

SITE DEVELOPMENT PLAN
LOT 1, PLUM CREEK COMMONS UNIT ONE
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO. SDP24-0038

SITE DEVELOPMENT GENERAL NOTES:

- 1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system.
2. Pursuant to Section 4.3 and 8.2.3 of the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan.
3. The provided landscape counts in the Site Development Plan are minimum required counts. Any changes to the provided landscape counts shall require an SDP amendment.
4. The subject property shown hereon lies in a Zone AE and unshaded per Firm Map No. 08035C0301G, Dated: March 16, 2016.
5. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents.
6. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
7. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards.
8. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
9. All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.
10. The zoning recordation information, including date and reception number OR "This site is zoned B, Business/Commercial within the Downtown Overlay District, South District"
11. All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.
12. Retaining walls, sections of retaining walls greater than 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and must receive a Building Permit from the Town of Castle Rock.
13. A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code.
14. The number of parking spaces has been set based on the proposed uses on this Site Development Plan and Chapter 17.54 of the Castle Rock Municipal Code. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code will require an amendment to this Site Development Plan

UTILITY LOCATE AND UTILITY CUTS NOTES:

- 1. All utilities are reviewed for area of placement (locatoin) including, in easement/ROW, horizontal and vertical clearances, and conflicts with other utilities per the Transportation Design Criteria Manual, Water System Design Criteria Manual, Wastewater Collection System Design Criteria Manual, Storm Drainage Design and Technical Criteria Manual, and all other utility owner and operator criteria.
2. All utility cuts within ROW are to be backfilled with Flowable Fill up to subgrade. Edge Mill required around perimeter of sawcut. Match existing asphalt depth. Coordinate with Public Works Inspector.

SIGNATURES

SURVEYOR'S CERTIFICATE
I, DON JOHNSON, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.
LICENCED LAND SURVEYOR NO. 34593 DATE 6-15-25

CIVIL ENGINEER'S STATEMENT
I, MATTHEW L. MURPHY, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS (SITE DEVELOPMENT PLAN) HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
LICENSED PROFESSIONAL ENGINEER NO. 50884 DATE 14 APRIL 2025

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS (NAME OF DOCUMENT) WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOW OF CASTLE ROCK, COLORADO ON THE 25 OF JUNE, 2025.
DIRECTOR OF DEVELOPMENT SERVICES

FIRE DEPARTMENT NOTES:

- 1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of the shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
7. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
8. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
9. The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc

SIGNATURES

TITLE CERTIFICATION
I, Eric Gonzales, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Commercial Services, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
SIGNED THIS 7th DAY OF April, 2025

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 7th DAY OF April, 2025 BY Eric Gonzales, AS AUTHORIZED REPRESENTATIVE OF Fidelity National Commercial Services.
NOTARY PUBLIC, NOTARY ID: 20014036156, MY COMMISSION EXPIRES JAN 5, 2026

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
I, Kristin L Hill, NOTARY PUBLIC, NOTARY ID: 20014036156, MY COMMISSION EXPIRES JAN 5, 2026

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 9th DAY OF April, 2025 BY Steve Malley.
OFFICIAL SEAL: Kristin L Hill, Notary Public State of Illinois, My Commission Expires 9/14/2026

SIGNATURES

LIENHOLDER SUBORDINATION CERTIFICATE
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON, THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AT RECEPTION NO. DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.
SIGNED THIS DAY OF 20

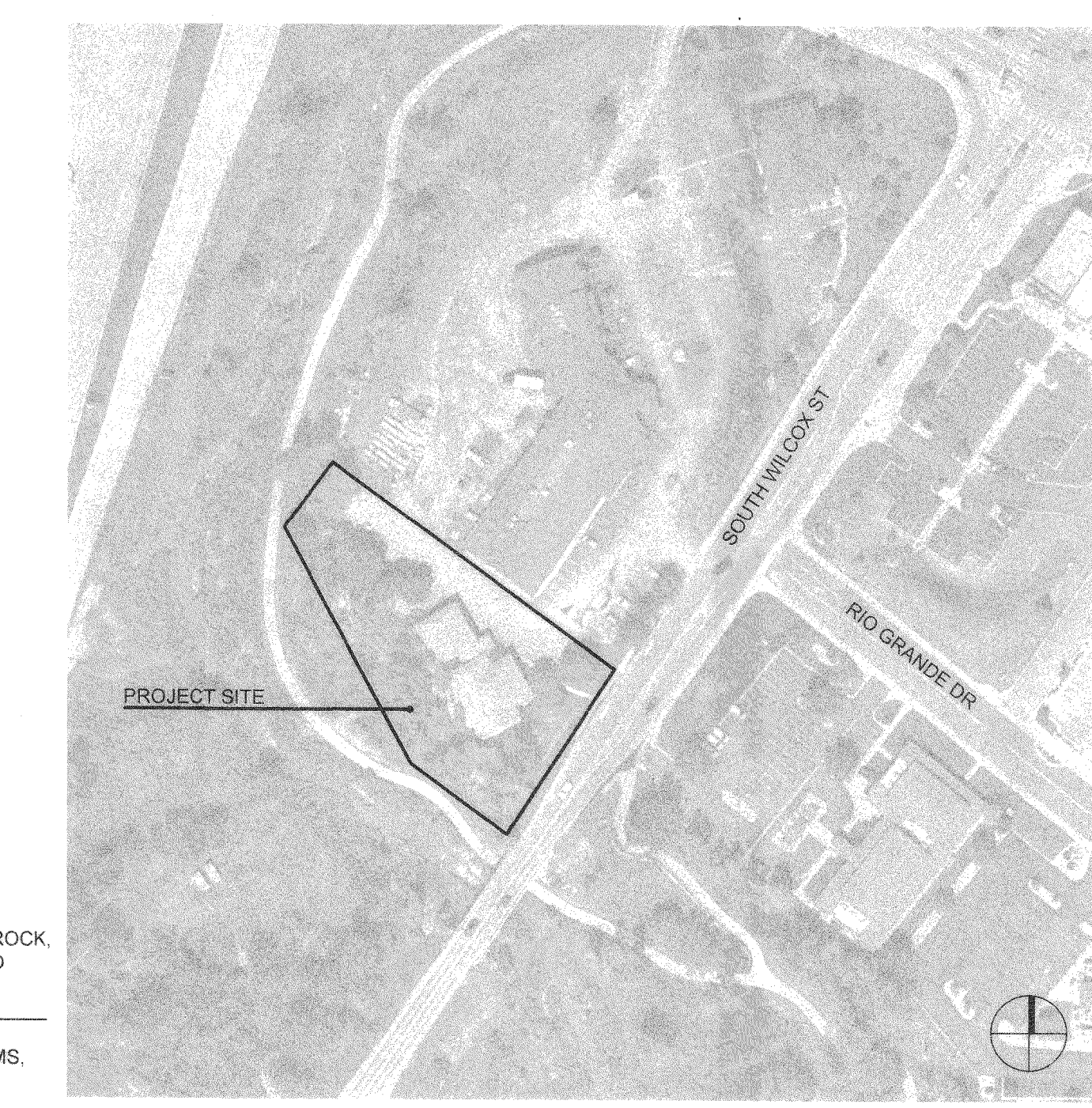
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS DAY OF 20 BY.
WITNESS MY HAND AND OFFICIAL SEAL.

This Site Development Plan is submitted to demonstrate compliance with the Vision 2030, 2030 Comprehensive Master Plan, zoning codes, general design principles, and technical manuals.

WATER RIGHTS DEDICATION:

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE AGREEMENT, RECORDED ON THE DAY OF AT RECEPTION NO. AND ACCORDINGLY, SFE ARE DEBITED FROM THE WATER BANK.

LOCATION MAP



SUMMARY TABLE:

Table with columns: GENERAL ZONING INFORMATION, SQUARE FEET, ACRES, ZONING, PERMITTED, PROPOSED, BUILDING GROUND COVERAGE (MAX.), BUILDING HEIGHT, STORIES (MAX), BUILDING HEIGHT, FEET (MAX), PARKING, REQUIRED/PERMITTED, PROVIDED.

\*REQUIREMENT OF 5 SPACES PER 1,000 SQ. FT.
\*\*DUE TO SITE LIMITATIONS AND LACK OF SHARED PARKING ON ADJACENT LOT, PAYMENT IN LIEU OF FOUR (4) STALLS IS PROVIDED.

VARIANCES:

VARIANCE TO TCR MUNICIPAL CODE SECTION 17.54.040 PARKING SPACE REQUIREMENTS BY USE: REDUCTION OF TWO (2) SPACES VIA PAYMENT IN LIEU OF VIA 17.54.090. (TCV25-0007)

Table with columns: SETBACKS, REQUIRED/PERMITTED, PROVIDED. Rows: FRONT YARD, SIDE YARD - NORTH, SIDE YARD - SOUTH, REAR YARD, MAXIMUM BUILDING SETBACK.

PROGRAM SUMMARY
OFFICE: 5,695 SF
PARKING: 15,720 SF

Table with columns: LANDSCAPE SUMMARY - TOTAL SITE (SF), BUILDING COVERAGE (EXISTING), PAVEMENT COVERAGE (EXISTING), LANDSCAPE COVERAGE, TOTAL.

SHEET INDEX

- 1 OF 3 COVER SHEET
2 OF 3 SITE PLAN
3 OF 3 BUILDING ELEVATIONS

LEGAL DESCRIPTION

LOT 1, PLUM CREEK COMMONS UNIT ONE, AS PER THE PLAT THEREOF RECORDED NOVEMBER 12, 1980 AT RECEPTION NO. 259432, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT TEAM

- CLIENT: SOUTHERN VETERINARY PARTNERS
CONTACT: COREY CUMMINGHAM
PHONE: (202) 852-7199 EXT. 99974
EMAIL: COREY.CUMMINGHAM@SVP.VET
ARCHITECT: ANIMAL ARTS DESIGN STUDIO
CONTACT: SHELBY CARPENTER
PHONE: (303) 444-4413
EMAIL: SHELBY@ANIMALARTS.COM
CIVIL ENGINEER: TREANOR, INC.
CONTACT: MATTHEW L MURPHY, PE
PHONE: (785) 842-4858
EMAIL: MMURPHY@TREANOR.DESIGN
LANDSCAPE ARCHITECT: TREANOR, INC.
CONTACT: ANDY BUCHWITZ
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EMAIL: ABUCHWITZ@TREANOR.DESIGN
STRUCTURAL ENGINEER: JVA, INC.
CONTACT: KEATON CLANEY
PHONE: (720) 975-1465
EMAIL: KCLANEY@JVAJVA.COM
MEP ENGINEER: MECHANICAL & PLUMBING ENGINEER: 20/20 ENGINEERING
CONTACT: RIDGE SMITH
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EMAIL: RIDGE@2020ENGINEER.COM
ELECTRICAL ENGINEER: AE DESIGN GROUP, INC.
CONTACT: ZACH CLAWSON
PHONE: (303) 296-4443
EMAIL: ZCLAWSON@AEDESIGN-INC.COM
SURVEYOR: AEI CONSULTANTS
CONTACT: DON JOHNSON, RLS
PHONE: (925) 746-6000

BASIS OF BEARINGS: BEARINGS ARE BASED ON TRUE NORTH PER GPS OBSERVATION USING COLORADO STATE PLANE CENTRAL ZONE, NAD 83.

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SVP
Southern Veterinary Partners

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VETERINARY SERVICES
425 S. WILCOX STREET
CASTLE ROCK, COLORADO 80104

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Table with columns: REVISIONS

APPROVALS

SEAL

DRAWING TITLE
SDP 1

COVER SHEET

SHEET
1 OF 3

TREANOR
1755 Blake Street, Suite 400
Denver, Colorado 80202
Office: 303.296.4700
www.TreanorDesign.com

SDP24-0038

J:\LW\HM024-1903.00 Castle Rock Mixed Use\06\_Drawing\02\_Rev\01\_Model\hsh\2020\_12\_05\_Castle Rock Mixed Use\_CD\_F20\_Arch.rvt
J:\LW\CE0000.00.00 Civil Projects\Proposals\SVP Castle Rock Remodel\CAD Files\SDP1.dwg
10/15/2024 3:13:34 PM
3/21/2025 12:25:20 PM

# SITE DEVELOPMENT PLAN

## LOT 1, PLUM CREEK COMMONS UNIT ONE

### TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### TOWN OF CASTLE ROCK PROJECT NO. SDP24-0038

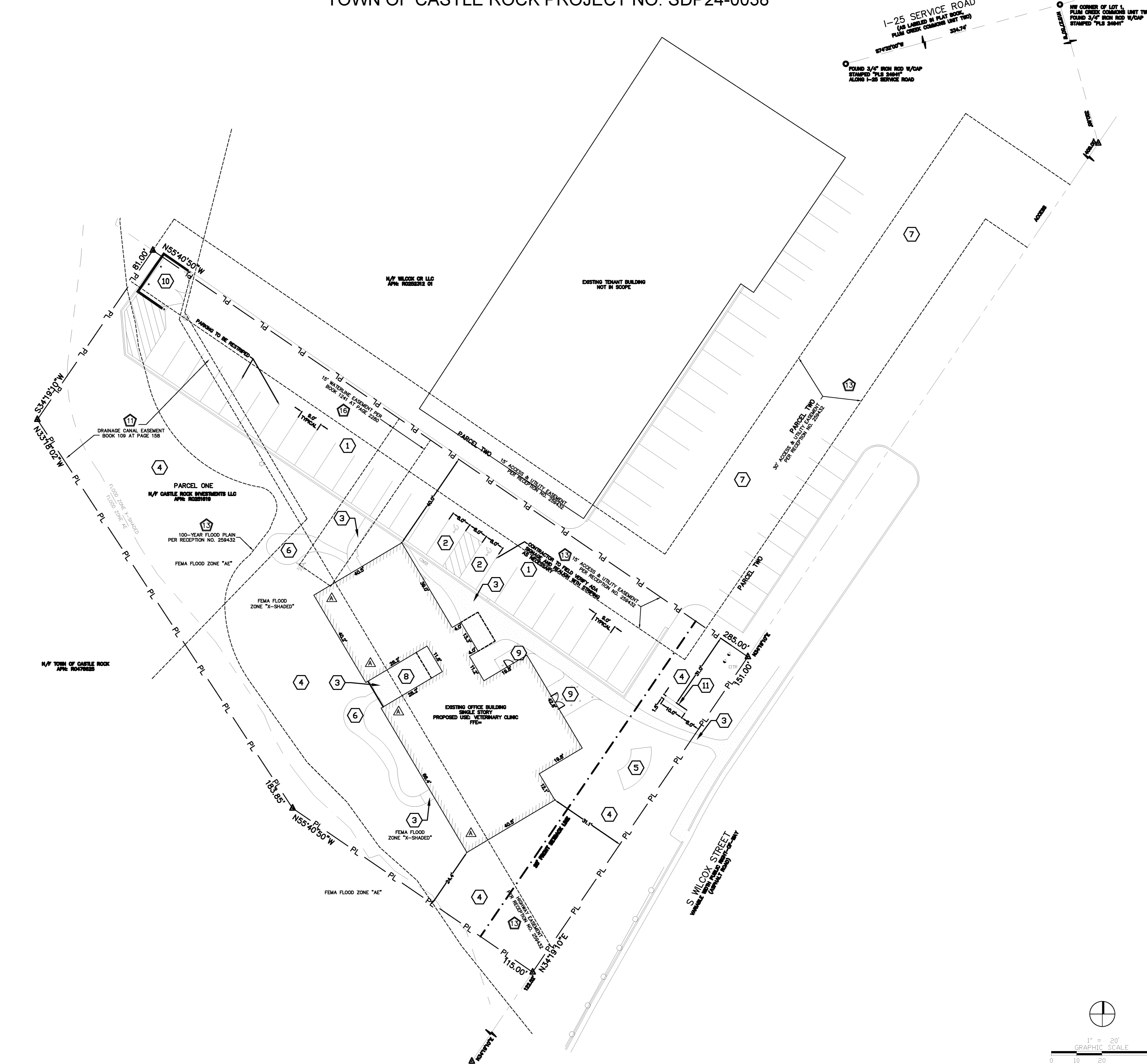
- KEY NOTES**
- 1 EXISTING ASPHALT PARKING TO REMAIN. PAVEMENT MARKINGS TO BE REMOVED AND ADJUSTED, AS SHOWN THIS SHEET.
  - 2 EXISTING ADA PARKING TO REMAIN
  - 3 EXISTING CONCRETE SIDEWALK TO REMAIN
  - 4 EXISTING LANDSCAPE AREA TO REMAIN
  - 5 EXISTING WALL TO REMAIN
  - 6 EXISTING ROCK PATHWAY TO REMAIN
  - 7 EXISTING SHARED DRIVEWAY AND ADJACENT PARKING TO REMAIN
  - 8 EXISTING COURTYARD AREA TO BE IN-FILLED
  - 9 PROPOSED ENTRY AND SIDEWALK PAVING
  - 10 PROPOSED DUMPSTER ENCLOSURE, 13'-17" X 18'-8"; SOLID WALL, 7' HEIGHT, 3-SIDED ENCLOSURE WITH GATES. WALL MATERIAL TO MATCH EXISTING BUILDING FINISH AND COLOR
  - 11 PROPOSED FREESTANDING SIGN, MONUMENT STYLE, OVERALL SIGN HEIGHT SHALL BE 6'0" FROM BASE OF SIGN GRADE

- LEGEND**
- |  |                              |  |                                |
|--|------------------------------|--|--------------------------------|
|  | CONCRETE SURFACE             |  | CONCRETE CURB & GUTTER         |
|  | NO PARKING AREA              |  | MANHOLE                        |
|  | HANDICAP PARKING SPACE       |  | UTILITY POLE                   |
|  | PARKING SPACE(S)             |  | UTILITY ANCHOR                 |
|  | COVERED AREA                 |  | OVERHEAD UTILITY LINE          |
|  | TELEPHONE RISER              |  | CHAIN LINK FENCE               |
|  | SET MONUMENT                 |  | WOOD PANEL FENCE               |
|  | FOUND MONUMENT               |  | METAL FENCE                    |
|  | COMPUTED POINT (NO MONUMENT) |  | CENTER RIGHT-OF-WAY LINE       |
|  | COMPUTED POINT               |  | RIGHT-OF-WAY LINE              |
|  | RECORD                       |  | ADJOINING BOUNDARY LINE        |
|  | NOW OR FORMERLY              |  | EASEMENT LINE                  |
|  | DRAINAGE INLET               |  | EASEMENT LINE (COLOR AS SHOWN) |
|  |                              |  | GOVERNMENT LAND LINE           |
|  |                              |  | SETBACK LINE                   |
|  |                              |  | SUBJECT PROPERTY LINE          |

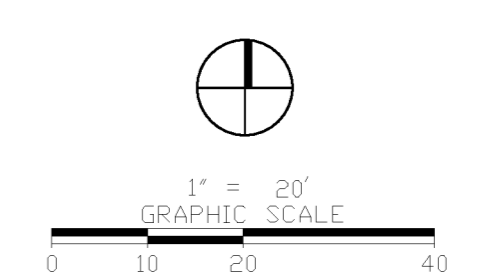
MEASUREMENT NOTE: UNLESS OTHERWISE NOTED WITH (R) OR (C) ALL MEASUREMENTS HEREON ARE ACTUAL.

IMPROVEMENT NOTE: THE WORDS "IN" AND "OUT" WHEN USED TO DELINEATE IMPROVEMENTS NEAR BOUNDARY LINES ARE IN REFERENCE TO INSIDE OR OUTSIDE SUBJECT PROPERTY.

- NOTES**
- 1 RESERVATIONS CONTAINED IN THE PATENT FROM THE UNITED STATES OF AMERICA TO: ROBERT L. PROPHIT FILING DATE: NOVEMBER 1, 1873 FILING NO.: 419 WHICH AMONG OTHER THINGS RECITES AS FOLLOWS: SUBJECT TO ANY VESTED AND ACCRUED WATER RIGHTS FOR MINING, AGRICULTURAL, MANUFACTURING OR OTHER PURPOSES AND RIGHTS TO DITCHES AND RESERVOIRS USED IN CONNECTION WITH SUCH WATER RIGHTS, AS MAY BE RECOGNIZED AND ACKNOWLEDGED BY THE LOCAL CUSTOMS, LAWS AND DECISIONS OF THE COURTS; AND ALSO SUBJECT TO THE RIGHT OF THE PROPRIETOR OF A VEIN OR LODGE TO EXTRACT AND REMOVE HIS ORE THEREFROM SHOULD THE SAME BE FOUND TO PENETRATE OR INTERSECT THE PREMISES HEREBY GRANTED, AS PROVIDED BY LAW; AND THE RESERVATION FROM THE LANDS HEREBY GRANTED OF A RIGHT OF WAY THEREON FOR DITCHES OR CANALS CONSTRUCTED BY THE AUTHORITY OF THE UNITED STATES. AFFECTS, BLANKET IN NATURE
  - 10 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: DEPARTMENT OF HIGHWAYS, STATE OF COLORADO PURPOSE: DRAINAGE CHANNEL RECORDING DATE: MAY 6, 1953 RECORDING NO.: BOOK 109 AT PAGE 86 DOES NOT AFFECT
  - 11 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: STATE HIGHWAY COMMISSION OF COLORADO FOR THE DEPARTMENT OF HIGHWAYS PURPOSE: CHANNEL CHANGE RECORDING DATE: JULY 9, 1953 RECORDING NO.: BOOK 109 AT PAGE 158 AFFECTS, AS SHOWN
  - 12 EASEMENT(S) FOR THE PURPOSE(S) SHOWN BELOW AND RIGHTS INCIDENTAL THERETO, AS GRANTED IN A DOCUMENT: GRANTED TO: DEPARTMENT OF HIGHWAYS, STATE OF COLORADO PURPOSE: CHANNEL RELOCATION RECORDING DATE: APRIL 10, 1964 RECORDING NO.: BOOK 156 AT PAGE 214 DOES NOT AFFECT
  - 13 SUBJECT TO THE DEDICATION OF WATER RIGHTS TO THE TOWN OF CASTLE ROCK, THE 15 FOOT PORTION OF THE ACCESS AND UTILITY EASEMENT, THE 30 FOOT BY 20 FOOT UTILITY EASEMENT, THE 100 YEAR FLOOD PLAN AND THE HIGHWAY EASEMENT, ALL AS SHOWN ON THE PLAT FOR PLUM CREEK COMMONS UNIT ONE, AS SET FORTH IN THE INSTRUMENT: RECORDING DATE: NOVEMBER 12, 1980 RECORDING NO.: RECEPTION NO. 259432 AFFECTS, AS SHOWN
  - 14 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE DEVELOPMENT AGREEMENT PLUM CREEK COMMONS UNIT ONE AS SET FORTH BELOW: RECORDING DATE: NOVEMBER 17, 1980 RECORDING NO.: BOOK 398 AT PAGE 502 AFFECTS, AGREEMENT, NOTHING TO PLOT
  - 15 ANY TAX, LIEN, FEE, OR ASSESSMENT BY REASON OF INCLUSION OF THE LAND IN THE PLUM CREEK METROPOLITAN DISTRICT, AS EVIDENCED BY INSTRUMENT(S) RECORDED: RECORDING DATE: AUGUST 15, 1985 RECORDING NO.: BOOK 590 AT PAGE 183 AFFECTS, BLANKET IN NATURE
  - 16 TERMS, CONDITIONS, PROVISIONS, AGREEMENTS AND OBLIGATIONS CONTAINED IN THE EASEMENT AGREEMENT TO MAINTAIN AND REPAIR WATER LINES AND FIRE HYDRANT IN FAVOR OF THE TOWN OF CASTLE ROCK AS SET FORTH BELOW: RECORDING DATE: JANUARY 12, 1995 RECORDING NO.: BOOK 1241 AT PAGE 2280 AFFECTS, AS SHOWN



I-25 SERVICE ROAD  
(AS LABELED IN PLAT BOOK PLUM CREEK COMMONS UNIT TWO)  
FOUND 3/4" IRON ROD W/CAP STAMPED "PLS 24047" ALONG I-25 SERVICE ROAD



**TREANOR**  
1755 Blake Street, Suite 400  
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SDP24-0038

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REVISIONS


APPROVALS


SEAL

DRAWING TITLE

**SDP 2**

**SITE PLAN**

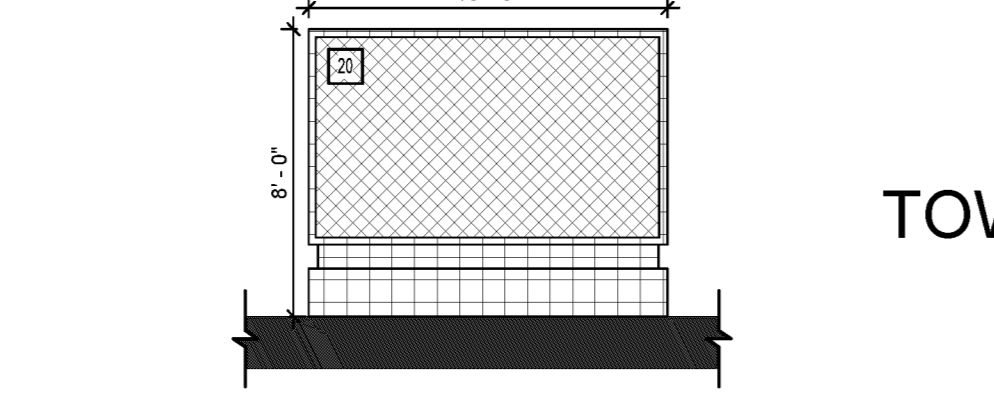
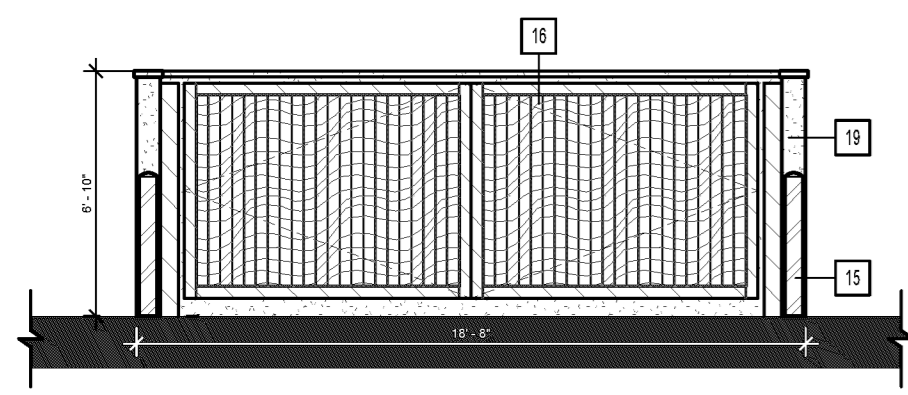
SHEET

**2 OF 3**

HM0624.1903

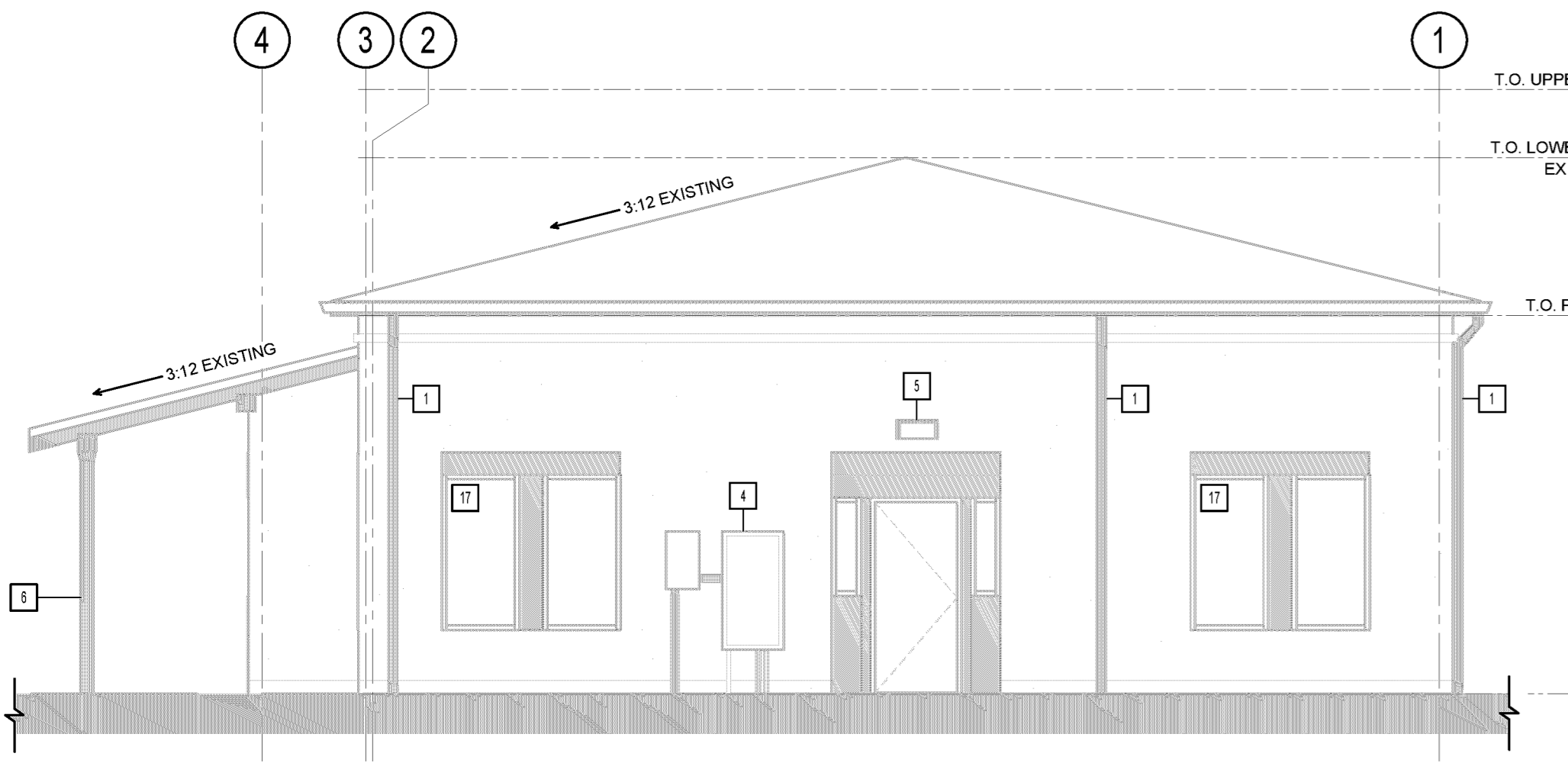
# SITE DEVELOPMENT PLAN

## LOT1, PLUM CREEK COMMONS UNIT ONE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO TOWN OF CASTLE ROCK PROJECT NO. SDP-24-0038

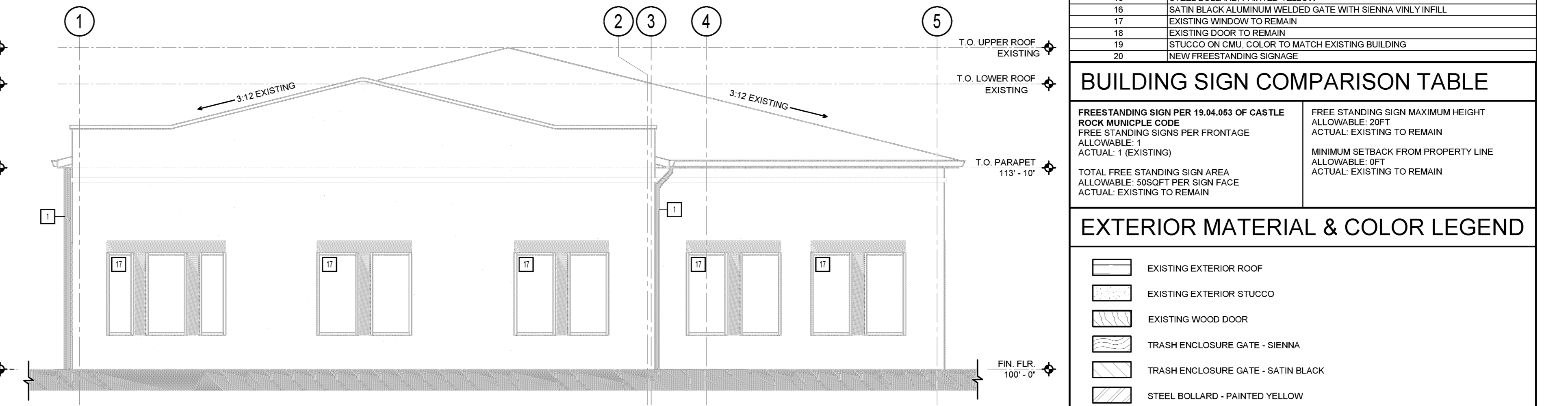


6 NEW TRASH ENCLOSURE ELEVATION  
SCALE: 3/16" = 1'-0"

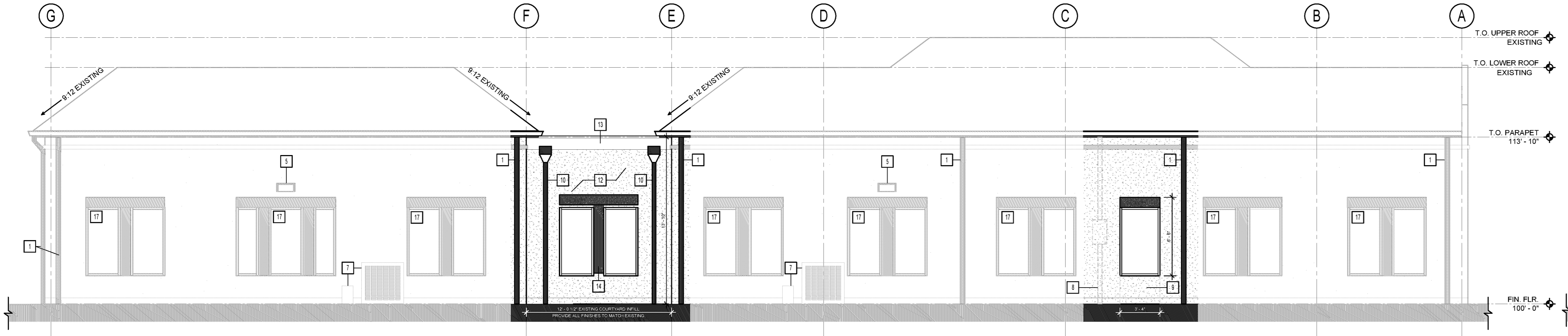
7 NEW MONUMENT SIGN ELEVATION  
SCALE: 3/16" = 1'-0"



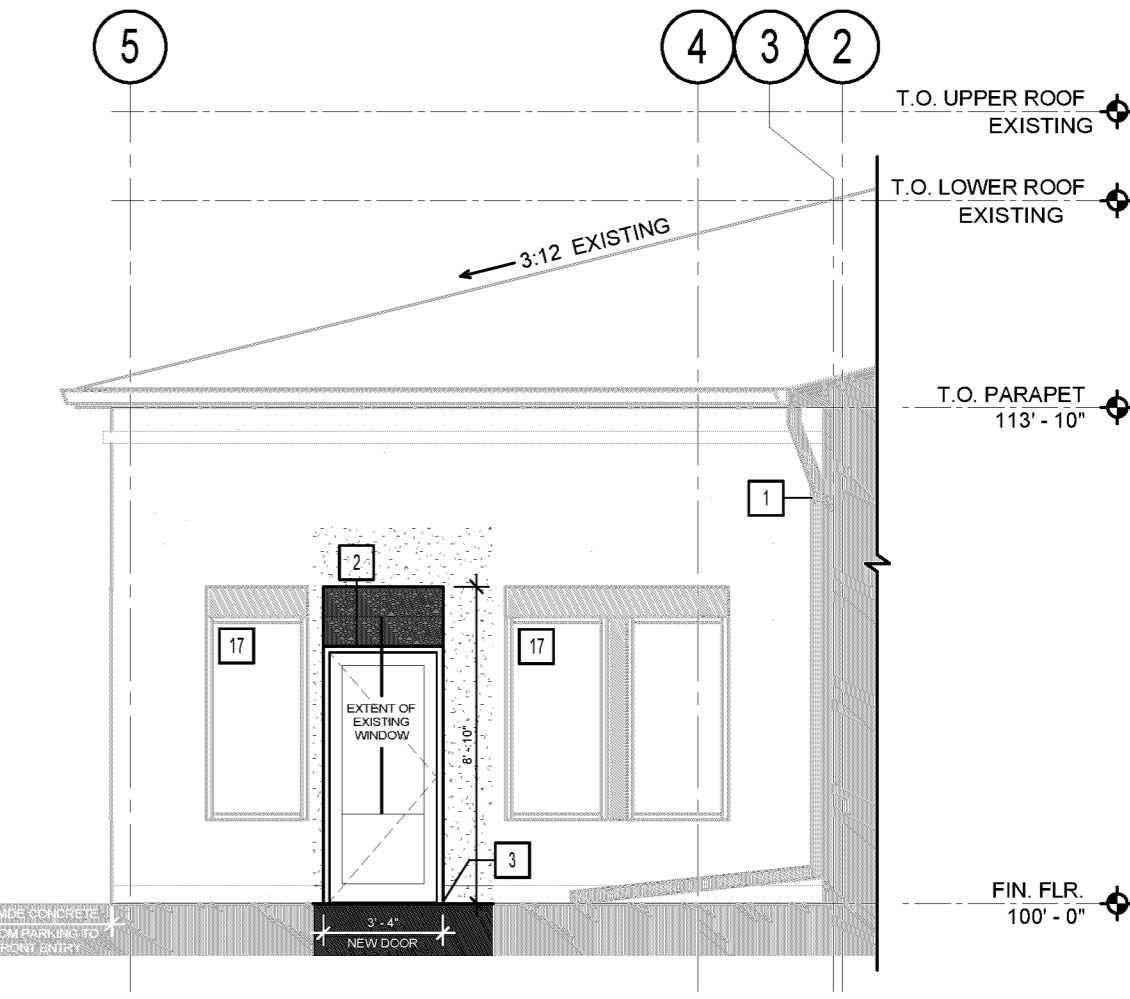
4 PLAN EAST EXTERIOR ELEVATION - EXISTING TO REMAIN UNCHANGED  
SCALE: 3/16" = 1'-0"



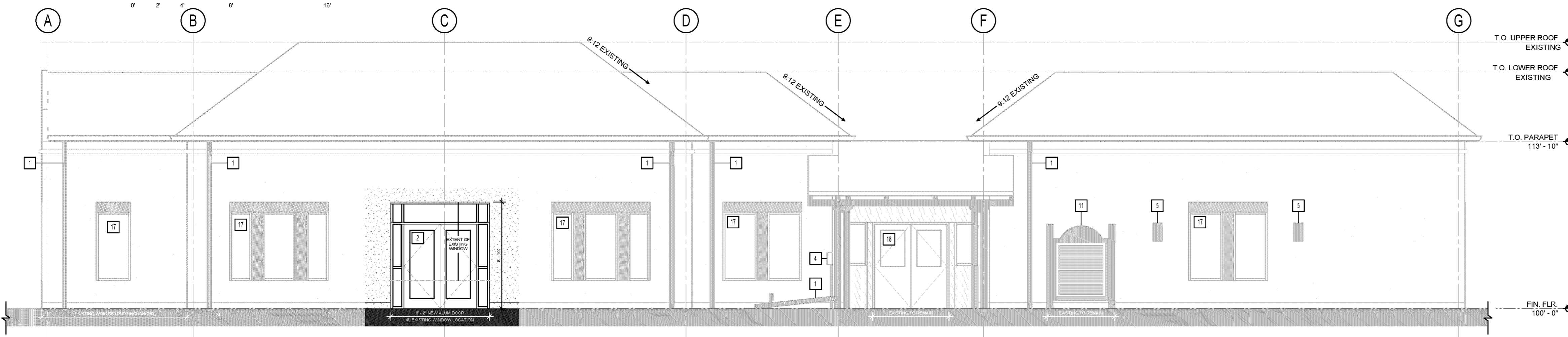
5 PLAN WEST EXTERIOR ELEVATION - EXISTING TO REMAIN UNCHANGED  
SCALE: 3/16" = 1'-0"



2 PLAN NORTH EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"



3 PLAN EAST EXTERIOR ELEVATION - COMFORT ENTRANCE  
SCALE: 3/16" = 1'-0"

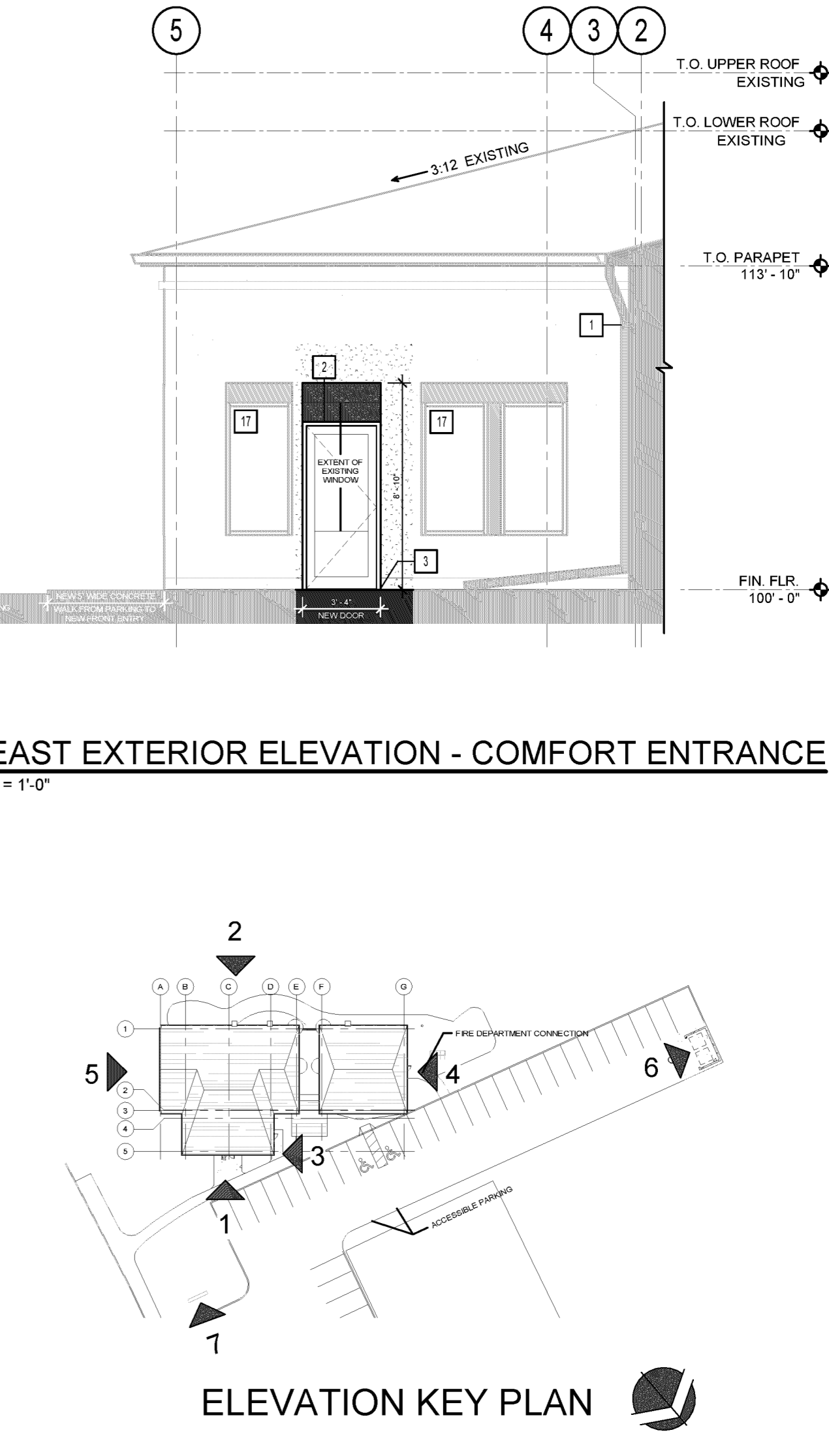


1 PLAN SOUTH EXTERIOR ELEVATION  
SCALE: 3/16" = 1'-0"

KEYNOTES	
SYMBOL	DESCRIPTION
1	EXISTING DOWNSPOUT TO REMAIN
2	NEW ALUMINUM DOOR @ EXISTING WINDOW LOCATION
3	NEW CONCRETE LANDING FOR NEW DOOR + RAMP DOWN TO EXISTING SIDEWALK ALONG EXISTING PARKING
4	EXISTING ELECTRICAL TO REMAIN
5	EXISTING EXTERIOR LIGHTING TO REMAIN
6	EXISTING WOOD COLUMNS TO REMAIN
7	EXISTING HVAC TO REMAIN
8	EXISTING SECURITY TO BE REMOVED
9	DEMO EXISTING DOOR. INSTALL WINDOW IN OPENING. MATCH ADJACENT WINDOW COLOR AND MATERIAL. ALL SECURITY & LIGHTING FOR DOOR TO BE REMOVED.
10	NEW DOWNSPOUT. MATCH EXISTING
11	EXISTING SIGN TO REMAIN
12	NEW WALL. EXTERIOR FINISH TO MATCH ADJACENT FINISHES
13	PROVIDE PAINTED METAL PARAPET CAP @ NEW T.O. WALL. MATCH ALL FLASHING COLORS TO EXISTING
14	NEW WINDOW. EXTERIOR FINISH TO MATCH ADJACENT EXTERIOR WINDOWS
15	STEEL BOLLARD. PAINTED YELLOW
16	SATIN BLACK ALUMINUM WELDED GATE WITH SIENNA VINYL INFILL
17	EXISTING WINDOW TO REMAIN
18	EXISTING DOOR TO REMAIN
19	STUCCO ON CMU. COLOR TO MATCH EXISTING BUILDING
20	NEW FREESTANDING SIGNAGE

BUILDING SIGN COMPARISON TABLE	
<b>FREESTANDING SIGN PER 19.04.053 OF CASTLE ROCK MUNICIPAL CODE</b>	<b>FREE STANDING SIGN MAXIMUM HEIGHT</b>
FREE STANDING SIGNS PER FRONTAGE	ALLOWABLE: 20FT
ALLOWABLE: 1	ACTUAL: EXISTING TO REMAIN
ACTUAL: 1 (EXISTING)	MINIMUM SETBACK FROM PROPERTY LINE
	ALLOWABLE: 0FT
	ACTUAL: EXISTING TO REMAIN
<b>TOTAL FREE STANDING SIGN AREA</b>	
ALLOWABLE: 50SQFT PER SIGN FACE	
ACTUAL: EXISTING TO REMAIN	

EXTERIOR MATERIAL & COLOR LEGEND	
	EXISTING EXTERIOR ROOF
	EXISTING EXTERIOR STUCCO
	EXISTING WOOD DOOR
	TRASH ENCLOSURE GATE - SIENNA
	TRASH ENCLOSURE GATE - SATIN BLACK
	STEEL BOLLARD - PAINTED YELLOW
	FREE STANDING SIGN - PAINTED PMS 6117 C
	FREE STANDING SIGN - PAINTED PMC COOL GRAY 1 C



ELEVATION KEY PLAN  
HIGHLIGHTED AREA INDICATES PROPOSED REVISION LOCATION

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1.800.332.4413  
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**SVP**  
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**PLUM CREEK VETERINARY SERVICES**  
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CASTLE ROCK, CO 80104

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APPROVALS

SEAL

DRAWING TITLE  
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