

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### LEGAL DESCRIPTION

LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO. 22.

### PURPOSE STATEMENT

THIS SITE DEVELOPMENT PLAN IS FOR AN OPEN SPACE PARK.

### SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE X UNSHADED AS PER FEMA FIRM PANEL NO. 08035C0167G DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH PLAT AMENDMENT.
- THIS SITE IS ZONED OPEN SPACE, PRIVATE AS PART OF PROMENADE AT CASTLE ROCK PLANNED DEVELOPMENT PLAN AMENDMENT RECORDED APRIL 15, 2021 UNDER RECEPTION NO. 2021049642.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- RETAINING WALLS, SECTION OF RETAINING WALLS GREATER THAN 4- FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OF TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.

### FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

### OWNERSHIP CERTIFICATION

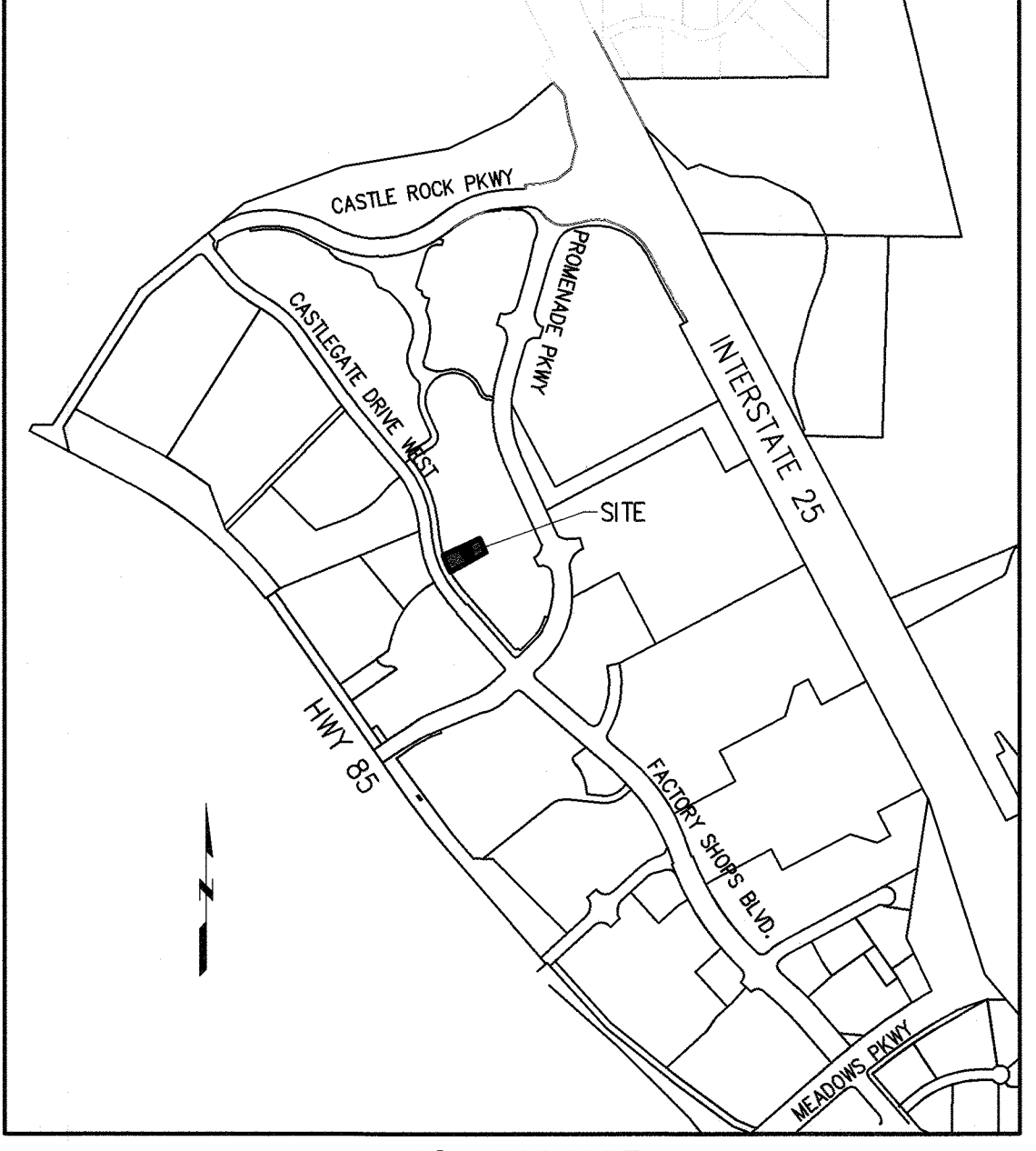
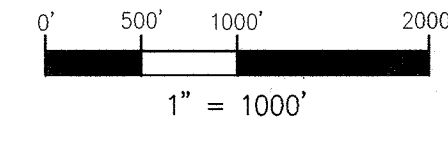
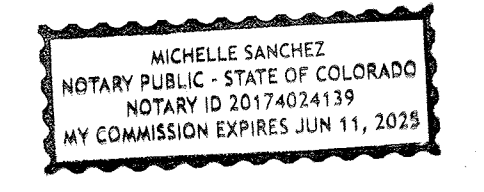
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.  
CANADIAN BLUE FESCUE, LLC A COLORADO LIMITED LIABILITY COMPANY  
BY: PROMENADE CASTLE ROCK, LLC  
A DELAWARE LIMITED LIABILITY COMPANY  
IT MANAGING MEMBER  
BY: ALBERTA CASTLE ROCK MANAGEMENT, LLC  
A COLORADO LIMITED LIABILITY COMPANY, ITS MANAGER

BY: [Signature]  
DONALD G. PROVOST, MANAGER

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 18<sup>th</sup> DAY OF October, 2022

BY DONALD G. PROVOST AS MANAGER OF ALBERTA CASTLE ROCK MANAGEMENT, LLC, A COLORADO LIMITED LIABILITY COMPANY, MANAGER OF PROMENADE CASTLE ROCK, LLC, A DELAWARE LIMITED LIABILITY COMPANY, MANAGING MEMBER OF CANADIAN BLUE FESCUE, LLC A COLORADO LIMITED LIABILITY COMPANY

WITNESS MY HAND AND OFFICIAL SEAL  
[Signature]  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: June 11, 2025



### SHEET INDEX

- 1 COVER SHEET
- 2 SITE PLAN
- 3 GENERAL UTILITY PLAN
- 4 GENERAL GRADING PLAN
- 5 GENERAL NOTES
- 6 RENDERINGS AND SECTIONS
- 7 GENERAL LANDSCAPE PLAN
- 8 FURNISHING DETAILS
- 9 STRUCTURAL DETAILS
- 10 PLANTING DETAILS
- 11 GENERAL LIGHTING PLAN
- 12 ILLUMINATION SCHEDULES

### TITLE CERTIFICATION

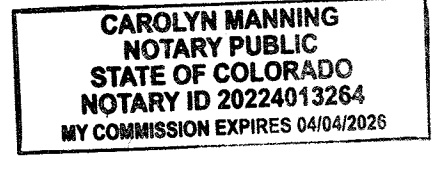
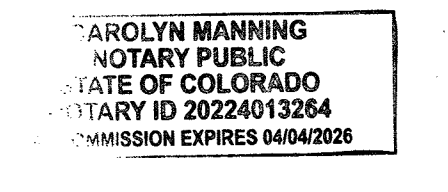
I, David Knapp, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

David Knapp October 18<sup>th</sup>, 2022  
AUTHORIZED REPRESENTATIVE DATE  
LAND TITLE GUARANTEE COMPANY

NOTARY BLOCK  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 18<sup>th</sup> DAY OF October, 2022 BY David Knapp AS AUTHORIZED REPRESENTATIVE

OF Land Title Guarantee Company

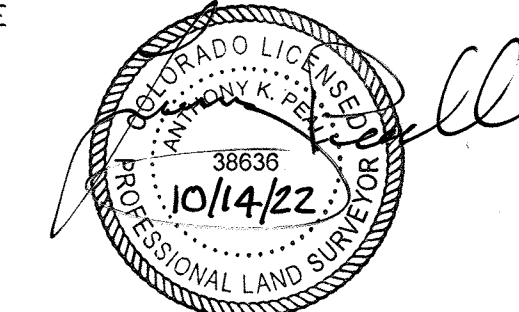
WITNESS MY HAND AND OFFICIAL SEAL  
[Signature]  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 4/4/2026



### SURVEYOR'S CERTIFICATION

I, TONY PEALL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

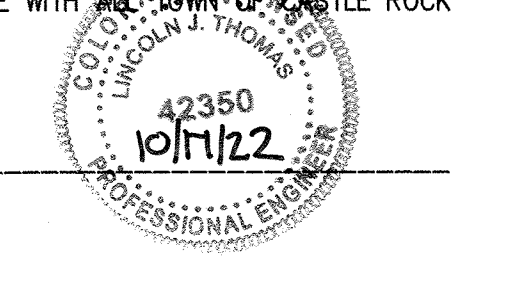
TONY PEALL  
PLS #38636  
AZTEC CONSULTANTS, INC.  
300 E. MINERAL AVE, SUITE 1  
LITTLETON, CO 80122



### CIVIL ENGINEER'S CERTIFICATION

I, LINCOLN J. THOMAS, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Lin J Thomas  
LINCOLN J. THOMAS  
P.E. #42350



### CONTACTS:

DEVELOPER: PROMENADE AT CASTLE ROCK, METROPOLITAN DISTRICT, NO. 2 8390 E. CRESCENT PARKWAY GREENWOOD VILLAGE, CO 80111 PHONE: 303-779-5710

CIVIL ENGINEER: ELEVATION CONSULTING GROUP LTD PO BOX 280869 LAKEWOOD, CO 80226 PHONE: 303-204-5065

SURVEYOR: AZTEC CONSULTANTS, INC. 300 S. MINERAL AVE, SUITE 1 LITTLETON, CO 80122 PHONE: 303-713-1898

LANDSCAPE ARCHITECT: STUDIO SUPERBLOOM, LLC 23 LINCOLN STREET, #200 DENVER, CO 80203 PHONE: 720-725-9406

LIGHTING ENGINEER: KIMLEY-HORN 4582 SOUTH ULSTER STREET, SUITE 1500 DENVER, CO 80237 PHONE: 303-228-2300

23 LINCOLN ST, SUITE 200 DENVER, CO 80203 720.440.2668

| DATE        | NOVEMBER 24, 2021 |
|-------------|-------------------|
| PROJECT NO. | PCRC              |
| SUBMITTALS  |                   |
| DATE        | DATE              |
| 1 SDP-01    | 11/22/2021        |
| 2 SDP-02    | 03/09/2022        |
| 3 SDP-03    | 03/09/2022        |
| 4 SDP-04    | 03/23/2022        |
| 5 SDP-05    | 08/23/2022        |
| 6           |                   |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHANGES AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

### WATER RIGHTS DEDICATION AGREEMENT

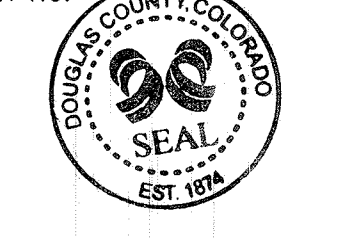
THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE PROMENADE AT CASTLE ROCK DEVELOPMENT AGREEMENT, RECORDED ON THE 22ND DAY OF JULY, 2015 AT RECEPTION NO. 2015051492 AND ACCORDINGLY 1.00 SFE ARE DEBITED FROM THE WATER BANK.

3/4-INCH IRRIGATION METER

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATION

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:39 am ON THE 18<sup>th</sup> DAY OF October, 2022 AT RECEPTION NO. 2022069504

DOUGLAS COUNTY CLERK AND RECORDER, Deputy  
BY: [Signature]



### STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 15 DAY OF October, 2022

[Signature]  
DIRECTOR OF DEVELOPMENT SERVICES

### BENCHMARK:

(KK1334) BRASS DISK IN THE CENTER OF THE EAST END OF A 10' BY 15' EXPOSED AREA OF OUTCROPPING BEDROCK, 149.9' EAST OF THE NEAR RAIL, 50.9' WEST OF THE CENTERLINE OF COUNTY ROAD 25, 0.7' WEST OF THE EAST EDGE OF OUTCROP, AND EAST OF THE EXTENDED CENTER OF INTERSTATE 25 EXIT 182, 10' BELOW THE ROAD, AND 1 FT NORTH OF A FIBERGLASS WITNESS POST.  
DATUM=NAVD88  
ELEVATION=6222.12

### BASIS OF BEARING:

THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 22 AND NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 OF THE 6TH PRINCIPAL MERIDIAN COUNTY OF DOUGLAS, STATE OF COLORADO. BETWEEN THE NORTHEAST CORNER OF SECTION 22 AND THE SOUTHEAST CORNER OF SECTION 22 (A FOUND 3-1/4" ALUMINUM CAP STAMPED "L.S. 13485 1993"), AND THE NORTH 1/4 CORNER OF SECTION 27 AND THE SOUTH 1/4 CORNER OF SECTION 22 (A FOUND 2-1/2" CAP STAMPED "PLS 22564 1998"). SAID BEARING BEING: NORTH 89°09'35" WEST.

### COVER SHEET

SCALE:

1

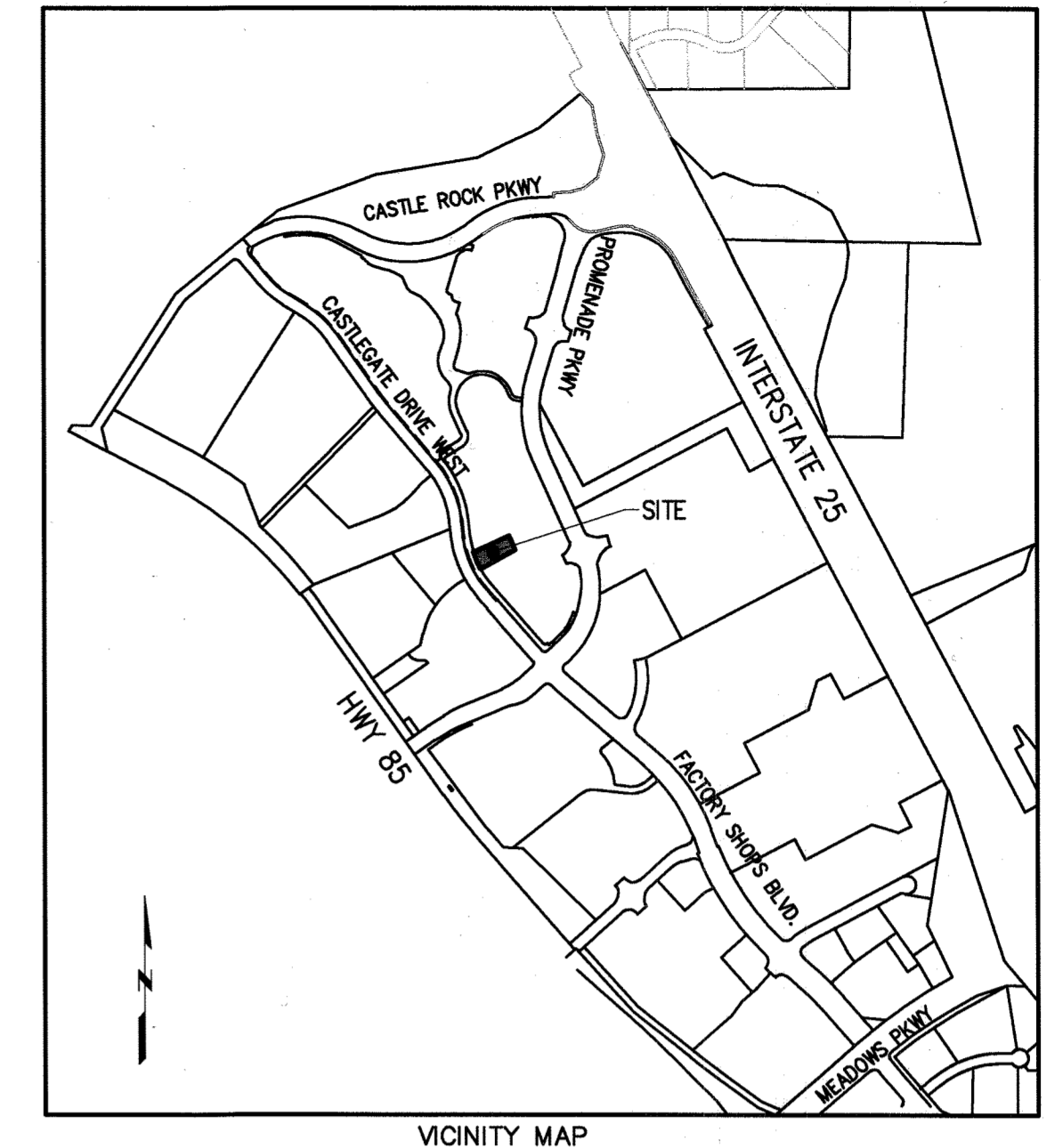
SITE DEVELOPMENT PLAN - SDP21-0055  
FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT  
CASTLE ROCK, FILING NO.1, AMENDMENT NO.22

SHEET 1 OF 12  
DRAWN BY: LIT

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**SUPERBLOOM**

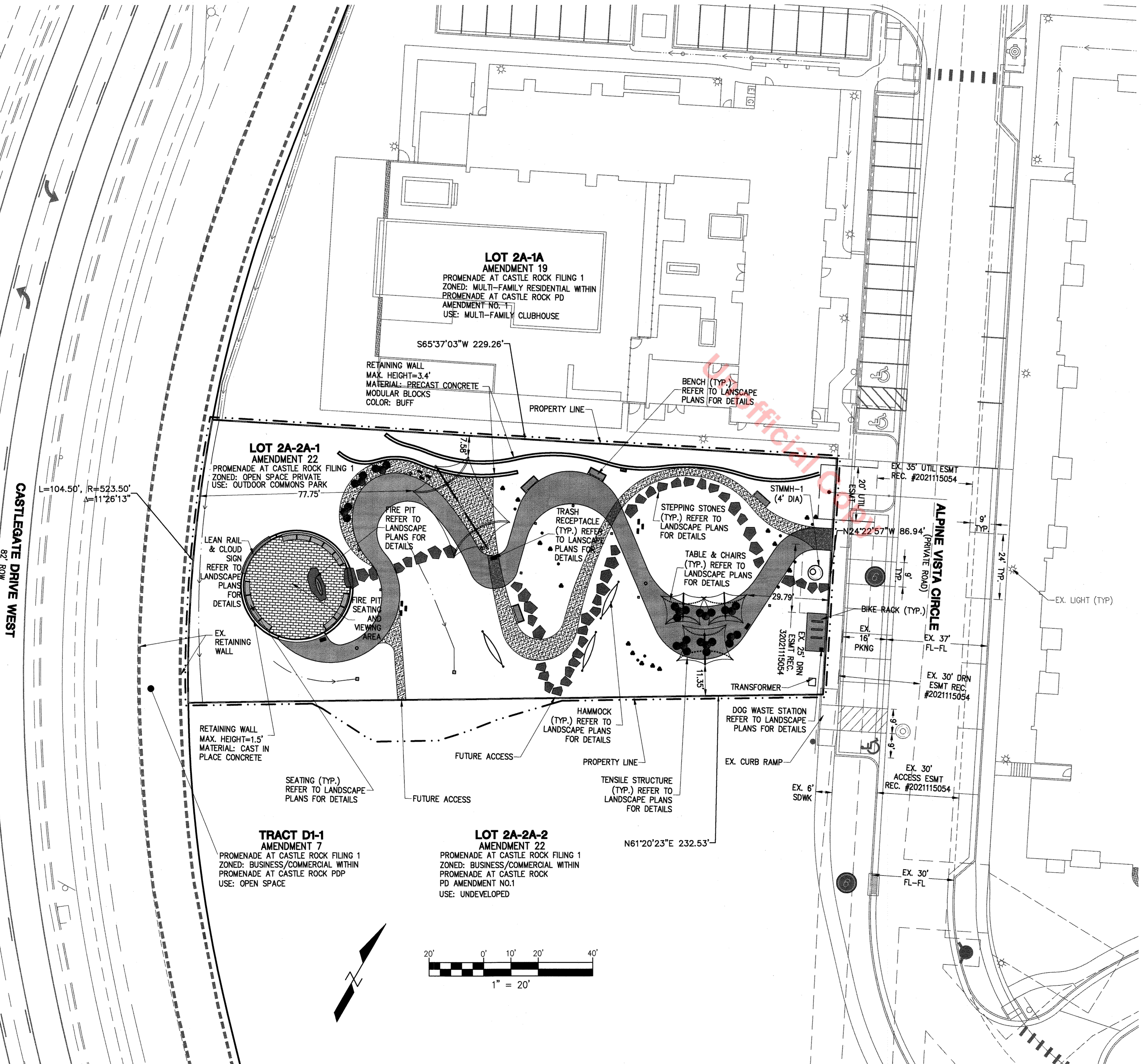
23 LINCOLN ST.,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

DATE: NOVEMBER 24, 2021  
PROJECT NO. PCR0

| SUBMITTALS  | DATE       |
|-------------|------------|
| 1 SEP-21    | 11/24/2021 |
| 2 SEP-22    | 02/04/2022 |
| 3 SEP-23    | 03/09/2022 |
| 4 SEP-24    | 03/29/2022 |
| 5 SEP-25/26 | 05/02/2022 |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO



**SITE LEGEND**

|  |                          |  |                           |
|--|--------------------------|--|---------------------------|
|  | EX. CURB & GUTTER        |  | TABLE AND CHAIRS          |
|  | EX. FIRE HYDRANT         |  | BIKE RACK                 |
|  | EX. ADA CURB RAMP        |  | HAMMOCK                   |
|  | CONCRETE HARDSCAPE       |  | BENCH                     |
|  | CRUSHER FINES PAVING     |  | CUSTOM RADIUS BENCH       |
|  | STONE PAVING             |  | CUSTOM RADIUS LOUNGE SEAT |
|  | ENHANCED CONCRETE PAVING |  | FIRE PIT                  |
|  | RETAINING WALL           |  | LEAN RAIL AND CLOUD SIGN  |
|  | EX. LIGHT                |  | TRASH RECEPTACLE          |
|  | PROPOSED LIGHT           |  | STEPPING STONES           |
|  | DOG WASTE STATION        |  |                           |
|  | LIMITS OF CONSTRUCTION   |  |                           |

**NOTES:**

- REFER TO LANDSCAPE PLANS FOR BIKE RACK, CONCRETE HARDSCAPE, CRUSHER FINES PAVING, STONE PAVING, AND ENHANCED CONCRETE DETAILS.

| Zoning Comparison and Development Standards            |   |  |
|--|---|--|
| Zoning   | Promenade at Castle Rock PDP Amendment No. 1  |  |
| Planning Area  | 3C  |  |
| Use Area   | Open Space, Private                           |  |
| Permitted Use  | PD Zoning Standard                            | Proposed                               |
|  | Outdoor Commons Park                          | Outdoor Commons Park                   |
| Min. front yard setback                                | 25'   | 29.79'                                 |
| Min. rear yard setback                                 | 75'   | 77.48'                                 |
| Min. side yard setback (if applicable)                 | 5'  | 7.58'                                  |
| Max. Building Height                                   | 50-FEET                                       | 15.33'                                 |
| Maximum Building Ground Coverage                       | 25%   | 4.8% (1,076 SF / 22,217 SF)            |
| Min. Parking Space                                     | 15  | 15 (Off-Site)                          |
| Minimum Amenities                                      | Sidewalks                                     | 8' Wide Concrete Sidewalk              |
|  | Walking Paths                                 | Crusher fines and stepping stone paths |
|  | Lawn/Gathering Areas                          | 2,057 SF Turf Lawn                     |
|  | Seating Opportunities                         | Benches, hammocks, tables & chairs     |
|  | 1 Pavilion/Small Structure/Trellis            | 4 Tensile Structures                   |
|  | 1 Fire Feature/Fire Place                     | 1 Fire Pit                             |
| Plantings/Landscape Area                               | Planting beds and variety of trees throughout |  |
| Site Utilization                                       |   |  |
|  | SF/Acreage                                    | % of Total                             |
| Total Lot Area   | 0.510 acres (22,217 SQ. FT.)                  | 100%                                   |
| Building Coverage Area                                 | 1,076 s.f.                                    | 4.8%                                   |
| Parking Lot Area                                       | 0 s.f.  | 0.0%                                   |
| Landscape/Open Space Coverage                          | 16,593 s.f.                                   | 74.7%                                  |
| Other Coverage: Sidewalks, Crusher Fines, Stone Paving | 4,548 s.f.                                    | 20.5%                                  |

**SITE PLAN**

SCALE: 1" = 20'

**2**

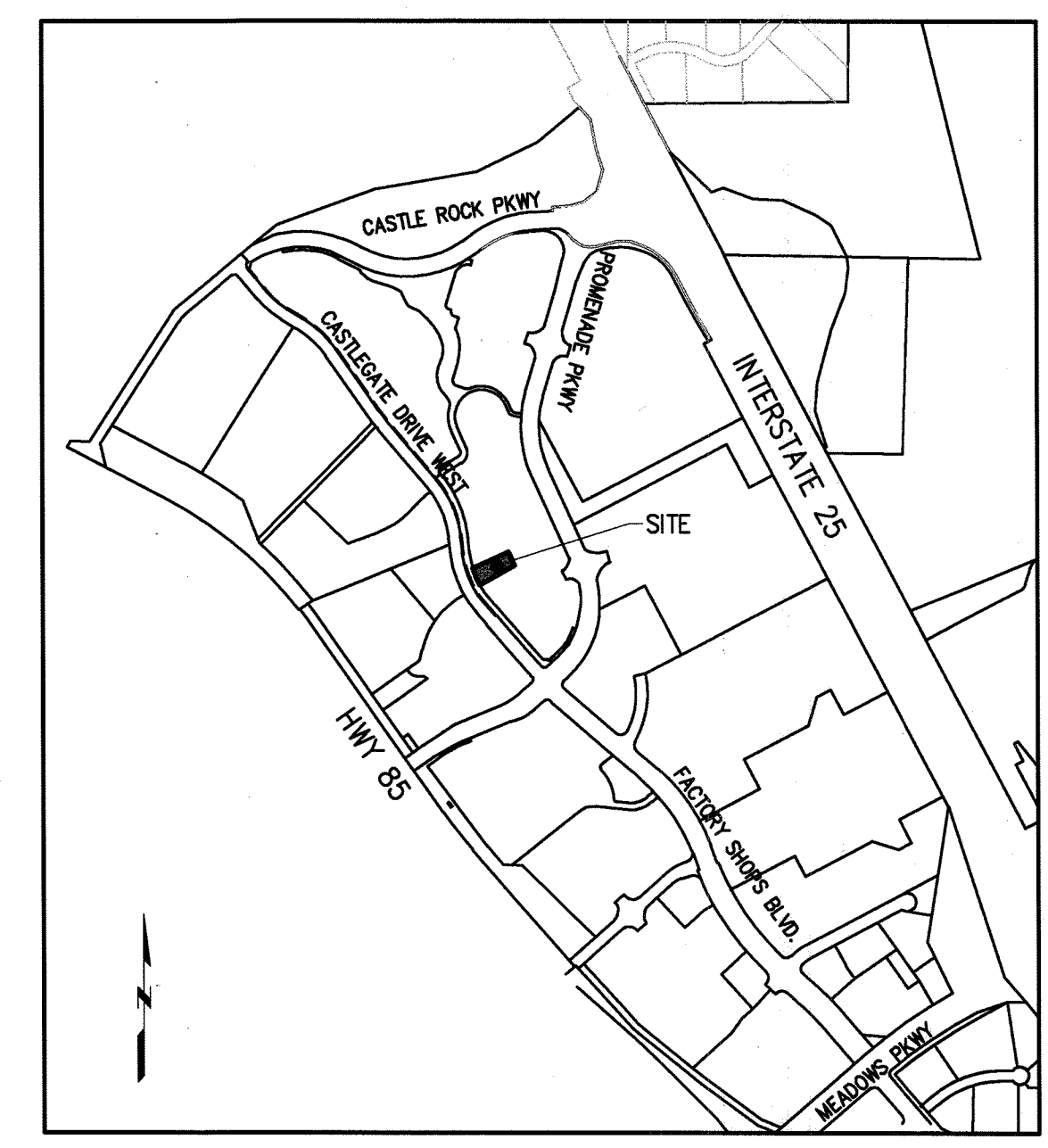
SHEET 2 OF 12  
DRAWN BY: LJT

**SITE DEVELOPMENT PLAN - SDP21-0055**  
**FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT**  
**CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

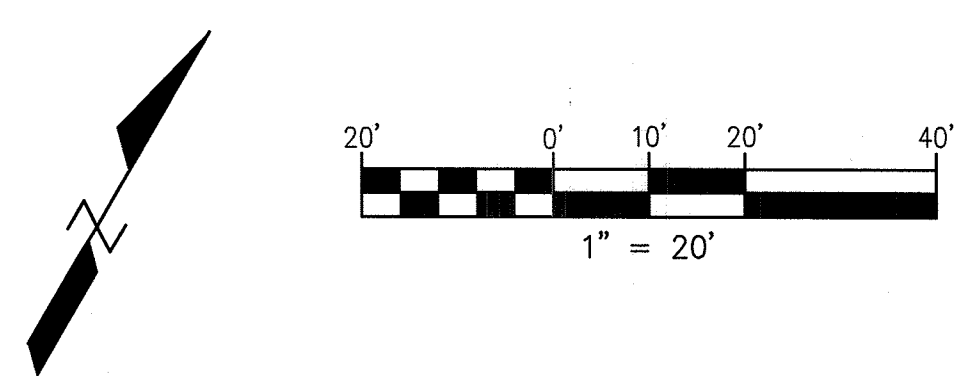
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**UTILITY LEGEND**

|  |                                 |
|--|---------------------------------|
|  | CURB & GUTTER                   |
|  | EXISTING WATER LINE W/VALVE     |
|  | EXISTING FIRE HYDRANT           |
|  | EXISTING STORM SEWER MAIN       |
|  | EXISTING SANITARY SEWER MAIN    |
|  | STORM SEWER                     |
|  | STORM SEWER STRUCTURE           |
|  | ELECTRIC SERVICE                |
|  | GAS SERVICE                     |
|  | EXISTING ELECTRIC               |
|  | EXISTING GAS                    |
|  | EXISTING TELECOMMUNICATION LINE |

- UTILITY NOTES**
1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
  2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
  3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
  4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.



**SUPERBLOOM**

23 LINCOLN ST,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

DATE: NOVEMBER 24, 2021  
PROJECT NO. PCRC

| SUBMITTALS  | DATE       |
|-------------|------------|
| 1 SDP-01    | 11/04/2021 |
| 2 SDP-02    | 02/04/2022 |
| 3 SDP-03    | 03/09/2022 |
| 4 SDP-04    | 03/29/2022 |
| 5 SDP-MYLAR | 05/02/2022 |
| 6           |            |

**NOTES:**  
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO

**GENERAL UTILITY PLAN**

SCALE: 1" = 20'

**3**

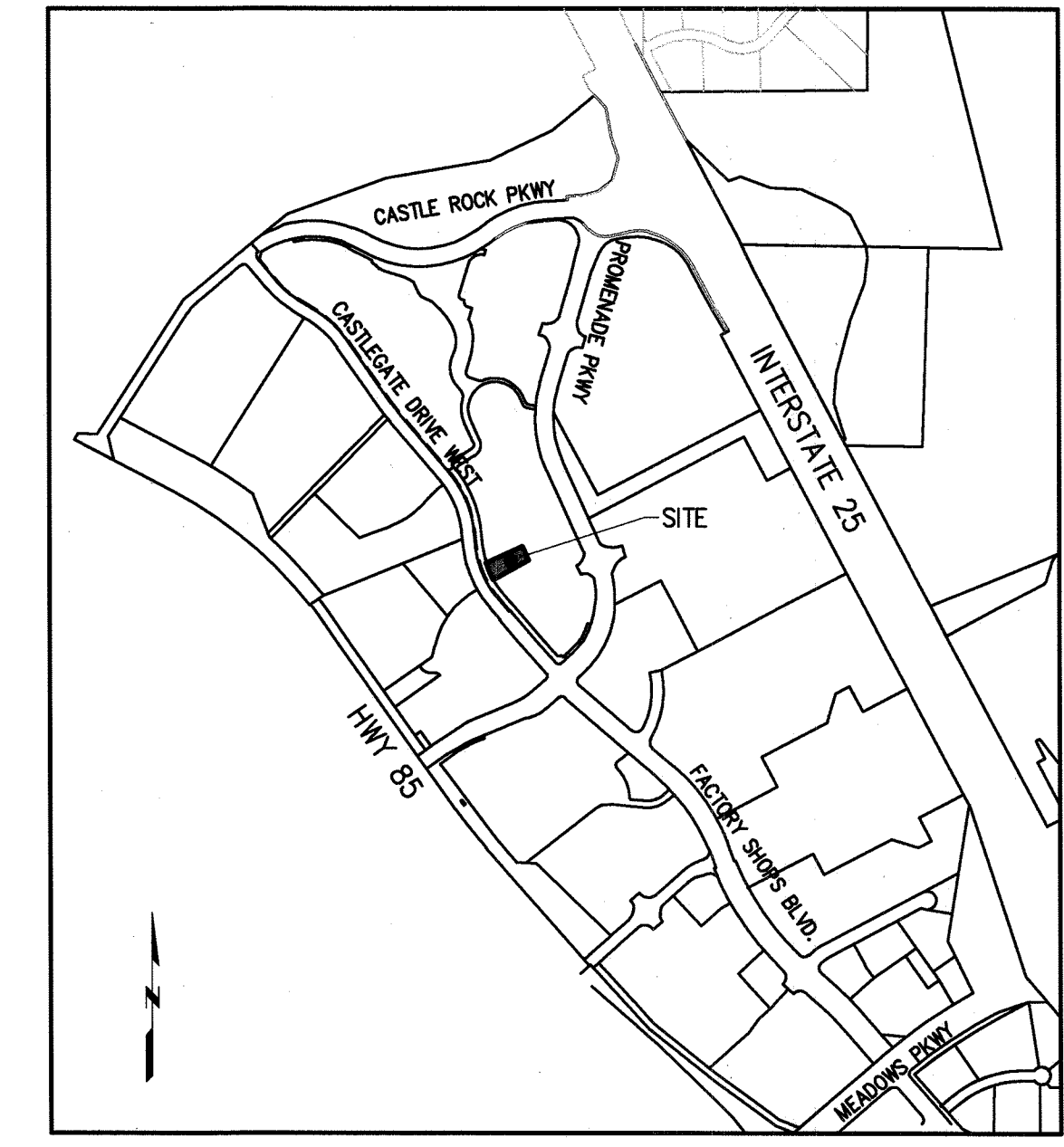
SHEET 3 OF 12  
DRAWN BY:                      LIT

**SITE DEVELOPMENT PLAN - SDP21-0055**  
**FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**

# SITE DEVELOPMENT PLAN

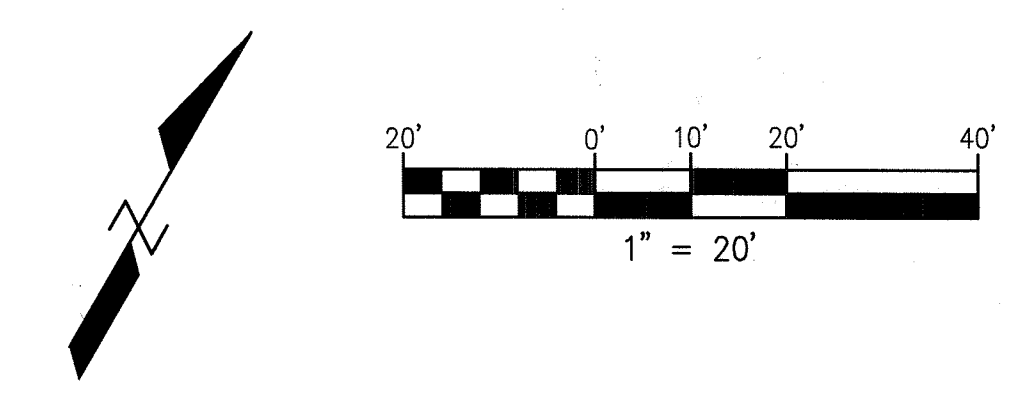
## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**GRADING LEGEND**

|  |                           |
|--|---------------------------|
|  | EXISTING CURB & GUTTER    |
|  | EXISTING CONTOUR          |
|  | PROPOSED CONTOUR          |
|  | EXISTING STORM SEWER MAIN |
|  | STORM SEWER               |
|  | STORM SEWER STRUCTURE     |
|  | FLOW DIRECTION ARROW      |
|  | SUMP INLET OVERFLOW PATH  |
|  | DRAINAGE SWALE            |



**SITE DEVELOPMENT PLAN - SDP21-0055**  
**FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT**  
**CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**

**SUPERBLOOM**

23 LINCOLN ST.,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

DATE: NOVEMBER 24, 2021  
PROJECT NO.: PCRC

| SUBMITTALS   | DATE       |
|--------------|------------|
| 1. SDP-01    | 11/16/2021 |
| 2. SDP-02    | 02/04/2022 |
| 3. SDP-03    | 03/09/2022 |
| 4. SDP-04    | 03/22/2022 |
| 5. SDP-MPLAR | 06/20/2022 |
| 6.           |            |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO

**GENERAL GRADING PLAN**

SCALE: 1" = 20'

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

**SUPERBLOOM**

23 LINCOLN ST,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

**LANDSCAPE GENERAL NOTES**

- REFER TO CIVIL ENGINEER'S UTILITY AND GRADING PLANS FOR UTILITY LOCATION AND GRADING.
- ALL TREES AND SHRUBS SHALL BE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- ALL TREES AND SHRUBS SHALL BE BACK FILLED WITH A TOPSOIL / ORGANIC FERTILIZER MIXTURE AT A 2:1 RATIO.
- PLANTED TREES SHALL BE STAKED WITH FOUR FOOT METAL POSTS. TREES SHALL BE GUYED WITH 12 GAUGE GALVANIZED WIRE AND POLYPROPYLENE TREE RACE STRAPS.
- PERENNIAL PLANTING BEDS SHALL BE TILLED TO A MINIMUM SIX INCH (6") DEPTH AND AMENDED AT A RATIO OF 4 CU YD / 1000 SF. ORGANIC MATTER SHALL CONSIST OF COMPOST.
- SEE PLANTING DETAILS FOR ALL DECIDUOUS AND EVERGREEN TREES.
- MULCH ALL PERENNIAL AND SHRUB BEDS WITH 4" DEPTH DOUBLE-SHREDDED NATURAL CEDAR (GORILLA HAIR) MULCH OVER SPECIFIED GEOTEXTILE WEED CONTROL FABRIC.
- ALL SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 3/8" X 14 GAUGE GREEN, STEEL ROLL TOP, INTERLOCKING TYPE EDGER AS LOCATED IN PLANS.
- ALL PLANT MATERIAL TO MEET THE AMERICAN STANDARD FOR NURSERY STOCK.
- ALL PLANTED MATERIALS SHALL BE NON-NOXIOUS SPECIES AS SPECIFIED WITHIN THE DOUGLAS COUNTY NOXIOUS WEED LIST. LANDSCAPING SHOWN ON THE LANDSCAPE PLAN SHALL COMPLY WITH ALL APPLICABLE CODE REGARDING NOXIOUS WEEDS.
- SEED WITH NATIVE GRASS SEED MIX ACCORDING TO MANUFACTURERS INSTRUCTIONS. IF APPLICABLE, NATIVE GRASS SEED MIX IS REQUIRED IN ALL DISTURBED AREAS ON THE PERIMETER OF THE BUILDING SITE AND AT UTILITY AND ROAD CUTS.
- TREES TO BE PLANTED A MINIMUM OF 4 FEET FROM FACE OF BUILDING, OR PAVEMENT, EXCEPT AS PROVIDED BY LANDSCAPE ARCHITECT.
- ALL TREES AND SHRUBS SHALL MEET THE MINIMUM PLANT SIZE REQUIREMENTS IN TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS.
- STEEP SLOPES THAT ARE GREATER THAN 4:1 SHALL BE REVEGETATED WITH THE APPROPRIATE, BIODEGRADABLE NETTING, SUCH AS COCONUT NETTING OR APPROVED SIMILAR PRODUCT THAT ALLOWS THE PLANT MATERIAL TO GROW UP THROUGH IT AND PREVENT EROSION.

**TOWN OF CASTLE ROCK STANDARD LANDSCAPE NOTES**

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

**COMMERCIAL LANDSCAPE SITE INVENTORY**

| Gross Site Area               | Landscape Area in Sq. Ft.            | Turfgrass List Species (Area in Sq. Ft.) | Nonliving Ornamental (Area in Sq. Ft.) | No. of Trees Required (1 large canopy deciduous shade tree / 1000 SF) | ***No. of Trees Provided   | No. of Shrubs Required | No. of Shrubs Provided | Soil Prep Amounts (in cu. yds. per 1000 Sq. Ft.) | Separate Irrigation Service Connections |
|-------------------------------|--------------------------------------|--|--|---|--|------------------------|------------------------|--|---|
| 22,217                        | 16,593                               | 2,057 SF                                 | N/A                                    | 16 large canopy deciduous shade trees                                 | 6 large canopy deciduous shade trees, 13 deciduous ornamental trees, 12 evergreen trees = 31 total | no shrubs required     | 115                    | 4  | Yes                                     |
| Parking Lot (Area in Sq. Ft.) | Parking Lot Landscape Area (Sq. Ft.) | No. of Parking Spaces                    | Nonliving Ornamental (Area in Sq. Ft.) | No. of Interior Landscape Islands                                     | Minimum Width of Interior Landscaped Islands   | No. of Trees Required  | No. of Trees Provided  | No. of Shrubs Required                           | No. of Shrubs Provided                  |
| N/A                           | N/A                                  | N/A                                      | N/A                                    | N/A   | N/A  | N/A                    | N/A                    | N/A  | N/A                                     |

\*\*\*REFER TO TCY22-0015 FOR REDUCTION IN REQUIRED LARGE CANOPY TREES

**COMPOSITE LANDSCAPE WATER USE RATING CHART**

| Irrigation - Spray or Drip? | Plant Name (Common) | Application Rate (inches/month) | Hydro-Zone (Very Low, Low, Moderate, High) | % of Irrigated Area | Irrigated Area (in Sq. Ft. for Each Zone) (IA) | Landscape Water Use Rating (LWUR) | Total Area of permanently Irrigated Landscape Zones (TA) | CLWUR =(LWUR x IA) / TA |
|-----------------------------|---------------------|---------------------------------|--|---------------------|--|-----------------------------------|--|-------------------------|
| Drip                        | Shrub Bed           | 2.5                             | Low - Mod                                  | 32.57               | 5,405  | 2.5                               | 16,593   | 0.81                    |
| Spray                       | Turf Grass Sod      | 4.5                             | High                                       | 12.40               | 2,057  | 4.5                               |  | 0.56                    |
| Spray                       | Native Seed Mix A   | 1.4                             | Very Low                                   | 11.28               | 1,871  | 1.4                               |  | 0.16                    |
| Spray                       | Native Seed Mix B   | 1.4                             | Very Low                                   | 21.23               | 3,523  | 1.4                               |  | 0.30                    |
| Spray                       | Perennial Mix       | 2.0                             | Low  | 13.77               | 2,285  | 2.0                               |  | 0.28                    |
| Spray                       | Groundcover Mix     | 2.0                             | Low  | 8.75                | 1,452  | 2.0                               |  | 0.18                    |
| Total of the CLWUR:         |                     |                                 |  |                     |  |                                   |  | 2.290                   |

**SITE INVENTORY**

| Site Item         | Square Feet |
|-------------------|-------------|
| Gross Site        | 22,217      |
| Turf Grass Sod    | 2,057       |
| Shrub Bed         | 5,405       |
| Native Seed Mix A | 1,871       |
| Native Seed Mix B | 3,523       |
| Perennial Mix     | 2,285       |
| Groundcover Mix   | 1,452       |
| Crusher Fines     | 1,439       |
| Hardscape         | 4,185       |

Unofficial Copy

| DATE:             | NOVEMBER 24, 2021 |
|-------------------|-------------------|
| PROJECT NO.       | PCRC              |
| <b>SUBMITTALS</b> |                   |
| 1 SDP-01          | 11/24/2021        |
| 2 SDP-02          | 02/04/2022        |
| 3 SDP-03          | 03/09/2022        |
| 4 SDP-04          | 02/23/2022        |
| 5 SDP-MYLAR       | 05/05/2022        |
| 6                 |                   |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHANGES AND INTERFERING PLANNING DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO

NOT FOR CONSTRUCTION



**GENERAL NOTES**

SCALE:

**5**

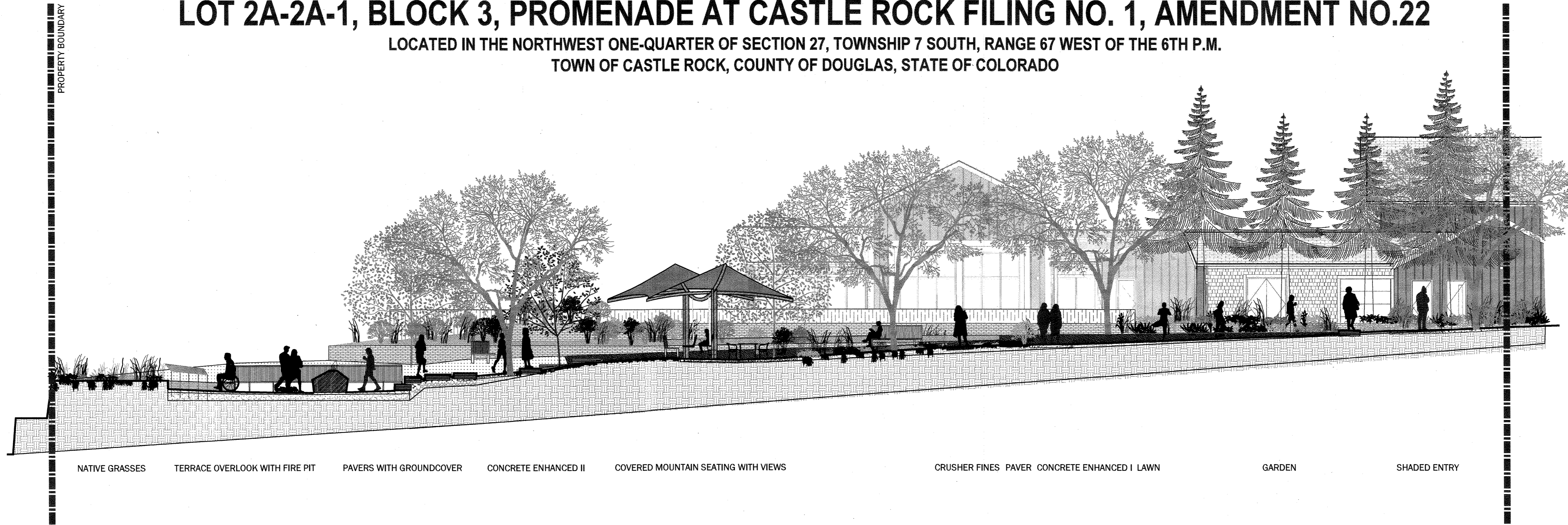
DRAWN BY: DL, SP, DR, MB

**SITE DEVELOPMENT PLAN - SDP21-0055  
FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT  
CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 Outdoor Commons Park Section A | View Facing North  
SCALE: 1:10



VIEW A



VIEW C

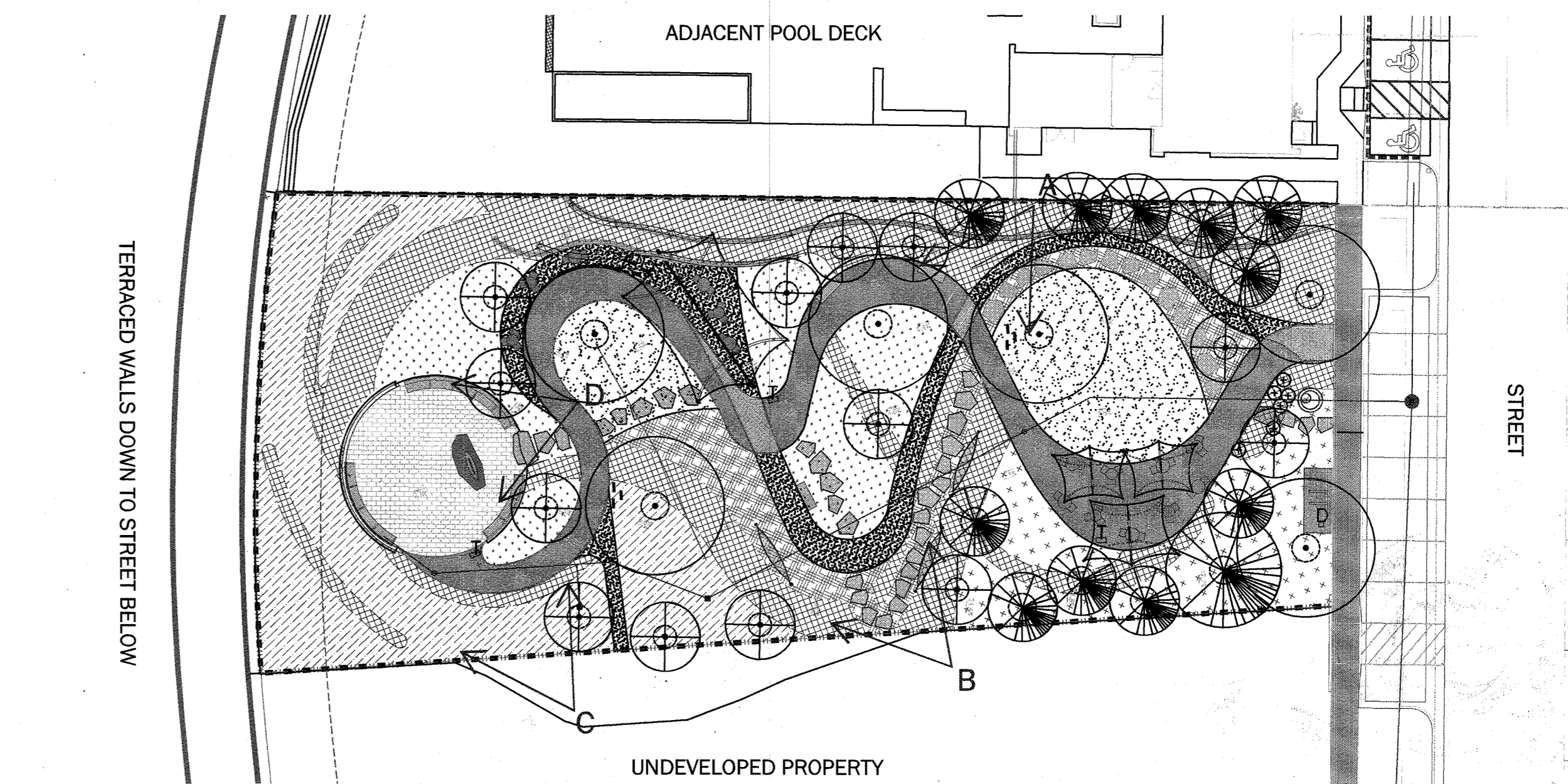


VIEW B



VIEW D

Unofficial Copy



OVERALL PLAN AND VIEW KEY MAP (N.T.S.)

**SUPERBLOOM**

23 LINCOLN ST,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

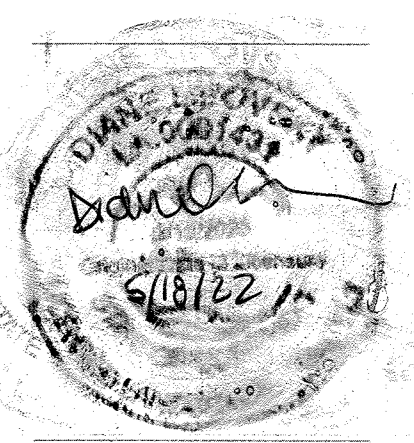
DATE: NOVEMBER 24, 2021  
PROJECT NO.: PCR

SUBMITTALS

| DATE        | DESCRIPTION |
|-------------|-------------|
| 1 SDP-01    | 11/24/2021  |
| 2 SDP-02    | 02/04/2022  |
| 3 SDP-03    | 03/09/2022  |
| 4 SDP-04    | 03/09/2022  |
| 5 SDP-MYLAR | 05/05/2022  |
| 6           |             |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHANGERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE BY ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO



RENDERINGS AND SECTIONS

SCALE: 1" = 10'

6

DRAWN BY: DL, SP, DR, MB

2 Illustrative Imagery  
SCALE: NTS

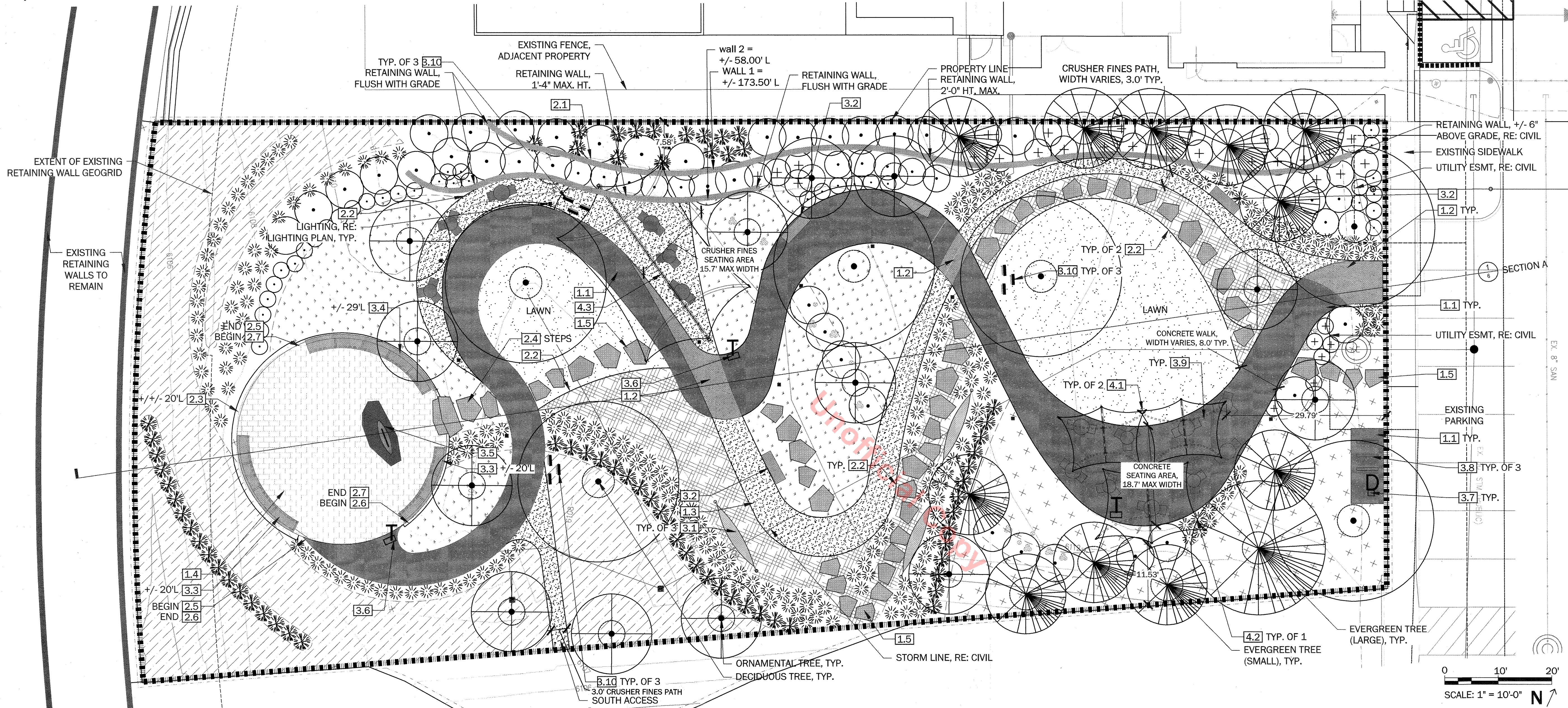
SITE DEVELOPMENT PLAN - SDP21-0055  
FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT  
CASTLE ROCK, FILING NO.1, AMENDMENT NO.22

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PLAN | SCALE: 1" = 10'-0"



**KEYNOTES**

keynote legend symbols reduced by 2 for clarity

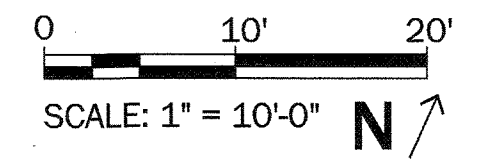
| DTL./SHT.# | KEYNOTES  |
|------------|---|
| 1.0        | PAVING  |
| 1.1        | 4" CONCRETE PAVING                                    |
| 1.2        | 4" ENHANCED CONCRETE PAVING                           |
| 1.3        | 6" CRUSHER FINES PAVING                               |
| 1.4        | STONE OR ENHANCED CONCRETE PAVERS ON SAND SETTING BED |
| 1.5        | STEPPING PAVESTONES                                   |
| 2.0        | WALLS, STAIRS & RAILINGS                              |
| 2.1        | RETAINING WALL  |
| 2.2        | STEEL EDGER   |
| 2.3        | LEAN RAIL W/ SIGN                                     |
| 2.4        | SLAB STONE STEPS                                      |
| 2.5        | CONCRETE RETAINING WALL                               |
| 2.6        | 6" CIP CONCRETE FLUSH BAND                            |
| 2.7        | 6" CIP CONCRETE RAISED CURB                           |

| DTL./SHT.# | KEYNOTES                            | DTL./SHT.# | KEYNOTES   |
|------------|-------------------------------------|------------|--|
| 3.0        | SITE FURNISHINGS & NATURAL FEATURES | 3.1        | HAMMOCK 7/8                                      |
| 3.1        |                                     | 3.2        | BENCH 2/8  |
| 3.2        |                                     | 3.3        | CUSTOM RADIUS BENCH 1/9                          |
| 3.3        |                                     | 3.4        | CUSTOM RADIUS LOUNGE SEAT 3/9                    |
| 3.4        |                                     | 3.5        | FIRE PIT 5/8                                     |
| 3.5        |                                     | 3.6        | TRASH RECEPTACLE 1/8                             |
| 3.6        |                                     | 3.7        | DOG WASTE STATION 1/8                            |
| 3.7        |                                     | 3.8        | BIKE RACK 4/8                                    |
| 3.8        |                                     | 3.9        | TABLE & CHAIRS 3/8                               |
| 3.9        |                                     | 3.10       | 6'-10' HT. PUBLIC ART SCULPTURE, DESIGN TBD. 6/8 |
| 4.0        | STRUCTURES                          | 4.1        | TENSILE STRUCTURE - SMALL 4/9                    |
| 4.1        |                                     | 4.2        | TENSILE STRUCTURE - MEDIUM 6/9                   |
| 4.2        |                                     | 4.3        | TENSILE STRUCTURE - LARGE 7/9                    |

| Symbol   | Key               | Hydrozones |
|----------|-------------------|------------|
| [Symbol] | Sod               | HIGH       |
| [Symbol] | Groundcover Mix   | LOW        |
| [Symbol] | Perennial Mix     | LOW        |
| [Symbol] | Native Seed Mix A | VERY LOW   |
| [Symbol] | Native Seed Mix B | VERY LOW   |
| [Symbol] | Shrub Bed         | LOW-MOD    |

**PLANT LEGEND** (TREE SYMBOLS REDUCED BY 2 FOR CLARITY)

| Symbol   | Quantity                            |
|----------|-------------------------------------|
| [Symbol] | DECIDUOUS CANOPY TREE 6             |
| [Symbol] | DECIDUOUS ORNAMENTAL TREE 13        |
| [Symbol] | EVERGREEN TREE (LARGE AND SMALL) 12 |
| [Symbol] | DECIDUOUS SHRUBS 84                 |
| [Symbol] | EVERGREEN SHRUBS 31                 |
| [Symbol] | ORNAMENTAL GRASSES 284              |



**SUPERBLOOM**

23 LINCOLN ST,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

DATE: NOVEMBER 24, 2021  
PROJECT NO. PCRC  
SUBMITTALS DATE  
1 SDP-01 11/24/2021  
2 SDP-02 02/04/2022  
3 SDP-03 03/02/2022  
4 SDP-04 03/29/2022  
5 SDP-MYLAR 05/02/2022  
6

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERIOR FINISH DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AN DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2 CASTLE ROCK, CO

NOT FOR CONSTRUCTION



**GENERAL LANDSCAPE PLAN**

SCALE: 1" = 10'

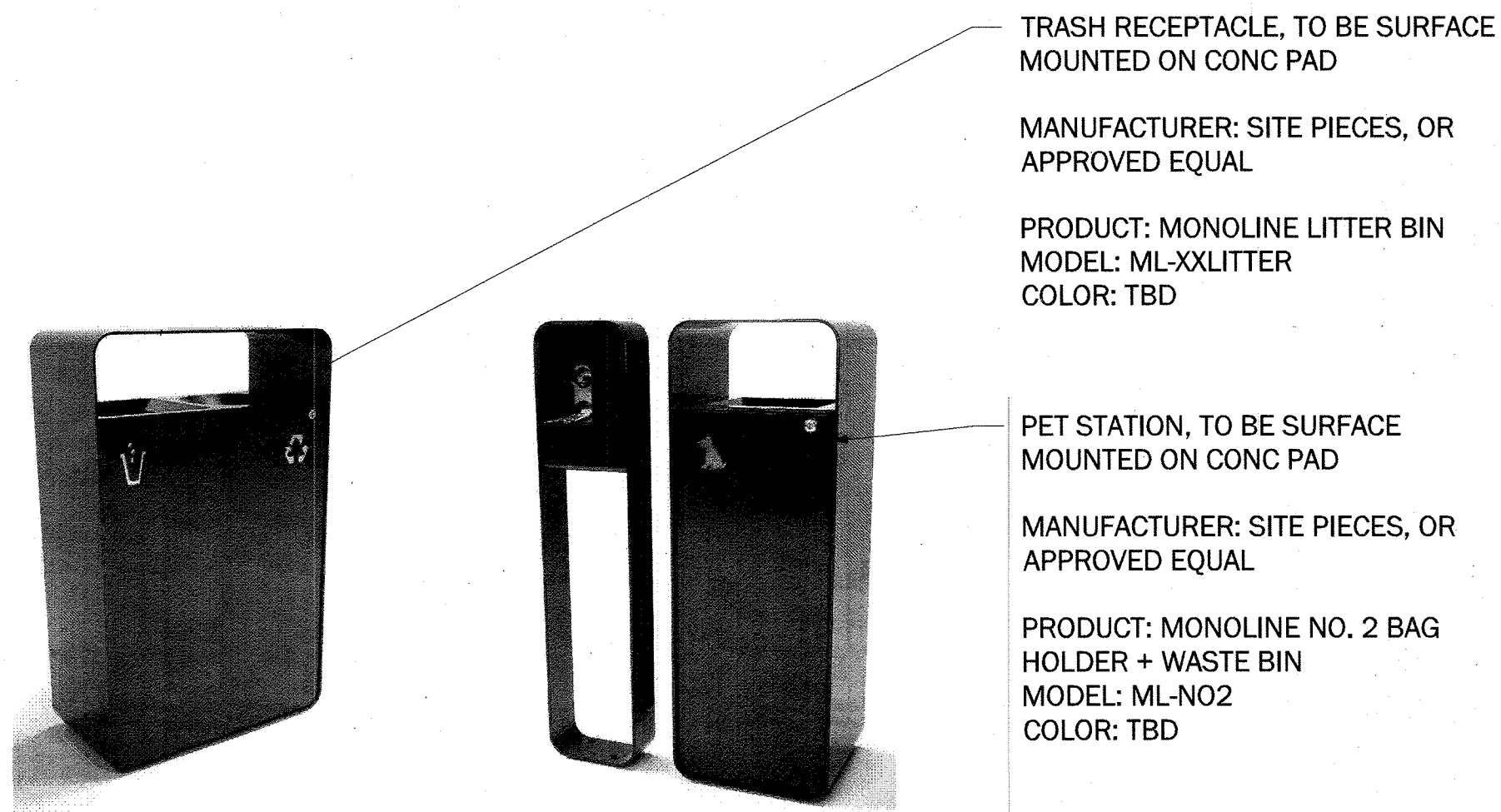
**7**  
DRAWN BY: DL, SP, DR, MB

**SITE DEVELOPMENT PLAN - SDP21-0055**  
**FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**

# SITE DEVELOPMENT PLAN

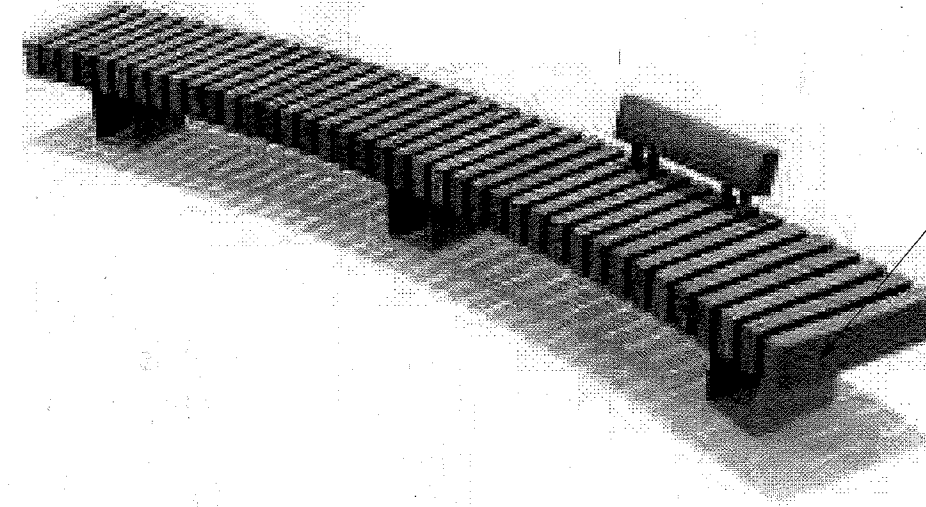
## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

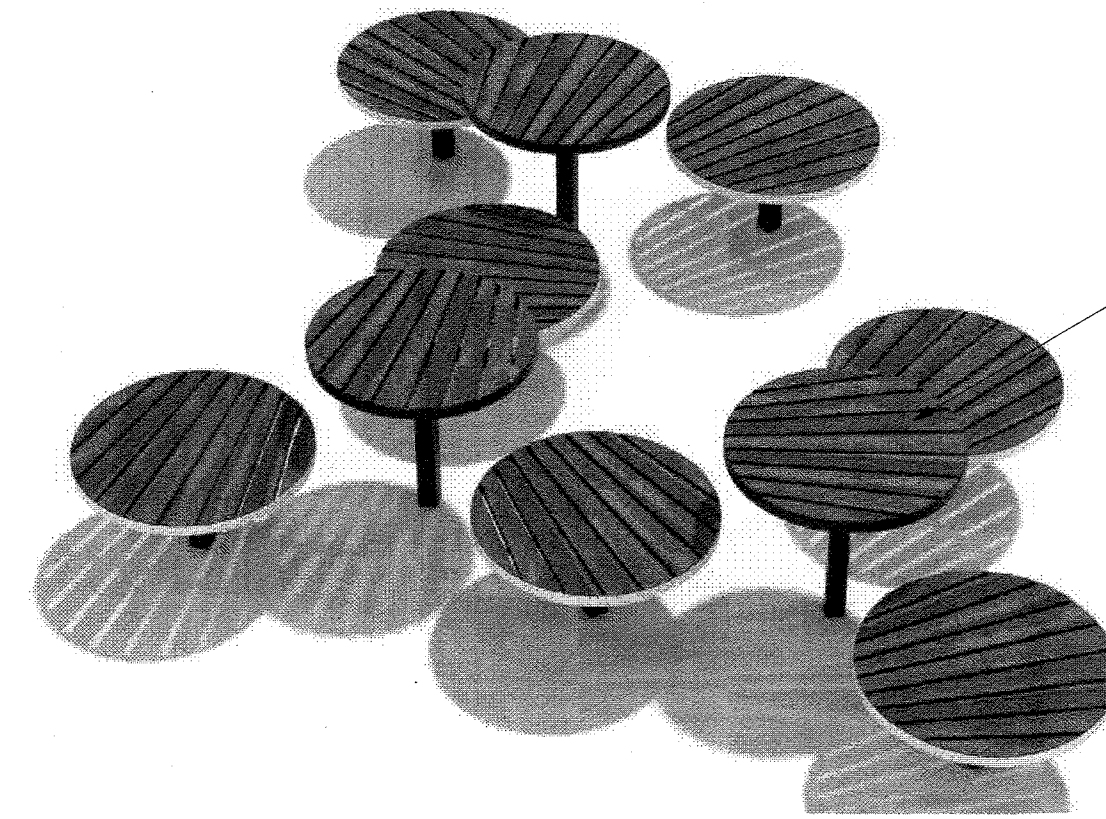


TRASH RECEPTACLE, TO BE SURFACE MOUNTED ON CONC PAD  
MANUFACTURER: SITE PIECES, OR APPROVED EQUAL  
PRODUCT: MONOLINE LITTER BIN  
MODEL: ML-XXLITTER  
COLOR: TBD

PET STATION, TO BE SURFACE MOUNTED ON CONC PAD  
MANUFACTURER: SITE PIECES, OR APPROVED EQUAL  
PRODUCT: MONOLINE NO. 2 BAG HOLDER + WASTE BIN  
MODEL: ML-NO2  
COLOR: TBD



6' BENCH, EMBED ON CONCRETE PAD  
MANUFACTURER: SITEPIECES OR APPROVED EQUAL  
PRODUCT: MONOLINE BACKLESS BENCH  
COLOR/FINISH: TBD



TABLE, TO BE EMBED MOUNTED ON CONC PAD AT TABLE-TOP AND SEAT-TOP HEIGHTS AS DENOTED ON PLANS, OR APPROVED EQUAL  
MANUFACTURER: MMCITE  
PRODUCT: LAGO TABLE  
MODEL: LAG910  
COLOR: TBD

1 TRASH RECEPTACLE AND DOG WASTE STATION 3.6 3.7  
SCALE: 3/4" = 1'-0"

2 BENCH 3.2  
SCALE: 1/2" = 1'-0"

3 TABLES AND CHAIRS FOR PAVILLION 3.9  
SCALE: 3/4" = 1'-0"



BIKE RACK, TO BE SURFACE MOUNTED ON CONC PAD  
MANUFACTURER: SITE PIECES, OR APPROVED EQUAL  
PRODUCT: MONOLINE CORE  
MODEL: ML-CORE-8  
COLOR: TBD

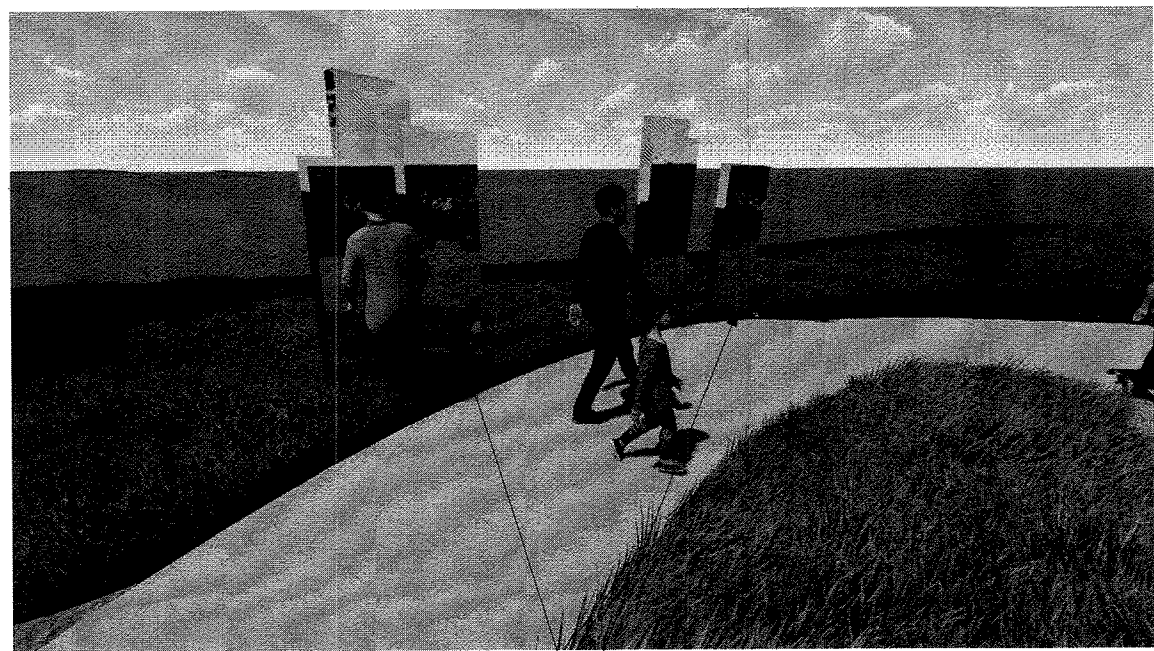


STONE OR CONCRETE NATURAL GAS FIRE PIT/ BUILDING PERMIT REQUIRED. PROVIDE TAMPER-PROOF PANEL.

NOTES:  
1. ILLUSTRATIVE IMAGE SHOWN FOR DESIGN INTENT ONLY

4 BIKE RACK 3.8  
SCALE: 3/4" = 1'-0"

5 FIRE PIT 3.5  
SCALE: 3/4" = 1'-0"



NOTES:  
1. THIS DETAIL IS FOR DESIGN INTENT ONLY. THIS DETAIL HAS NOT BEEN ENGINEERED.

CUSTOM DESIGNED 3/8" POLISHED STAINLESS STEEL, ALL VISIBLE SIDES. EASE EDGES, WITH FRITTING OR PATTERN GRAPHIC TO MINIMIZE REFLECTANCE, OR APPROVED EQUAL  
MANUFACTURER: CUSTOM  
MODEL: CUSTOM  
COLOR/FINISH: TBD

6 PUBLIC ART SCULPTURES 8.10  
SCALE: 1" = 1'-0"



WOOD OR METAL POSTS ON CONCRETE FOOTING.  
COMMERCIAL GRADE HAMMOCK

NOTES:  
1. ILLUSTRATIVE IMAGE SHOWN FOR DESIGN INTENT ONLY

7 HAMMOCK 3.1  
SCALE: 3/4" = 1'-0"

SUPERBLOOM

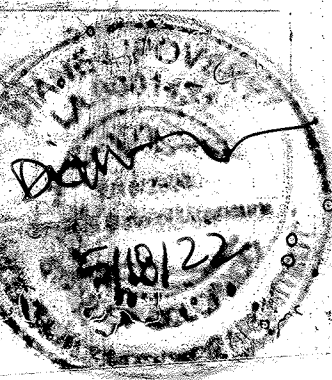
23 LINCOLN ST,  
SUITE 200,  
DENVER, CO 80203  
720.440.2668

| DATE              | PROJECT NO. | DATE       |
|-------------------|-------------|------------|
| NOVEMBER 24, 2021 | PCRC        |            |
| SUBMITTALS        |             | DATE       |
| 1 SDP-01          |             | 11/24/2021 |
| 2 SDP-02          |             | 12/04/2021 |
| 3 SDP-03          |             | 03/01/2022 |
| 4 SDP-04          |             | 03/03/2022 |
| 5 SDP-MYLAR       |             | 05/05/2022 |
| 6                 |             |            |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHAPTERS AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO

NOT FOR CONSTRUCTION



FURNISHING DETAILS

SCALE: SEE DETAIL

8

DRAWN BY: DL, SP, DR, MB

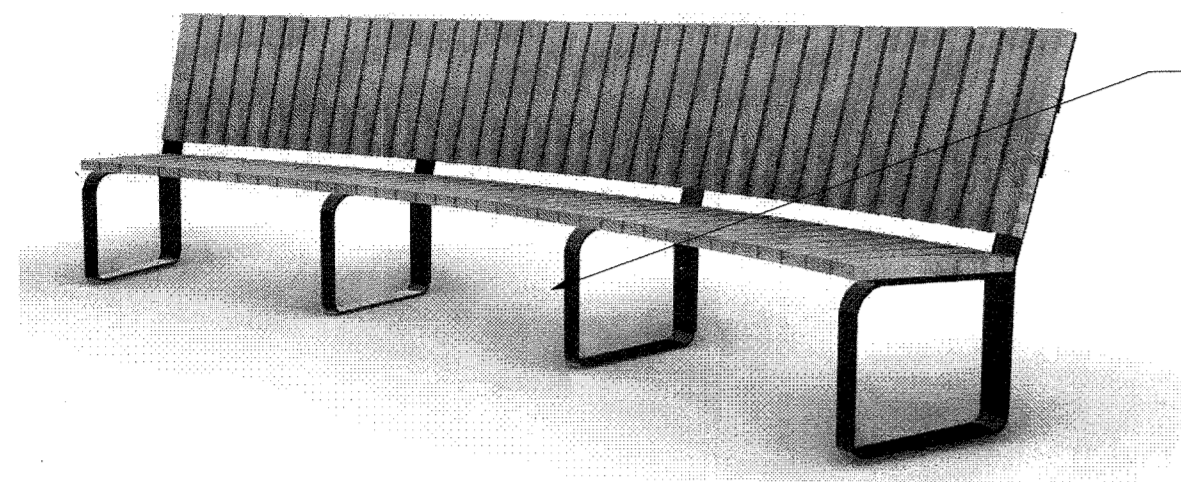
SITE DEVELOPMENT PLAN - SDP21-0055  
FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT  
CASTLE ROCK, FILING NO.1, AMENDMENT NO.22

# SITE DEVELOPMENT PLAN

## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

CHARACTER IMAGE:



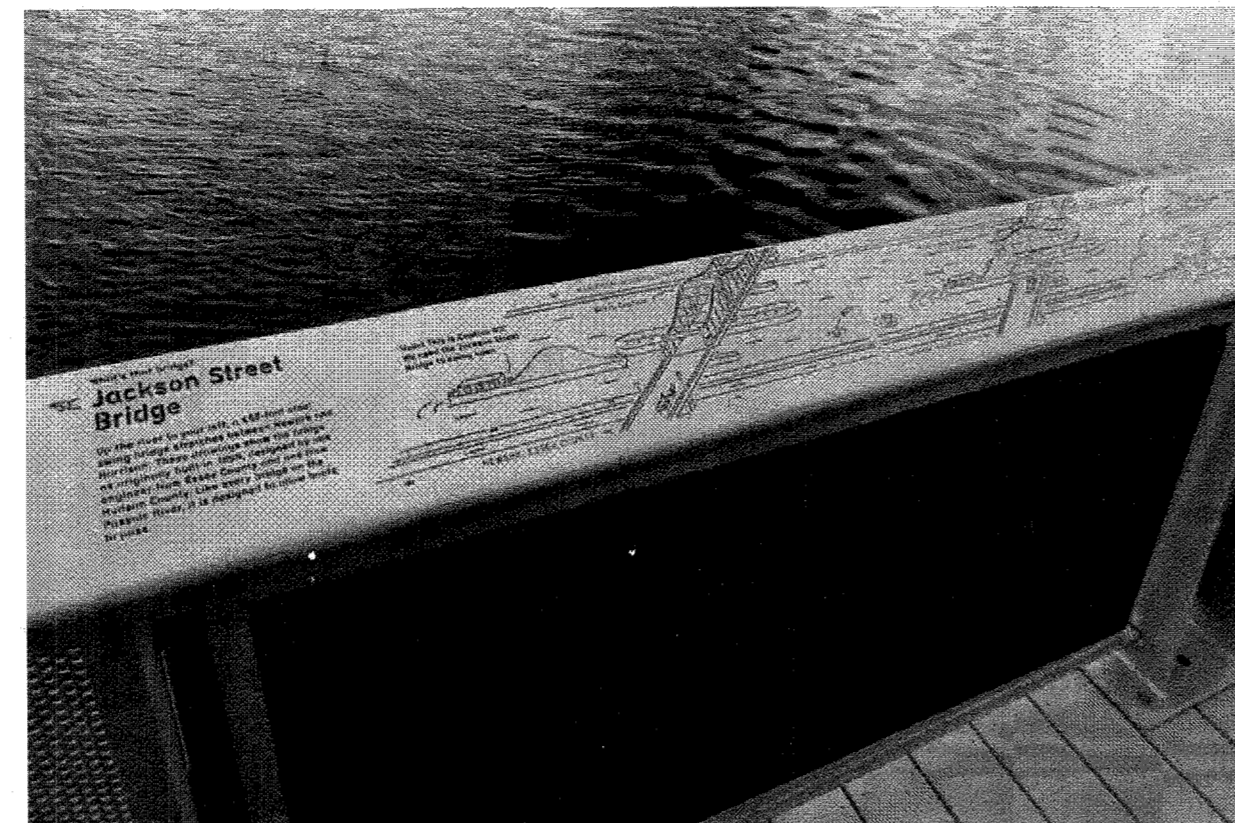
CUSTOM DESIGNED CURVED WOOD BENCH ON METAL FRAME WITH LINEAR LED LIGHT.

MANUFACTURER: SITE PIECES OR EQUAL  
MODEL: CUSTOM  
COLOR/FINISH: TBD

**NOTES:**

1. THIS DETAIL IS FOR DESIGN INTENT ONLY. THIS DETAIL HAS NOT BEEN ENGINEERED.

**1** CUSTOM RADIUS BENCH AT OVERLOOK [3.3]  
SCALE: 1/2" = 1'-0"



**2** CLOUD SIGN AT LEAN RAIL [2.3]  
SCALE: 3/16" = 1'-0"

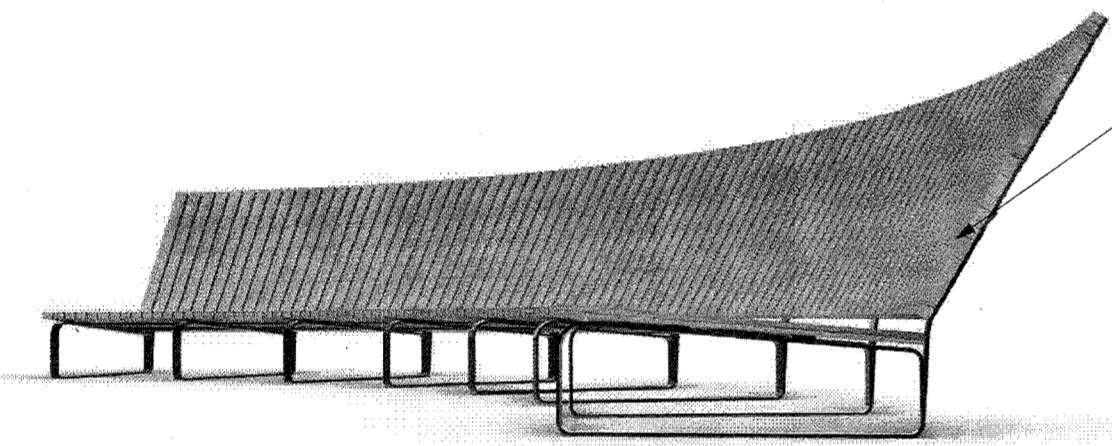


LASER-CUT INFOGRAPHICS ON WOOD OR METAL TOP RAIL

42" MIN. METAL LEAN RAILING WITH INFOGRAPHIC TOP

**NOTES:**

1. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT PRIOR TO FABRICATION FOR IMAGERY AND LETTERING INFORMATION
2. COLOR/FINISH OF RAILING: TBD
3. IMAGE SHOWN FOR REFERENCE ONLY TO CONVEY DESIGN INTENT.



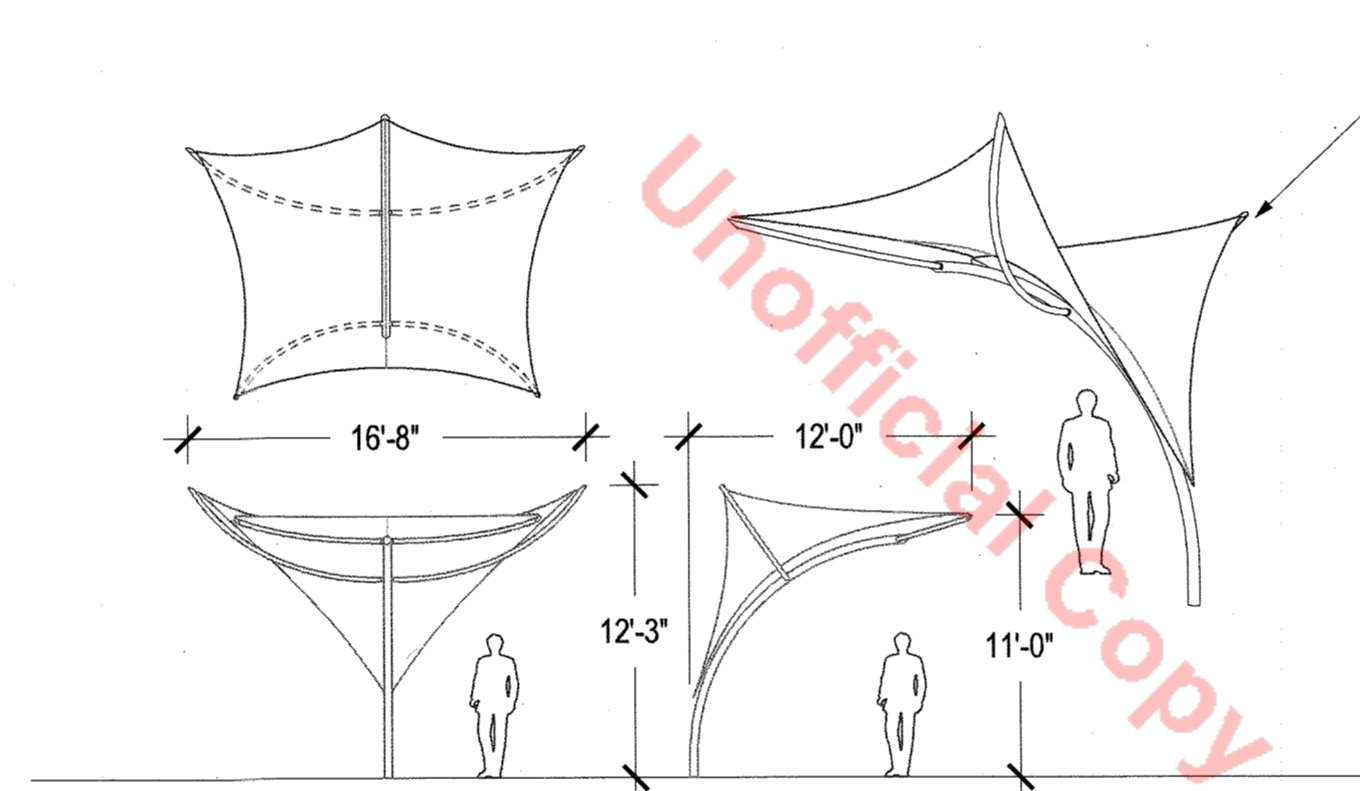
CUSTOM CURVED WOOD CHAISE LOUNGE ON METAL FRAME WITH LINEAR LED LIGHT.

MANUFACTURER: SITE PIECES OR APPROVED EQUAL  
MODEL: CUSTOM  
COLOR/FINISH: TBD

**NOTES:**

1. IMAGE REPRESENTATIVE OF DESIGN INTENTS. FINAL ENGINEERED DRAWINGS TO BE FINALIZED DURING CONSTRUCTION DRAWINGS.

**3** CUSTOM CHAISE LOUNGE AT OVERLOOK [3.4]  
SCALE: 1" = 1'-0"



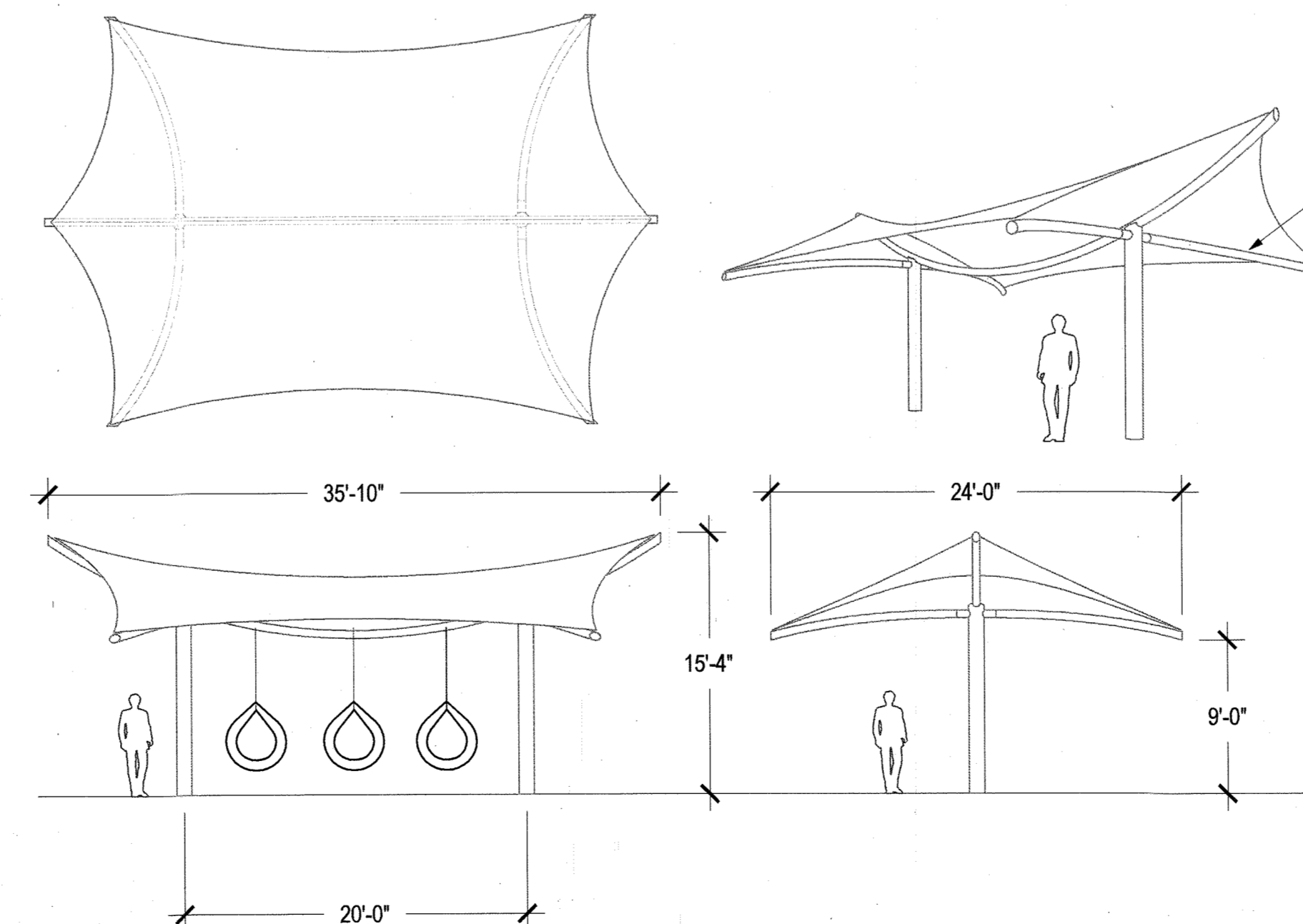
TENSILE SHADE STRUCTURE, EMBED MOUNT  
MANUFACTURER: TENSILE SHADE PRODUCTS, OR APPROVED EQUAL.

MODEL: SUNAMI I SL  
COLOR/FINISH: TBD  
INCLUDE: OPTIONAL LIGHTING PACKAGE

**NOTES:**

1. THIS DETAIL HAS NOT BEEN ENGINEERED.
2. CONTRACTOR TO COLLECT ALL REQUIRED PERMITS PRIOR TO INSTALLATION.
3. CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS PRIOR TO CONSTRUCTION.

**4** TENSILE SHADE STRUCTURE - SMALL [4.1]  
SCALE: 1/8" = 1'-0"

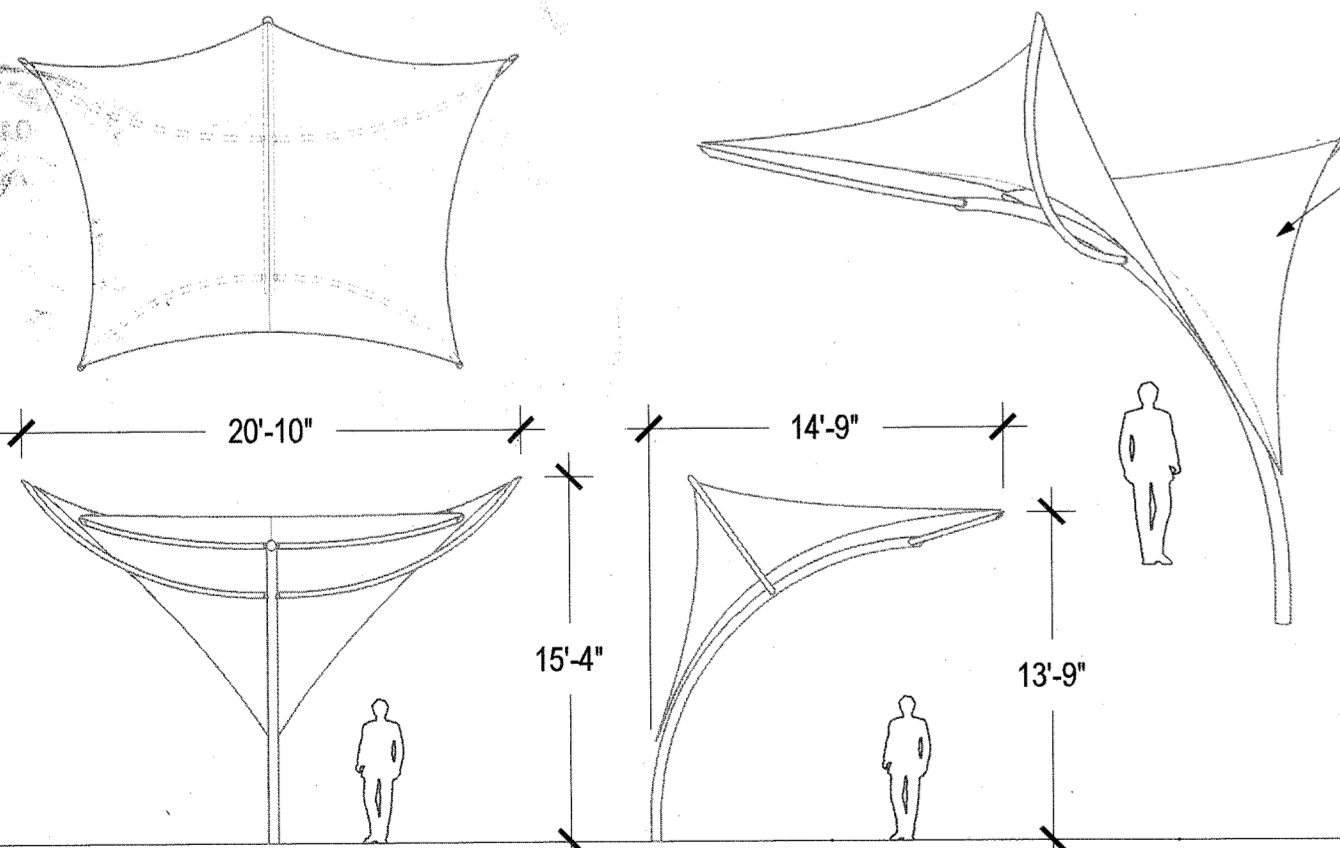


TENSILE SHADE STRUCTURE, EMBED MOUNT  
MANUFACTURER: TENSILE SHADE PRODUCTS, OR APPROVED EQUAL

MODEL: SUNBOW SL  
COLOR/FINISH: TBD  
INCLUDE: OPTIONAL LIGHTING PACKAGE

**NOTES:**

1. THIS DETAIL HAS NOT BEEN ENGINEERED.
2. CONTRACTOR TO COLLECT ALL REQUIRED PERMITS PRIOR TO INSTALLATION.
3. CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS PRIOR TO CONSTRUCTION.



TENSILE SHADE STRUCTURE, EMBED MOUNT

MANUFACTURER: TENSILE SHADE PRODUCTS, OR APPROVED EQUAL

MODEL: SUNAMI II SL  
COLOR/FINISH: TBD  
INCLUDE: OPTIONAL LIGHTING PACKAGE

**NOTES:**

1. THIS DETAIL HAS NOT BEEN ENGINEERED.
2. CONTRACTOR TO COLLECT ALL REQUIRED PERMITS PRIOR TO INSTALLATION.
3. CONTRACTOR TO SUBMIT ENGINEERED SHOP DRAWINGS PRIOR TO CONSTRUCTION.

**6** TENSILE SHADE STRUCTURE - MEDIUM [4.2]  
SCALE: 1/8" = 1'-0"

**7** TENSILE SHADE STRUCTURE - LARGE [4.3]  
SCALE: 1/8" = 1'-0"

**SUPERBLOOM**

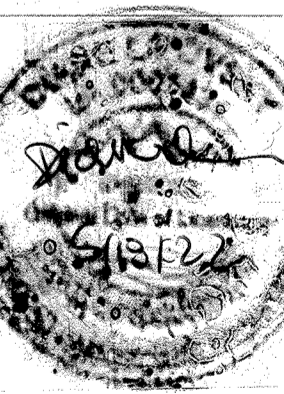
23 LINCOLN ST,  
SUITE 200  
DENVER, CO 80203  
720.440.2668

|                   |                   |
|-------------------|-------------------|
| DATE:             | NOVEMBER 24, 2021 |
| PROJECT NO.:      | PCRC              |
| <b>SUBMITTALS</b> |                   |
| DATE              |                   |
| 1 SDP-01          | 11/24/2021        |
| 2 SDP-02          | 02/04/2022        |
| 3 SDP-03          | 03/05/2022        |
| 4 SDP-04          | 03/05/2022        |
| 5 SDP-MYLR        | 05/05/2022        |
| 6                 |                   |

**NOTES:**  
CONTRACTOR TO REVIEW AND COMPARE ALL CHANGES AND INTERDISCIPLINARY DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIA DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PARK AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2  
CASTLE ROCK, CO

NOT FOR CONSTRUCTION



**STRUCTURES DETAILS**

SCALE: SEE DETAIL

**9**

DRAWN BY: DL, SP, DR, MB

**SITE DEVELOPMENT PLAN - SDP21-0055**  
**FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**



# SITE DEVELOPMENT PLAN

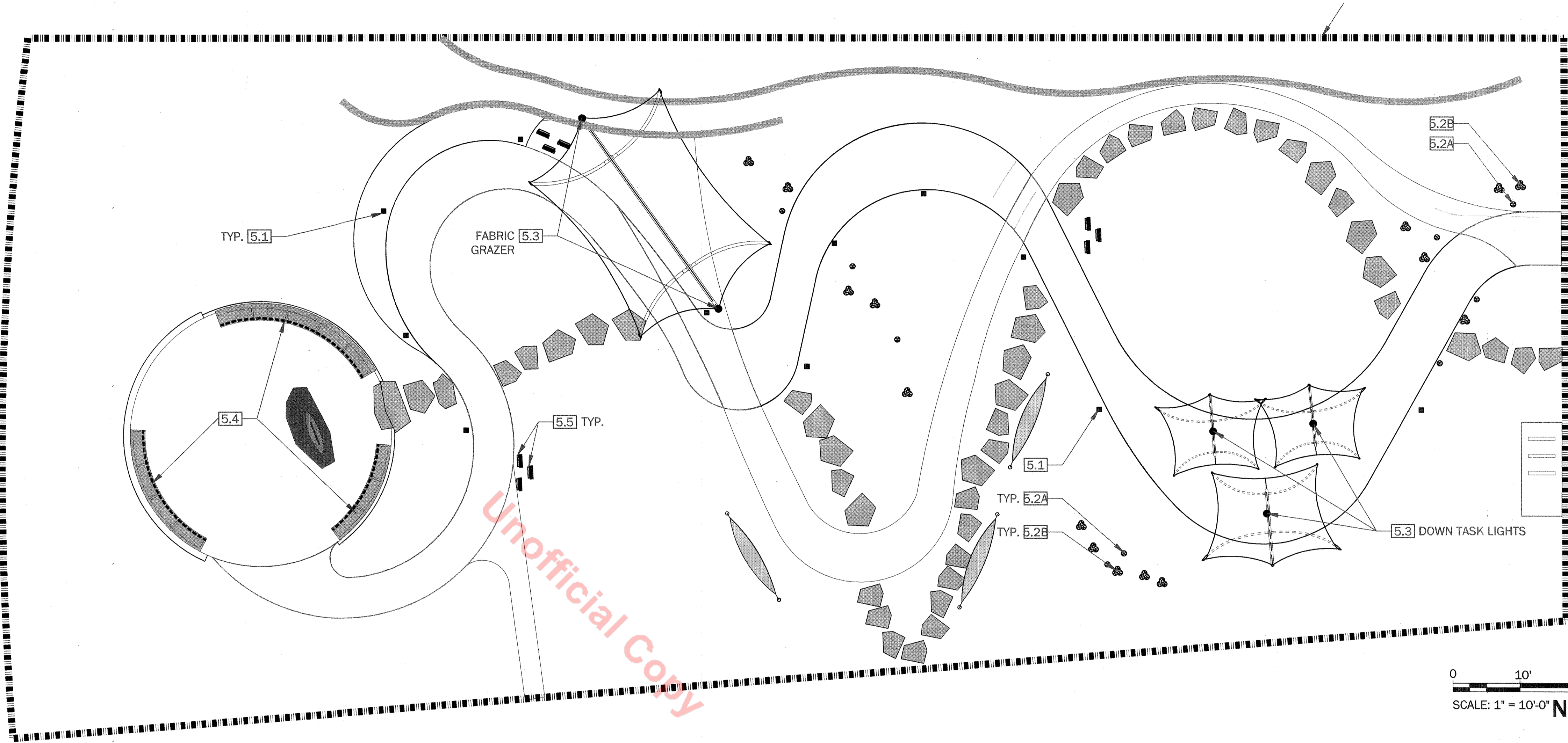
## LOT 2A-2A-1, BLOCK 3, PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO.22

LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### LIGHTING LEGEND

#### KEYNOTES

| KEYNOTE | LIGHTING               | QTY   |
|---------|------------------------|-------|
| 5.0     | LIGHTING               |       |
| 5.1     | BOLLARD LIGHT          | 11    |
| 5.2A    | REED LIGHT (SM)        | 9     |
| 5.2B    | REED LIGHT (LG)        | 15    |
| 5.3     | SHADE STRUCTURE LIGHT  | 4     |
| 5.4     | BENCH LIGHT            | 58 LF |
| 5.5     | LINEAR SCULPTURE LIGHT | 9     |



**SUPERBLOOM**

23 LINCOLN ST,  
SUITE 200  
DENVER, CO 80203  
720.440.2688

DATE: NOVEMBER 24, 2021  
PROJECT NO.: PCRC

| SUBMITTALS  | DATE       |
|-------------|------------|
| 1 SDP-01    | 11/04/2021 |
| 2 SDP-02    | 02/04/2022 |
| 3 SDP-03    | 03/06/2022 |
| 4 SDP-04    | 05/23/2022 |
| 5 SDP-MYLAR | 05/01/2022 |
| 6           |            |

NOTES:  
CONTRACTOR TO REVIEW AND COMPARE ALL CHARTERS AND INTERFERENCES DRAWINGS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO ANY FIELD WORK BEING DONE IN ACCORDANCE WITH AIR DOCUMENT A201.

PROJECT  
**OUTDOOR COMMONS PARK**  
PROMENADE AT CASTLE ROCK METROPOLITAN DISTRICT NO. 2 CASTLE ROCK, CO

NOT FOR CONSTRUCTION

**PSY414 LED**  
114-0184 (previous product code: 114-0184 for reference only)

**Description:** PSY414 LED Bollard Light. Manufactured from aluminum construction. Full section features galvanized steel reinforcement core, S2E superior corrosion protection including PVC membrane, Silicone GCRB, Corrosion Compression Bracket, Polycarbonate main lens, CAD optical pattern for superior beam spread and glare control. Integral driver. 0-10V Dim LED Concept. Factory installed LED circuit board. 0-10V Dimming control provided over network. Pre-wired panel compatible with 0-10V dimming protocol. 100% Dimmable. Specify product with 7 Day product code - Full Color. Accessories such as mounting, spigot, and special, must be specified separately. Example: XXX-XXXX-8004 (Black) x XXX-XXXX (Accessory 1)

|                                     |                                      |
|-------------------------------------|--------------------------------------|
| <b>Beam Type</b>                    | rectangular asymmetric Type II (PAR) |
| <b>Light Source</b>                 | LED 3000 / 3500k, 2700K              |
| <b>CRF</b>                          | 80                                   |
| <b>Drop Type</b>                    | electronic gear                      |
| <b>Nominal Luminaire Flux (lm)</b>  |                                      |
| LED Lumens                          | 233 lm                               |
| LEDs                                | 1                                    |
| Input Lumens                        | 593 lm                               |
| Efficiency                          | 65 %                                 |
| <b>Diffused Luminaire Flux (lm)</b> |                                      |
| LED Lumens                          | 174.3 lm                             |
| Total Lumens                        | 62.3 lm                              |
| Ta                                  | 25 °C                                |
| <b>Rated Input Power</b>            | 7.7 W                                |

**HEIGHT ABOVE FINISHED GRADE: 31.5"**

**Reeds**

**Technical Data**

**5.2B**  
5.2A

**MATERIALS:** Technopolymer aesthetic cover. Base made of a polyethylene casing installed between 2 A303 16 stainless steel plates by A303 16 stainless steel screws. Cabinet made by silicone.

**EMISSION:** Diffused

**LIGHT SOURCE:** LED 3000K 380 CR

**DIMMING FEATURE:** Standard non-dimmable

**FINISH:** Translucent

**CERTIFICATIONS:** cUL us listed, available in IP67 or IP68 rating

**FABRIC GRAZER**

**FABRIC GRAZER**

**HELVIX SIGNWAVE™ 3 SILICONE (INDOOR/OUTDOOR)**

SWISS SERIES | FLEXIBLE LIGHTING SYSTEM

Feature Type: TYPE LS  
Project: \_\_\_\_\_  
Location: \_\_\_\_\_

| Color Temperature | WxH     | LED  | IP67    | IP68    | IP69K   | CT (5000-9000) |
|-------------------|---------|------|---------|---------|---------|----------------|
| 3000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |
| 4000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |
| 5000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |
| 6000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |
| 7000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |
| 8000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |
| 9000K             | 3.7x1.8 | 3.0W | 3.7x1.8 | 3.7x1.8 | 3.7x1.8 | 3.7x1.8        |

**PRODUCT FEATURES:** Dimmable, 50,000 hour life, For ceiling or recessed projects, Horizontal or vertical bending option, IP68, US listed for indoor and outdoor use, Factory-installed power lead, Adjustable-recessed depth and offset, For use with 50W power supply

**SPECIFICATIONS:** Series: SWISS-Signwave™ 3 (Silicone), Input Voltage: 24V DC, Max. Run Length: Unlimited, Refer to Power Feed Advice, Lumens: 143 LM (9000), Beam Angle: 120°, Dimensions: 0.020 (0.000) x 0.000 (0.000), CRF: 80+, Factory-installed power lead, Dimming Options: PWM, Triac, 0-10V, DALI, Hi-Line, Temp Range: -41 (-20°F) to 131°F (25°C)

**BENDING OPTIONS & PROFILE DIMENSIONS:** Horizontal, Vertical

**OCEANOS IP67 Static White/Tunable White/RGB**

**LED LINEAR™ lighting solutions**

**LT06**

**Ordering Process:** Step 1: Luminaire type, Step 2: Mounting accessories, Step 3: Cable and connector type, Step 4: Bracket and cable ties

**Luminaire Order Code:**

| Code | Color Temperature | Color Rendering | Color Accuracy | Beam Spread | Mounting | Bracket | Order |
|------|-------------------|-----------------|----------------|-------------|----------|---------|-------|
| MSD  | 2700K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 3000K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 3500K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 4000K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 4500K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 5000K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 5500K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 6000K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 6500K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 7000K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 7500K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 8000K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 8500K             | 90              | 15             | 30          | 30       | 30      | MSD   |
| MSD  | 9000K             | 90              | 15             | 30          | 30       | 30      | MSD   |

**5.1 BOLLARD LIGHT**  
N.T.S.

**5.2 REED LIGHTS - LARGE AND SMALL**  
N.T.S.

**5.3 SHADE STRUCTURE LIGHTS**  
N.T.S.

**5.4 BENCH LIGHT**  
N.T.S.

**5.5 LINEAR SCULPTURE LIGHT**  
N.T.S.

**SITE DEVELOPMENT PLAN - SDP21-0055**  
**FOR LOT 2A-2A-1, BLOCK 3, PROMENADE AT**  
**CASTLE ROCK, FILING NO.1, AMENDMENT NO.22**

DRAWN BY: DL, SP, DR, MB

