 1/4 OF SECTION 22 AND THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN

### TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**LEGAL DESCRIPTION:**  
 LOTS 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24, ACCORDING TO RECORDED PLAT THEREOF, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- SITE DEVELOPMENT PLAN GENERAL NOTES:**
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
  - PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
  - THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
  - NO PORTIONS OF THE SITE ARE WITHIN A FEMA REGULATED FLOODPLAIN PER PRELIMINARY FEMA MAP NUMBER 08035C0167G, DATED MARCH 16, 2016. THE SITE IS LOCATED IN FLOOD HAZARD ZONE X.
  - ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
  - THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
  - APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
  - NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
  - ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE RE-PLAT.
  - THIS SITE IS ZONED BUSINESS/COMMERCIAL AS PART OF THE PROMENADE AT CASTLE ROCK PLANNED DEVELOPMENT RECORDED JULY 22, 2015 UNDER RECEPTION NO. 2015051491.
  - UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
  - RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
  - A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
  - THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

- FIRE NOTES:**
- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
  - FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
  - APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
  - DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
  - FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
  - FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
  - "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
  - IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
  - THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

**OWNERSHIP CERTIFICATION LOT 6A-2 & 5A-3**

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

JUSTRIAN PINE, LLC, A COLORADO LIMITED LIABILITY COMPANY  
 BY: PROMENADE CASTLE ROCK, LLC, A DELAWARE LIMITED LIABILITY COMPANY,  
 ITS MANAGING MEMBER

BY: ALBERTA CASTLE ROCK MANAGEMENT, LLC  
 A COLORADO LIMITED LIABILITY COMPANY,  
 ITS MANAGER

BY: \_\_\_\_\_  
 DONALD G. PROVOST, MANAGER

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY DONALD G. PROVOST, AS MANAGER OF ALBERTA CASTLE ROCK MANAGEMENT, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGER OF PROMENADE CASTLE ROCK, LLC, A DELAWARE LIMITED LIABILITY COMPANY AS MANAGING MEMBER OF ALPINE CURRANT, LLC, A COLORADO LIMITED LIABILITY COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**TITLE CERTIFICATION**

I, \_\_\_\_\_, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE

AUTHORIZED REPRESENTATIVE  
 LAND TITLE GUARANTEE COMPANY

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

**NOTARY BLOCK**

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

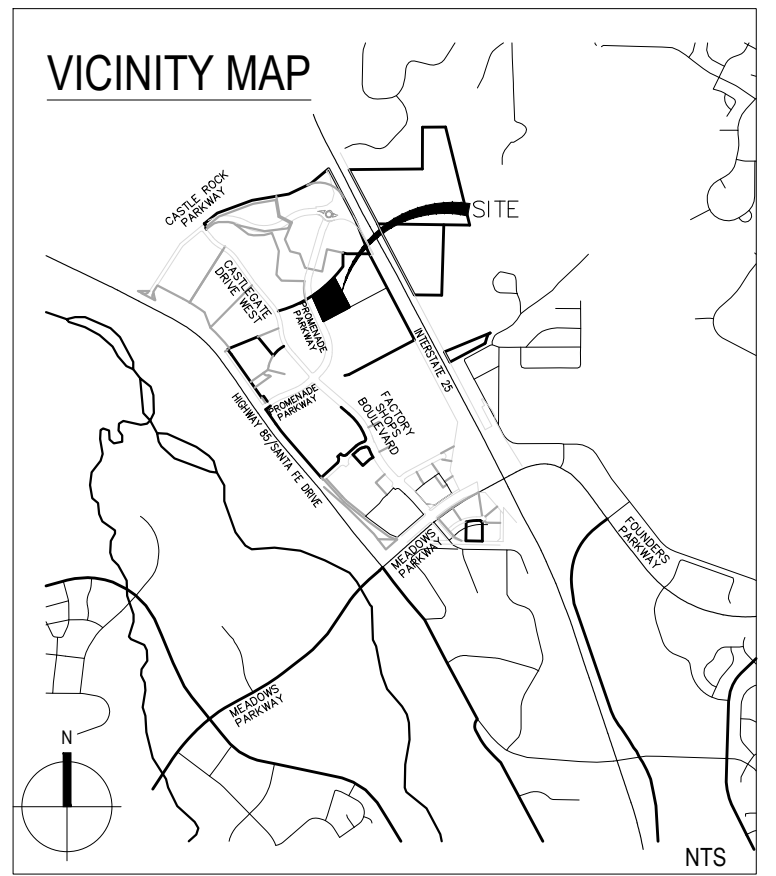
BY \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC  
 MY COMMISSION EXPIRES: \_\_\_\_\_

**PURPOSE STATEMENT**

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN AMENDMENT IS TO REVISE THE PARKING, LANDSCAPING AND SITE LIGHTING ON FOUR LOTS RECENTLY REPLATTED FROM THREE LOTS. THIS SITE DEVELOPMENT PLAN DOES NOT INCLUDE ANY BUILDINGS.



**CIVIL ENGINEER'S STATEMENT**

I, LINCOLN THOMAS, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER, P.E. 42350 \_\_\_\_\_ DATE \_\_\_\_\_

**DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE**

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_ AT RECEPTION NO. \_\_\_\_\_

DOUGLAS COUNTY CLERK AND RECORDER

BY: \_\_\_\_\_  
 DEPUTY

**STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL**

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

DIRECTOR OF DEVELOPMENT SERVICES

**BENCH MARK**

(KK11334) BRASS DISK IN THE CENTER OF THE EAST END OF A 10' BY 15' EXPOSED AREA OF OUTCROPPING BEDROCK, 149.9' EAST OF THE NEAR RAIL, 50.9' WEST OF THE CENTERLINE OF COUNTY ROAD 25, 0.7' WEST OF THE EAST EDGE OF OUTCROP, AND EAST OF THE EXTENDED CENTER OF INTERSTATE 25 EXIT 182, 10' BELOW THE ROAD, AND 1 FT NORTH OF A FIBERGLASS WITNESS POST. DATUM=NAVD88 ELEVATION=6222.12

**SURVEYOR'S CERTIFICATE**

I, \_\_\_\_\_, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

ANTHONY K. PEALL #38636  
 COLORADO LICENSED PROFESSIONAL LAND SURVEYOR FOR AND ON BEHALF OF AZTEC CONSULTANTS, INC.  
 300 E. MINERAL AVE., SUITE 1  
 LITTLETON, COLORADO 80122  
 PHONE: (303) 713-1898

**BASIS OF BEARING**

BASIS OF BEARINGS:  
 THE EAST LINE OF THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN BEING NORTH 00°05'15" EAST, A DISTANCE OF 2705.77 FEET WITH THE SOUTH 1/4 CORNER OF SAID SECTION 22 BEING MONUMENTED BY A NO. 6 REBAR W/ 3-1/4" ALUMINUM CAP STAMPED "AZTEC CONSULTANTS PLS 38064 2016" IN A MONUMENT BOX AND THE CENTER QUARTER CORNER OF SAID SECTION 22 BEING MONUMENTED BY A NO. 6 REBAR W/ 2-1/2" ALUMINUM CAP STAMPED "LS 6935 1992"

**SHEET INDEX**

1 OF 9	COVER SHEET
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6 OF 9	LANDSCAPE PLAN
7 OF 9	TRASH ENCLOSURE ELEVATIONS
8 OF 9	GENERAL LIGHTING PLAN
9 OF 9	LIGHTING CUT SHEET

**PROJECT TEAM**

DEVELOPER: PROMENADE CASTLE ROCK, LLC 5750 DTC PARKWAY, SUITE 210 GREENWOOD VILLAGE, CO 80111 TEL: (303) 771-4004	LAND PLANNER: GALLOWAY & COMPANY, LLC 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884
ARCHITECT: GALLOWAY & COMPANY, LLC 6162 S. WILLOW DRIVE, SUITE 320 GREENWOOD VILLAGE, CO 80111 TEL: (303) 770-8884	LAND SURVEYOR: AZTEC CONSULTANTS, INC. 300 E. MINERAL AVE., SUITE 1 LITTLETON, CO 80122 TEL: (303) 713-1898
CIVIL ENGINEER: ELEVATION CONSULTING GROUP, LTD. 740 SOUTH DEWEY STREET LAKEWOOD, CO 80226 TEL: (303)204-5065	

#	Date	Issue / Description
1	02-02-22	SDP22-0008
2	03-22-22	SDP22-0008
3	04-04-22	SDP22-0008

Project No: ADR000001.57  
 Drawn By: JRW  
 Checked By: \_\_\_\_\_  
 Date: 02-02-2022  
 Disk File: \_\_\_\_\_  
 SHEET TITLE:  
 COVER SHEET

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 9 TO

LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 22 AND THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Promenade at Castle Rock Planning Area Summary Table									
Planning Area (P.A.)	P.A. 1								
Zoning	Business/Commercial								
Block	PD Requirement		Provided						
	Block 1								
Lot ID	Lot 1A	Lot 2A	Lot 3A	Lot 4A	Lot 5A-1	Lot 5A-3	Lot 6A-2		
Lot SF	611,503	186,775	74,901	27,325	42,703	68,046	72,925		
Lot AC	14.03	4.288	1.72	0.627	0.98	1.56	1.67		
Related SDP #	SDP15-0006 SDP18-0009 SDP18-0020	SDP15-0006 SDP18-0009 SDP18-0021 SDP18-0045 SDP19-0032	SDP15-0006 SDP18-0009	SDP15-0006 SDP15-0037 SDP18-0009	SDP15-0006 SDP18-0009 SDP20-0002 SDP20-0006	SDP15-0006 SDP18-0009 SDP20-0002 SDP22-0008	SDP15-0006 SDP18-0009 SDP20-0002 SDP22-0008	SDP15-0006 SDP18-0009 SDP20-0002	
Use	Per Section 6.1 of the PD Zoning Regulations		Retail 100%	Retail 100%	Retail 52.5% (5,849) Restaurant 47.5% (5,301)	Retail 100%	Retail 100%	TBD*	TBD*
Building ID	A-1 to A-5	B-1	C-1	C-2	D-1	F	E		
Building Square Footage total per Lot	115,350	40,250	11,150	4,337	4,000	TBD*	TBD*		
Building Square Footage total per P.A.	171,087								
Max Building Coverage per Lot	25%	19%	19%	15%	18%	9%	TBD*	TBD*	
Building Coverage per P.A.	25%								
Min. Parking	5/1,000 GFA for Retail 10/1,000 GFA for Restaurant	Provided = 640	Provided = 198	Provided = 81	Provided = 21	Provided = 42	Provided = 32	Provided = 111	
		Required = 577	Required = 202	Required = 84	Required = 22	Required = 20	Required = TBD*	Required = TBD*	
		115,350/1,000 x 5 = 577	40,250/1,000 x 5 = 202	5,849/1,000 x 5 = 30 5,301/1,000 x 10 = 54	4,337/1,000 x 5 = 22	4,000/1,000 x 5 = 20	TBD*	TBD*	
		Total Provided = 982				Total Provided = 143			
		Total Required = 905				Total Required = TBD			
Min. ADA Parking	Per Muni. Code 1-25 spaces requires 1 ADA space; 26 to 50 total spaces requires 2 ADA spaces; 76-100 total spaces requires 4 ADA spaces; 201 to 300 spaces requires 7 ADA spaces; 501 to 1,000 spaces require 2% of total as ADA spaces. One of six required ADA spaces shall be van ADA spaces.	Provided = 23 ADA (includes 22 Van ADA)	Provided = 7 ADA	Provided = 4 ADA	Provided = 1 ADA	Provided = 2 ADA	Provided = TBD*	Provided = TBD*	
		Required = 13 ADA (to include 2 Van ADA)	Required = 7 ADA	Required = 4 ADA	Required = 1 ADA	Required = 2 ADA	Required = TBD*	Required = TBD*	
		640 spaces x 5% = 13	>500 Stalls = 7 ADA Stalls	76-100 Stalls = 4 ADA Stalls	1-25 Stalls = 1 ADA Stalls	26-50 Stalls = 2 ADA Stalls	26-50 Stalls = 2 ADA Stalls	76-100 Stalls = 4 ADA Stalls	
Min. Bicycle Parking	Per Muni. Code 5% of total lot spaces	Provided = 36	Provided = 20	Provided = 8	Provided = 4	Provided = 4	Provided = TBD*	Provided = TBD*	
		Required = 32	Required = 11	Required = 5	Required = 2	Required = 3	Required = TBD*	Required = TBD*	
		640 spaces x 5% = 32	202 spaces x 5% = 11	84 spaces x 5% = 5	22 spaces x 5% = 2	42 spaces x 5% = 3	32 spaces x 5% = 2	111 spaces x 5% = 6	

\*Note: Cross parking permitted among lots in Block1 via Shopping Center Parking Area Easement recorded at 2015051501\*  
\*Note: It should not be assumed that the total parking provided through previous SDP approvals, is sufficient to meet the total parking required for the lots with data yet to be determined (TBD). A Site Development Plan amendment must be submitted to identify all information labeled TBD. Required parking totals cannot be verified and approved until TBD data is provided.

Zoning Comparison			
Zoning	Promenade at Castle Rock PD		
Use Area	Business/Commercial District		
Block	Block 1		
Lot	PD Requirement		
	Lot 5A-3	Lot 6A-2	
Building ID	F	E	
Building Square Footage	TBD	TBD	
Permitted Uses	PD Zoning Regulations	TBD	TBD
Min. front yard setback**	15'	TBD	TBD
Min. rear yard setback**	15'	TBD	TBD
Min. side yard setback**	10'	TBD	TBD
Min. side to street setback**	10'	TBD	TBD
Max. Building Height	50'	TBD	TBD
Max. Building Coverage	25%	TBD	TBD
Min. Parking Space	5/1,000 GFA for Retail 10/1,000 GFA for Restaurant	Provided = 32	Provided = 111
		Total Required = TBD	Total Required = TBD
		GFA/1,000 x 5 = TBD GFA/1,000 x 10 = TBD	GFA/1,000 x 5 = TBD GFA/1,000 x 10 = TBD
Min. ADA Parking space	Per Muni. Code 26 to 50 total spaces requires 2 ada spaces; 76 to 100 total spaces require 4 ADA	Provided = TBD *	Provided = TBD *
		Required = TBD *	Required = TBD *
		Total lot spaces = TBD *	Total lot spaces = TBD *
Min. Bicycle Parking	Per Muni. Code 5% of total lot spaces	Provided = TBD *	Provided = TBD *
		Required = TBD *	Required = TBD *
TBD spaces x 5% = TBD * TBD spaces x 5% = TBD *			

\* It should not be assumed that the total parking provided through previous SDP approvals, is sufficient to meet the total parking required for the lots with data yet to be determined (TBD). A Site Development Plan amendment must be submitted to identify all information labeled TBD. Required parking totals cannot be verified and approved until TBD data is provided.  
\*\* Per Section 6.7 of the PD Zoning Regulations to provide maximum flexibility for innovative design minimum setbacks are to be determined at time of SDP based on site specific criteria.

Site Utilization by Lot				
Lot	Lot 5A-3		Lot 6A-2	
	S.F.	% of Total	S.F.	% of Total
Building Coverage	TBD	0%	TBD	0%
Parking Coverage	16,210	23.82%	41,936	57.51%
Landscape/Open Space Coverage	6,389	9.39%	15,621	21.42%
Street Coverage	8,645	13%	0	0%
Other Coverage: Future pad area, etc.	36,802	54.08%	15,368	21.07%
Total Lot Area	68,046	100	72,925	100

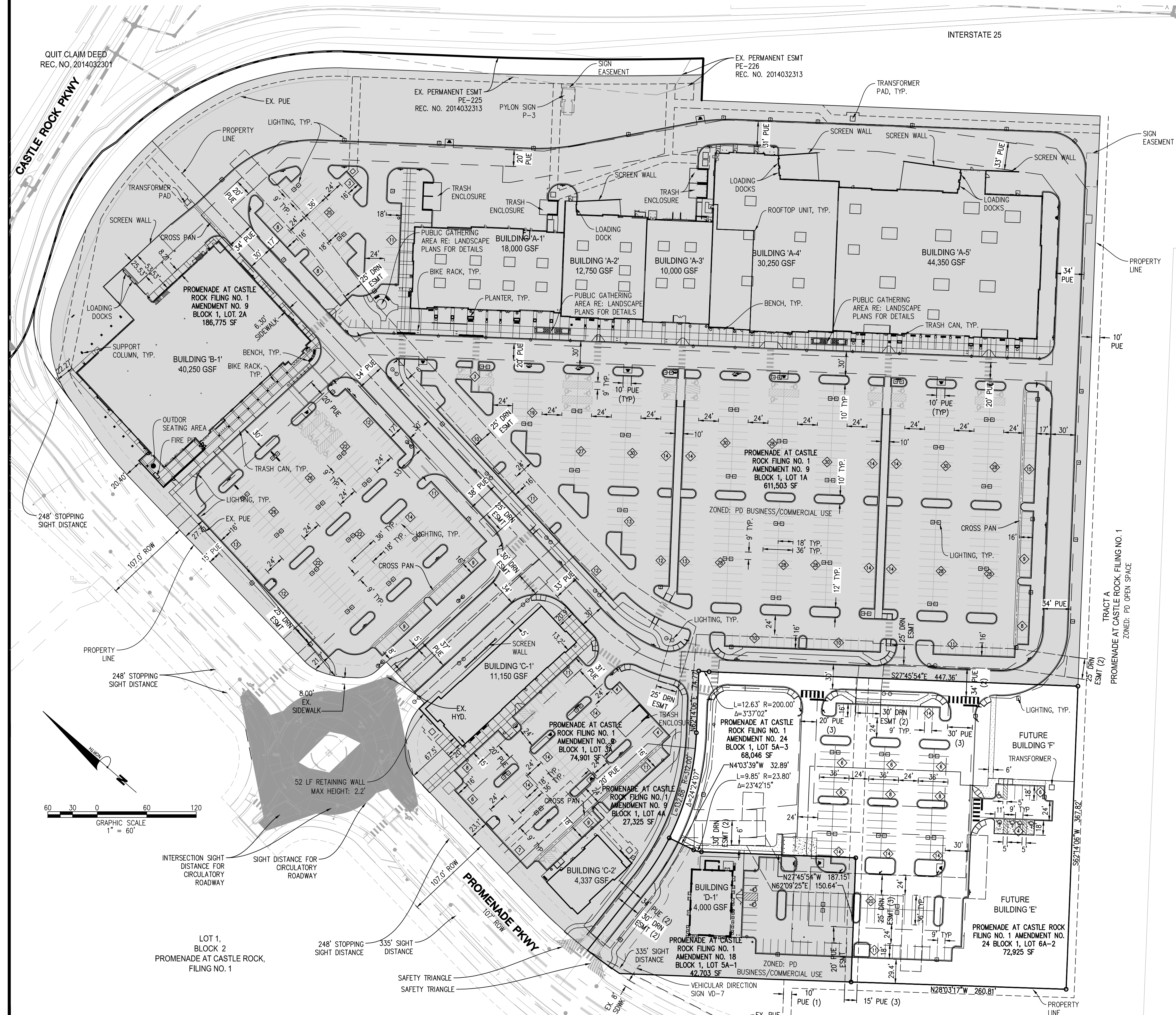
#	Date	Issue / Description
1	02-02-22	SDP22-0008
2	03-22-22	SDP22-0008
3	04-04-22	SDP22-0008

Project No: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_ JRW  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_ 02/02/2022  
 Disk File: \_\_\_\_\_  
 SHEET TITLE:  
 SITE TABLS  
 PHASE II

# AMENDMENT NO. 9 TO SITE DEVELOPMENT PLAN FOR

LOT 5A-3 AND 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24

LOCATED IN THE SOUTH 1/2 OF SECTION 22 AND THE NORTH 1/2 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
COUNTY OF DOUGLAS, STATE OF COLORADO

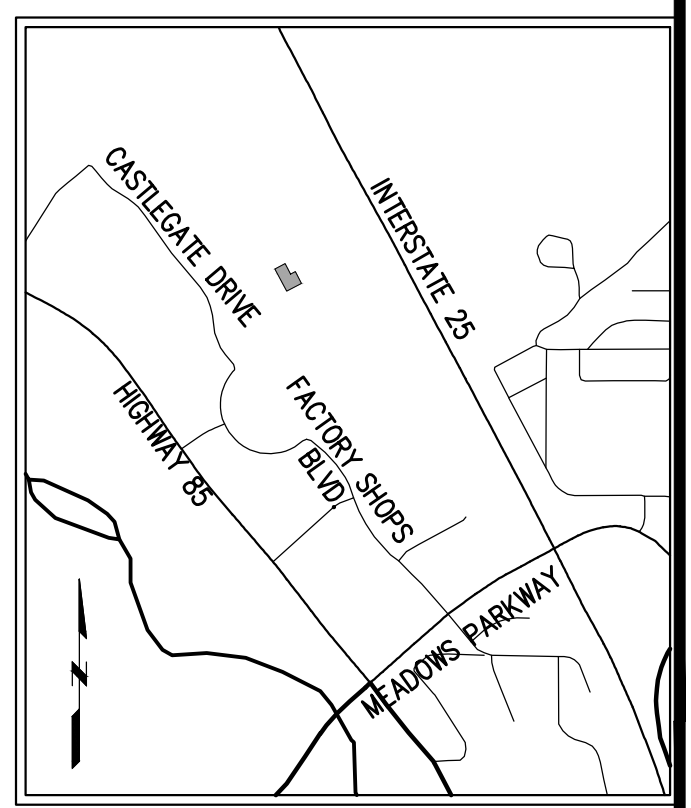


### SITE LEGEND

- CURB & GUTTER
- FIRE HYDRANT
- STORM SEWER STRUCTURE
- HANDICAP RAMP
- RETAINING WALL
- HANDRAIL
- PROPOSED LOT LINE
- PART OF BLOCK 1 FOR REFERENCE ONLY, NOT A PART OF THIS SDP
- SIGHT LIGHTING
- SIDEWALK

### EASEMENT RECEPTION LEGEND:

- (1) RECEPTION NO. 2015072261
- (2) RECEPTION NO. 2016033789
- (3) RECEPTION NO. 2020069527



KEY MAP

#	Date	Issue / Description
06-05-18	06-05-18	SDP MINOR AMENDMENT
07-05-18	07-05-18	SDP MINOR AMENDMENT
07-13-18	07-13-18	MYLAR SUBMITTAL
09-24-18	09-24-18	MYLAR RESUBMITTAL
10-19-18	10-19-18	SDP MINOR AMENDMENT
12-20-19	12-20-19	SDP19-0051
02-21-20	02-21-20	SDP20-0002
06-03-20	06-03-20	SDP20-0002 RESUBMITTAL
06-23-20	06-23-20	SDP20-0002 RESUBMITTAL
07-08-20	07-08-20	MYLAR SUBMITTAL
02-03-22	02-03-22	SDP22-0008
03-22-22	03-22-22	SDP22-0008 RESUBMITTAL
04-04-22	04-04-22	SDP22-0008 RESUBMITTAL

Project No: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Disk File: \_\_\_\_\_

SHEET TITLE:

Site Plan

RETAINING WALL NOTE:  
ALL RETAINING WALLS TO BE STONE VENEER AND MATCH BUILDING MATERIALS.

SIGNAGE NOTE:  
SEE PROMENADE AT CASTLE ROCK SIGNAGE AND WAYFINDING PLAN FOR SIGNAGE DETAILS INCLUDING HEIGHT AND DIMENSIONS.

**SDP22-0008 - AMENDMENT NO. 9 TO SITE DEVELOPMENT PLAN FOR LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT 24**

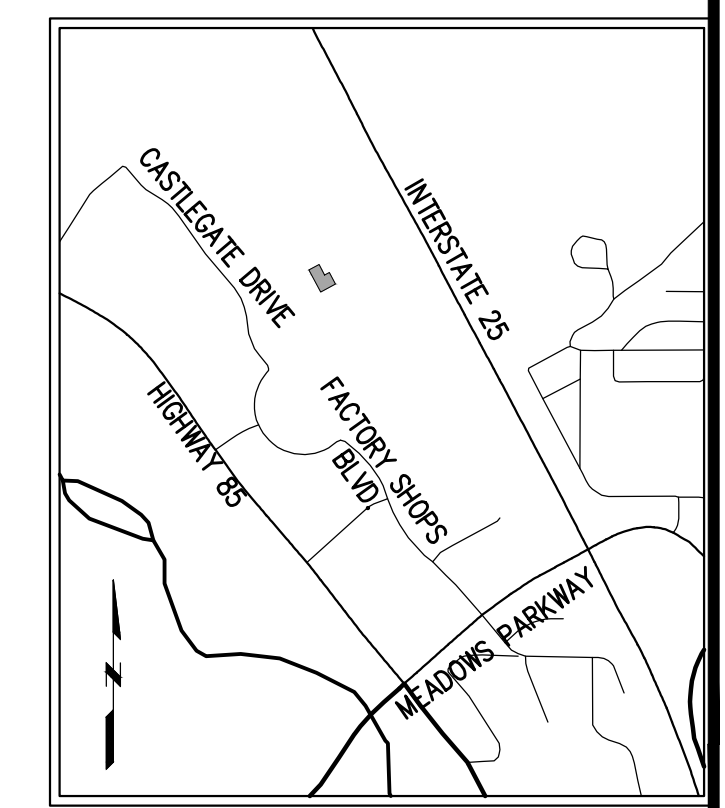
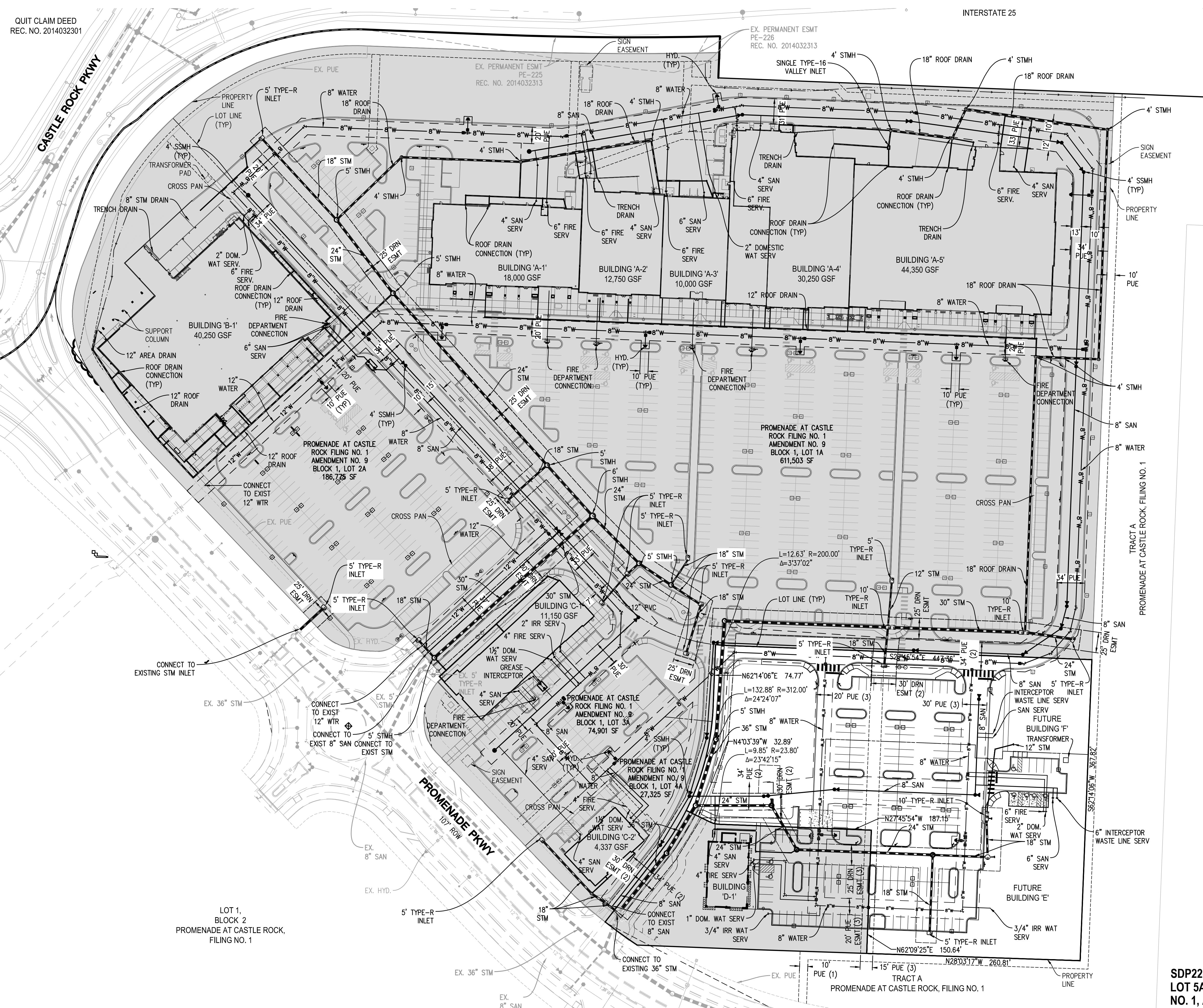
# AMENDMENT NO. 9 TO SITE DEVELOPMENT PLAN FOR

LOT 5A-3 AND 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24

LOCATED IN THE SOUTH 1/2 OF SECTION 22 AND THE NORTH 1/2 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
COUNTY OF DOUGLAS, STATE OF COLORADO



QUIT CLAIM DEED  
REC. NO. 2014032301



**UTILITY NOTES:**  
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.  
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.  
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.  
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

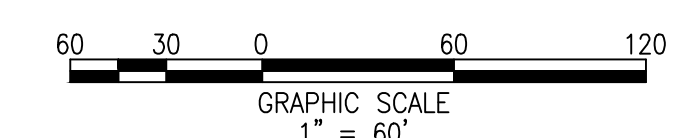
### SITE LEGEND

- CURB & GUTTER
- FIRE HYDRANT
- WATER FITTINGS
- WATER VALVE
- SANITARY SEWER STRUCTURE
- STORM SEWER STRUCTURE
- HANDICAP RAMP
- RETAINING WALL
- HANDRAIL
- PROPOSED LOT LINE
- PART OF BLOCK 1 FOR REFERENCE ONLY. NOT A PART OF THIS PLAN.

### EASEMENT RECEPTION LEGEND:

- (1) RECEPTION NO. 2015072261
- (2) RECEPTION NO. 2016033789
- (3) RECEPTION NO. 2020069527

#	Date	Issue / Description
	06-05-18	SDP MINOR AMENDMENT
	07-05-18	SDP MINOR AMENDMENT
	07-13-18	MYLAR SUBMITTAL
	09-24-18	MYLAR RESUBMITTAL
	10-19-18	SDP MINOR AMENDMENT
	12-20-19	SDP19-0057
	02-21-20	SDP20-0002
	06-03-20	SDP20-0002 RESUBMITTAL
	06-23-20	SDP20-0002 RESUBMITTAL
	07-08-20	MYLAR SUBMITTAL
	02-03-22	SDP22-0008
	03-22-22	SDP22-0008 RESUBMITTAL
	04-04-22	SDP22-0008 RESUBMITTAL



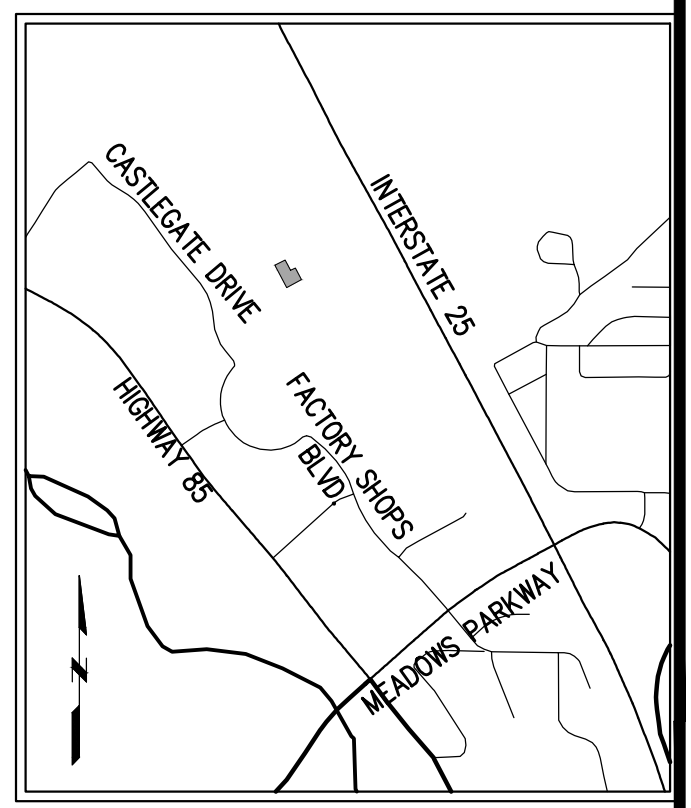
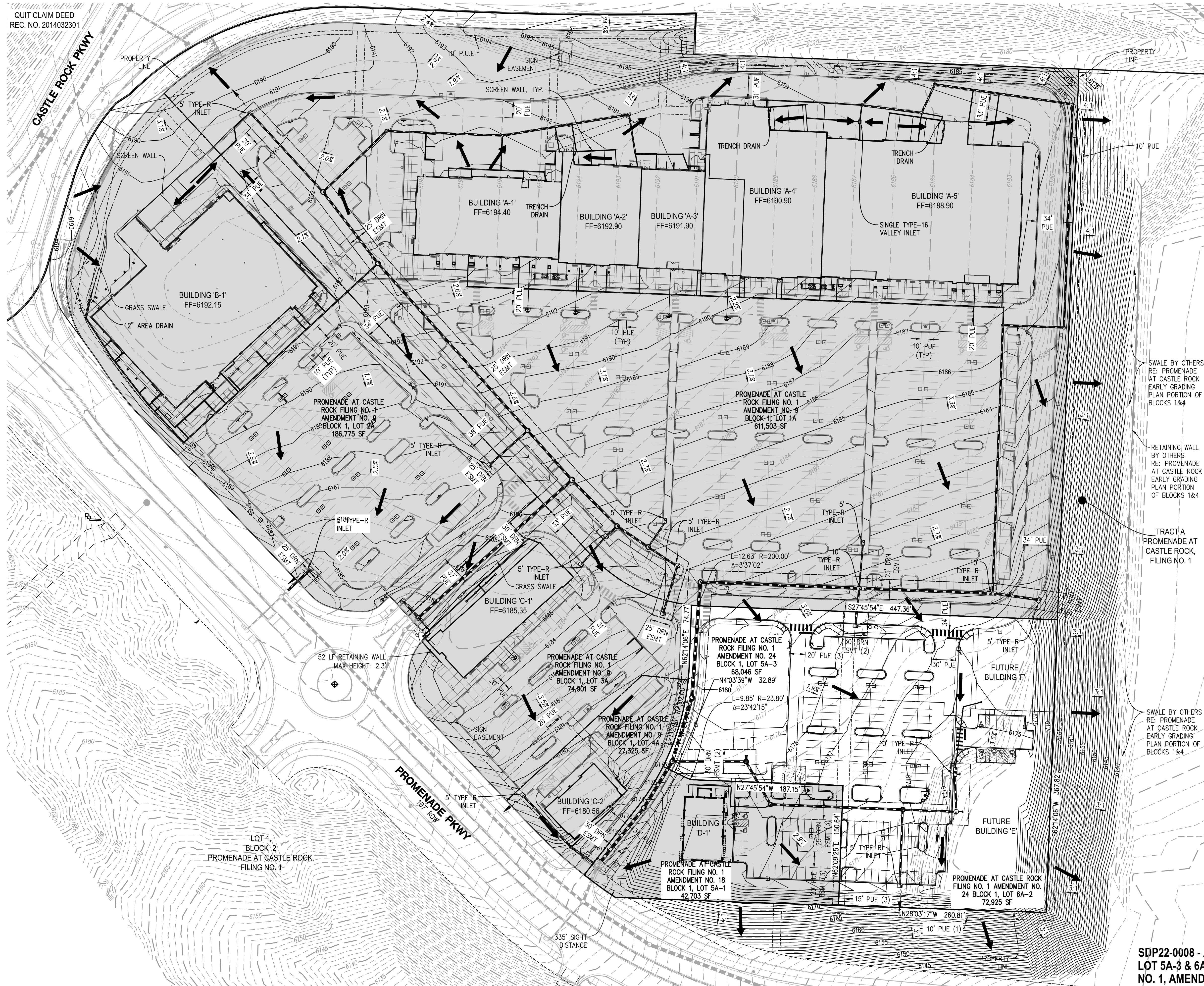
Project No: \_\_\_\_\_  
 Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Date: \_\_\_\_\_  
 Disk File: \_\_\_\_\_  
 SHEET TITLE: \_\_\_\_\_

**SDP22-0008 - AMENDMENT NO. 9 TO SITE DEVELOPMENT PLAN FOR LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT 24**

# AMENDMENT NO. 9 TO SITE DEVELOPMENT PLAN FOR

LOT 5A-3 AND 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24

LOCATED IN THE SOUTH 1/2 OF SECTION 22 AND THE NORTH 1/2 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
COUNTY OF DOUGLAS, STATE OF COLORADO



NOTE:  
CONTOUR INTERVAL SHOWN IS 1' MINOR AND 5' MAJOR.

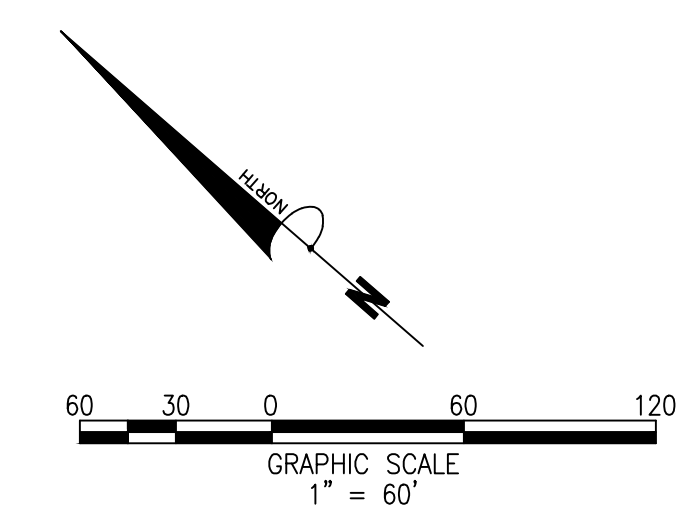
GRADING NOTE:  
CONTOURS DISPLAYED ALONG THE EASTERN PROPERTY LINE, ADJACENT TO AND INSIDE CDOT ROW ARE BASED ON BEST AVAILABLE INFORMATION.

### GRADING LEGEND

- 6070--- EXISTING CONTOUR
- 6070— PROPOSED CONTOUR
- CURB & GUTTER
- FIRE HYDRANT
- STORM DRAIN PIPE W/ MANHOLE
- STORM SEWER STRUCTURE
- HANDICAP RAMP
- FLOW DIRECTION ARROW
- SLUMP INLET OVERFLOW PATH
- PART OF BLOCK 1 FOR REFERENCE ONLY. NOT A PART OF THIS SDP

### EASEMENT RECEPTION LEGEND:

- (1) RECEPTION NO. 2015072261
- (2) RECEPTION NO. 2016033789
- (3) RECEPTION NO. 2020069527



SDP22-0008 - AMENDMENT NO. 9 TO SITE DEVELOPMENT PLAN FOR LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT 24

#	Date	Issue / Description
	06-05-18	SDP MINOR AMENDMENT
	07-05-18	SDP MINOR AMENDMENT
	07-13-18	MYLAR SUBMITTAL
	09-24-18	MYLAR RESUBMITTAL
	10-19-18	SDP MINOR AMENDMENT
	12-20-19	SDP19-0051
	02-21-20	SDP20-0002
	06-03-20	SDP20-0002 RESUBMITTAL
	06-23-20	SDP20-0002 RESUBMITTAL
	07-08-20	MYLAR SUBMITTAL
	02-03-22	SDP22-0008
	03-22-22	SDP22-0008 RESUBMITTAL
	04-04-22	SDP22-0008 RESUBMITTAL

Project No:  
Drawn By:  
Checked By:  
Date:  
Disk File:

SHEET TITLE:

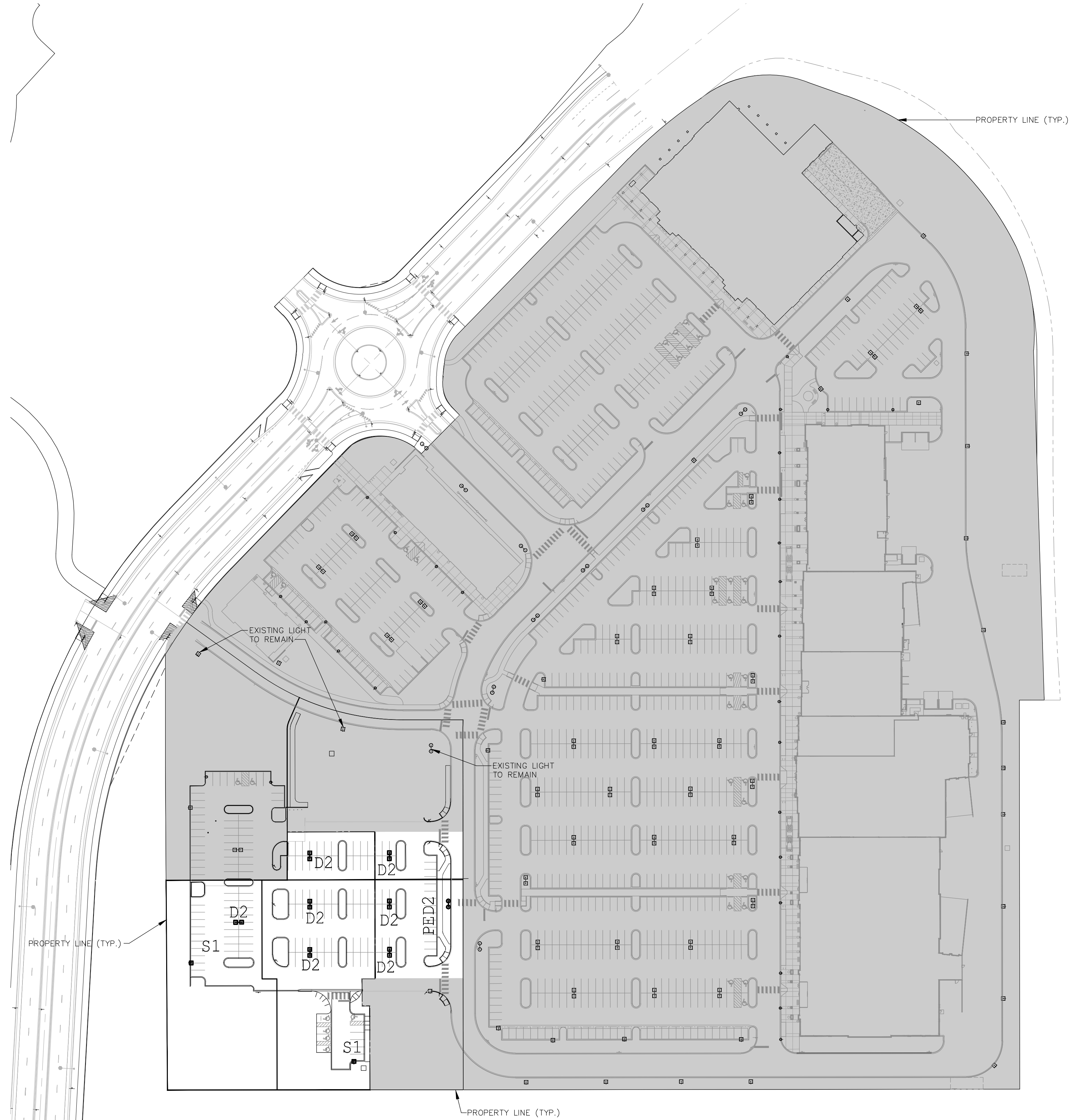
Grading Plan



# SITE DEVELOPMENT PLAN, AMENDMENT NO. 9 TO

LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1., AMENDMENT NO. 24

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 22 AND THE NORTHWEST 1/4 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**GENERAL LIGHTING PLAN NOTES:**

1. GENERAL ILLUMINATION PROVIDED TO PROTECT THE HEALTH, SAFETY AND WELFARE OF RESIDENTS OF THE TOWN BY COMPLYING WITH CHAPTER 17.58.010 OF THE MUNICIPAL CODE.
2. LIGHT TRESPASS TO ADJACENT PROPERTIES MITIGATED BY ORIENTATING ALL FIXTURES INTO SITE AND USING A TYPE III DISTRIBUTION ON OUTER LIGHT FIXTURES.
3. ALL LIGHTS, EXCEPT THOSE REQUIRED FOR SECURITY PURPOSES, TO BE EXTINGUISHED BY A TIME CLOCK ONE HOUR AFTER CLOSE OF BUSINESS.
4. THE FOLLOWING TYPES OF LIGHTS ARE PROHIBITED:  
FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING FACADE, AND UNSHIELDED WALL PACKS

#	Date	Issue / Description
	02-02-22	SDP22-0008

Project No:	ADP000001.57
Drawn By:	JMG
Checked By:	
Date:	1/26/2022
Disk File:	

LUMINAIRE SCHEDULE								
SYMBOL	QTY	LABEL	ARRANGE	MOUNTING	HEIGHT	MODEL NUMBER	DESCRIPTION	LUMENS
■	2	S1	SINGLE	POLE	28'-0"	AME-2-L-TS-72LC-5-SK-UNV-BOA10-BK	VISIONAIRE LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DIODE, 25'-0" SQUARE POLE ON 3' CONCRETE BASE	10508
■	7	D2	D180°	POLE	28'-0"	AME-2-L-TSW-72LC-5-SK-UNV-BOA10-BK	VISIONAIRE LIGHTING, AMERICAN SERIES LED AREA LIGHT, 72 DIODE, 25'-0" POLE ON 3' CONCRETE BASE	25690
○	1	PED2	D180°	POLE	25'-0"	ODN-3-L-TS-84LC-5-55K-UNV-BK/VA112-D2-4-BK	VISIONAIRE LIGHTING, ODEN SERIES, LED ARCHITECTURAL AREA LIGHT, 84 DIODE, MOUNT ON 25'-0" ROUND POLE	19208

**1 GENERAL LIGHTING PLAN**  
1" = 40'-0"



SDP22-0008 - SITE DEVELOPMENT PLAN, AMENDMENT NO. 9 TO LOT 5A-3 & 6A-2, BLOCK 1, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT 24

