

GENERAL NOTES

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.
- Pursuant to Section 4.3E and 8.2.3A of the Town of Castle Rock Landscape Regulations, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation. Landscape and irrigation is conceptual and may change on the Construction Documents.
- The site is located in FEMA Zone X.
- Any street signs, striping, curb ramps and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- Approval of this conceptual Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- "No solid object (excluding fire hydrants and traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms, shall be placed within sight distance lines"
- All Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan shall be granted to the Town of Castle Rock with the Plat.
- This site is zoned PD. The Maher Ranch Phase 2 PPD was recorded on 4/25/2001 at reception number 01035705.
- Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have five-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
- This development is impacted by the Town of Castle Rock Skyline/Ridgeline Ordinance. Skyline/Ridgeline areas must adhere to Chapter 17.14 of the Town of Castle Rock Municipal Code regarding mitigation procedures.
- Retaining walls or sections of retaining walls 4-feet in height or higher must be designed by a Structural Engineer licensed in the State of Colorado and must receive a Building Permit from the Town of Castle Rock prior to the issuance of the Public Works Permit. (Call the Building Department (720-733-3528) for a determination of the need for a Building Permit for tiered retaining walls.)

Fire Notes

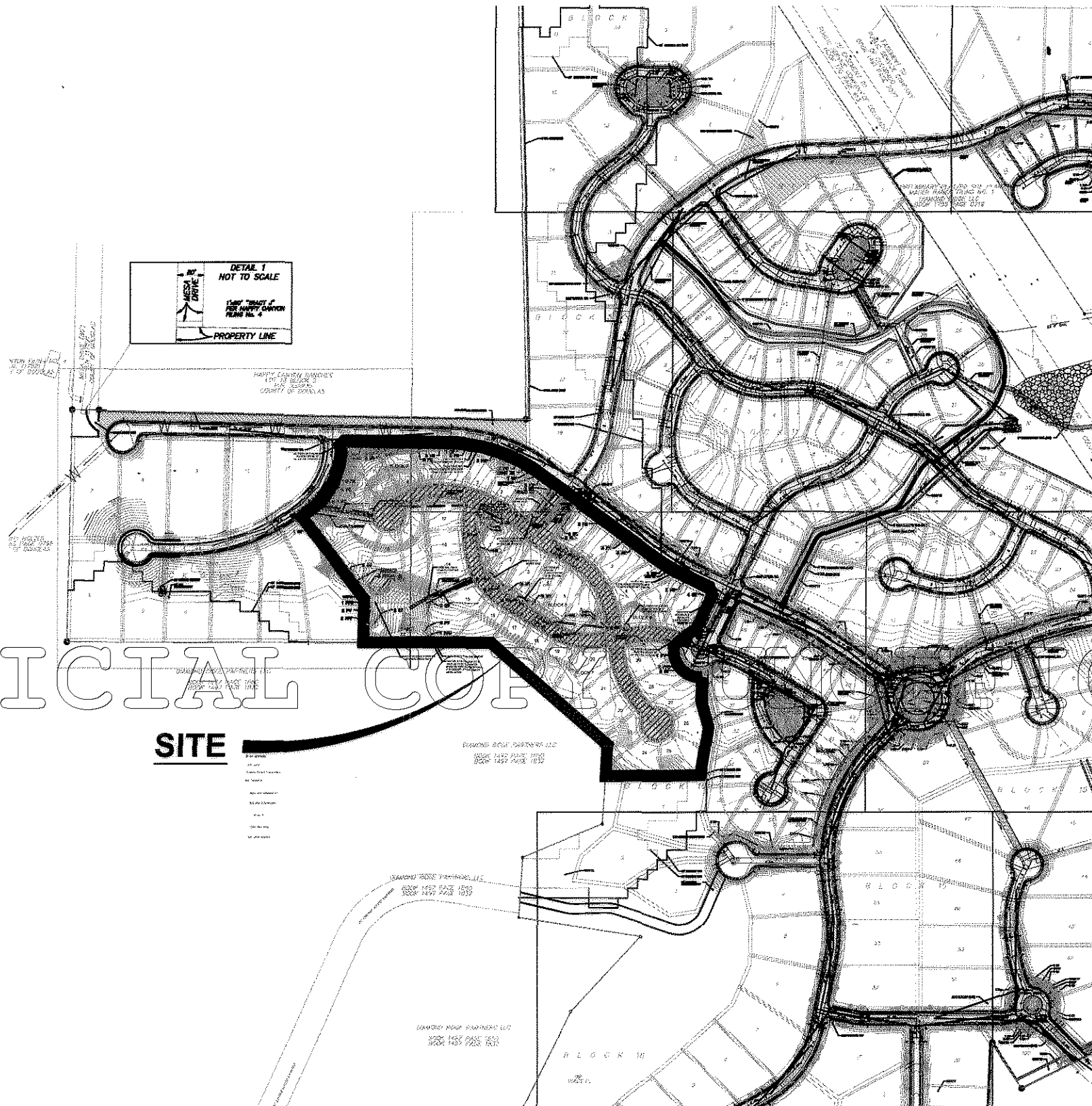
- It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fires apparatus and shall be provided with a surface so as to provide all-weather driving capabilities. The term all-weather driving capabilities have been interpreted to mean either concrete or asphalt.
- Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
- "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of Fire Department access roadways, public or private roadways or driveways less than 26 feet wide. Signs shall be posted on one side only of Fire Department access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for access roadway Fire Department access roadways, public or private roadways or driveways exceeding 32 feet wide.

LEGAL DESCRIPTION

TRACTS WW AND XX, MAHER RANCH FILING NO. 2 AND TRACTS YY AND HHH, MAHER RANCH - FILING NO. 2, 1ST AMENDMENT ACCORDING TO THE RECORDED PLATS THEREOF

**MAHER RANCH FILING NO. 2
 SITE DEVELOPMENT PLAN AMENDMENT NO. 5**

(FORMERLY MAHER RANCH FILING NO. 2 PRELIMINARY PLAT/FINAL PD SITE PLAN)
 THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH
 RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PURPOSE

THE FOLLOWING ARE THE PURPOSES OF THIS SITE DEVELOPMENT PLAN AMENDMENT:

- THE ROUND ABOUT HAS BEEN REMOVED AND THE LANDSCAPING RELOCATED.
- 7 SHADE TREES HAVE BEEN ADDED TO SAPPHIRE POINTE BOULEVARD.
- 15 SHADE TREES AND 60 SHRUBS HAVE BEEN ADDED TO TRACT YY.
- ALL EVERGREENS TO BE PLANTED AT 6' TALL.
- A CRUSHER FINES PATH HAS BEEN ADDED TO THE LANDSCAPE PLAN.
- A CONCRETE TRAIL HAS BEEN ADDED TO THE LANDSCAPE PLAN.
- A CRUSHER FINES CONNECTION BETWEEN GALAXY DRIVE AND NEON WAY HAS BEEN REPLACED BY THE CONCRETE TRAIL NOTED ABOVE.
- BLOCK 8 HAS BEEN REPLATTED.
- PERIMETER FENCE HAS BEEN CHANGED TO TREX FENCE AND STONE AND STUCCO COLUMNS TO MATCH EXISTING FENCE AND COLUMN. A THREE RAIL FENCE SHALL OCCUR ALONG BLOCK 7 LOTS 4 THROUGH 8 DUE TO A STEEP SLOPE.

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	LANDSCAPE COVER SHEET
SHEET 3	LANDSCAPE PLAN

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF THE PROPERTY DESCRIBED HEREIN IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO.

OWNER

NVH WIP LLLP, A COLORADO LIMITED LIABILITY LIMITED PARTNERSHIP

BY [Signature] AS Vice President

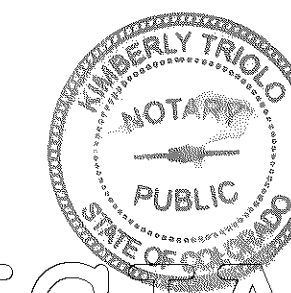
SIGNED THIS 13th DAY OF September, 2013

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 13th DAY OF September, 2013 BY J. ERIC ECKBERG

WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 10/26/2016

TITLE INSURANCE CERTIFICATE

I, Elizabeth A. White, BEING AN AUTHORIZED REPRESENTATIVE OF Colorado Notary Title, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND DEDICATION.

Elizabeth A. White
 REPRESENTATIVE

SIGNED THIS 14th DAY OF September, 2014

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 14 DAY OF September, 2013 BY Elizabeth A. White

WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
 NOTARY PUBLIC



MY COMMISSION EXPIRES: 4/17/2015

TOWN CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO ON THE 13 DAY OF October, 2013

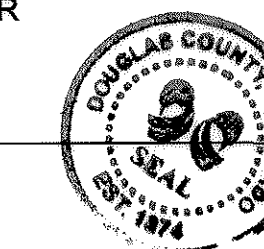
BY: [Signature] 10/13
 Director of Development Services Date

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 9:58 AM ON THE 16th DAY OF October, 2013 AT RECEPTION NO. 2013084091

DOUGLAS COUNTY CLERK AND RECORDER

BY: [Signature]
 Deputy



THE HENRY DESIGN GROUP
 LAND PLANNING - LANDSCAPE ARCHITECTURE & DESIGN
 1501 WADE STREET, SUITE 1-C DENVER, COLORADO 80202
 Phone: 303-446-2368 Fax: 303-446-0958

Project Name:
 MAHER RANCH
 FILING #2
 SITE DEVELOPMENT PLAN
 AMENDMENT NO. 5

Developed By:
 Village Homes
 8480 E. Orchard Road
 Suite 1000
 Greenwood Village, CO 80111

No.	Date	Revisions
1	04/23/13	Site Plan Amendment Submittal
2	06/26/13	Per Town Comments
3	07/30/13	Per Town Comments
4	09/03/13	Per Town Comments

Project No:
 Designed By: SA
 Drafted By: SA
 Checked By: KH

Date:
 Scale:
 Project No. SDP13-0002
 Title: MAHER RANCH FILING NO. 2 SITE DEVELOPMENT PLAN AMENDMENT NO. 5 COVER SHEET

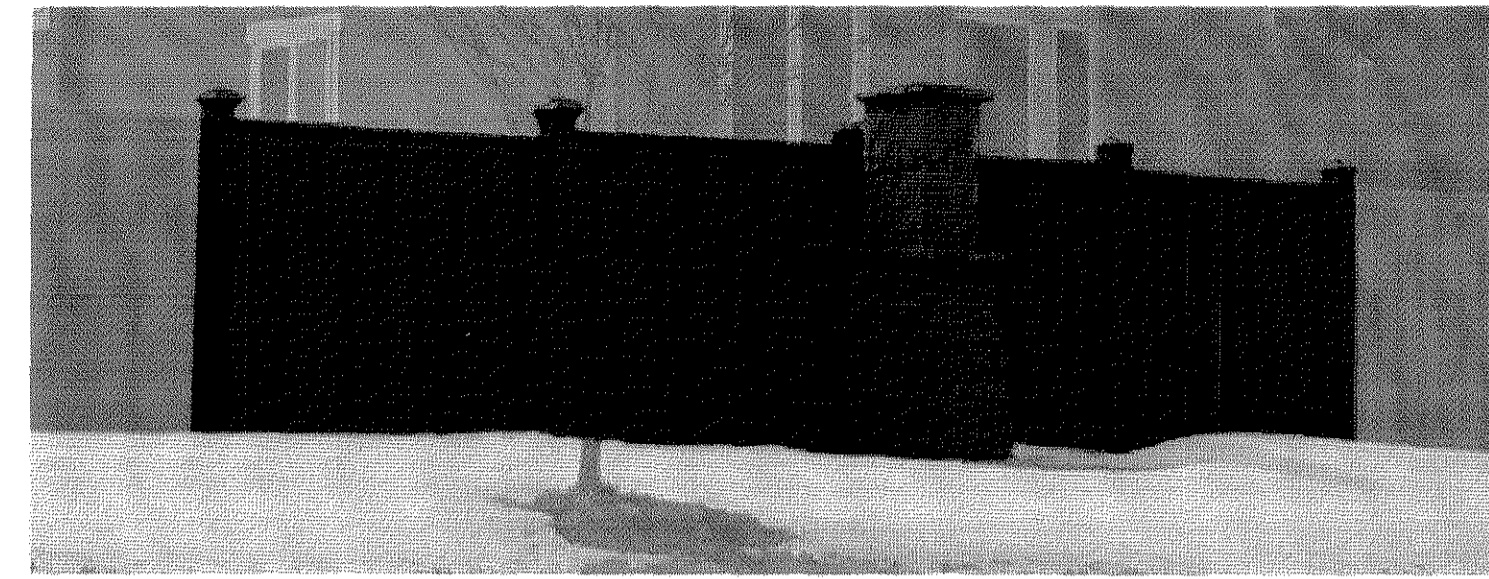
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NOTES

- All site lighting shall be provide by up-lit landscape illumination sources. Location and specifications to be determined for final construction documents. The areas that are to receive lighting are all round, entries at 76th and 78th drives, community park/lot, and upper pond areas.
- Landscape Contractor shall be responsible for making himself familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call Before You Dig 1-800-822-1987
- Do not willfully proceed with construction as designated when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Landscape Architect. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- If conflicts arise between size of areas and plans, Landscape Contractor to contact Landscape Architect for resolution. Failure to take such conflicts know to the Landscape Architect will result in Contractors liability to relocate materials
- The Landscape Contractor shall notify Landscape Architect 72 hours prior to commencement of work to coordinate project inspection schedules.
- Landscape Contractor shall provide per unit costs for every size of plant material, and by type as called out on Planting Plans. Unit cost to include the plant material itself and installation including all labor amendments, fertilizers, etc., as detailed and specified for each size.
- It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or 'tagged' material must be inspected by the Landscape Contractor and be certified pest and disease free. It is the Landscape Contractor's obligation to warranty all plant material for one year after final acceptance.
- Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- Provide matching sizes and forms for all plants used for hedges. Space equally as called for on plans.
- All plant material shall be acclimated to nearest conditions for minimum of 8 months before planting.
- Plant names are abbreviated on drawings. See plant list for key and classification.
- Final location of all plant material shall be subject to the approval of the Landscape Architect.
- Obtain an agricultural suitability analysis of the site soil from an accredited soils laboratory at the contractors cost. The analysis shall verify the suitability of the existing soils, analyze the existing soil texture and recommended additional soil amendments beyond those specified. Additional amendments recommend by the analysis beyond those specified shall be an additional cost. A minimum of three (3) samples shall be taken from the site. Location to be determined by the Landscape Architect. The soil amendment currently specified will be the minimum incorporated. Tool Agency: Colorado State University Soil Testing Lab, A319-NE5B, Fort Collins, CO 80525-1120
- Apply 5 cubic yards of organic compost per 1,000 square feet to all sodded lawn and seeded areas. Native areas to be amended by 3 cubic yards of organic matter per 1,000 square feet.
- Incorporate amendments thoroughly with top 6 in. of soil and bring amended soil to finish grade and elevations shown on drawings. Do not work soils under frozen or muddy conditions.
- Do not commence amending of existing soil prior to acceptance of finish or subgrade.
- See details or planting requirements, materials and execution.
- Stake/Guy all trees as per detail for a period of one year. All tree stakes and guying to removed after one year.
- If annuals are specified on plans, the landscape contractor is to submit a list of seasonally available annuals to be used to the landscape architect for approval.
- Landscape Contractor to receive site graded to +/- .10 ft.
- Prior to installation of any permanent stone or stucco wall, a design of the wall must be submitted to Development Services for approval.
- The Landscape Contractor shall be responsible for positive drainage throughout planting and turf areas, with accurately see flowlines. No low spots or ponding surface water will be accepted in the final work.
- Final grades are to be approved by the Landscape Architect prior to installation of the irrigation and the landscaping.
- If additional soil is required to bring the site to the finish grades, the import soil shall be topsoil.
- The contractor shall be responsible for the repair of any of their trenches or excavations that settle.

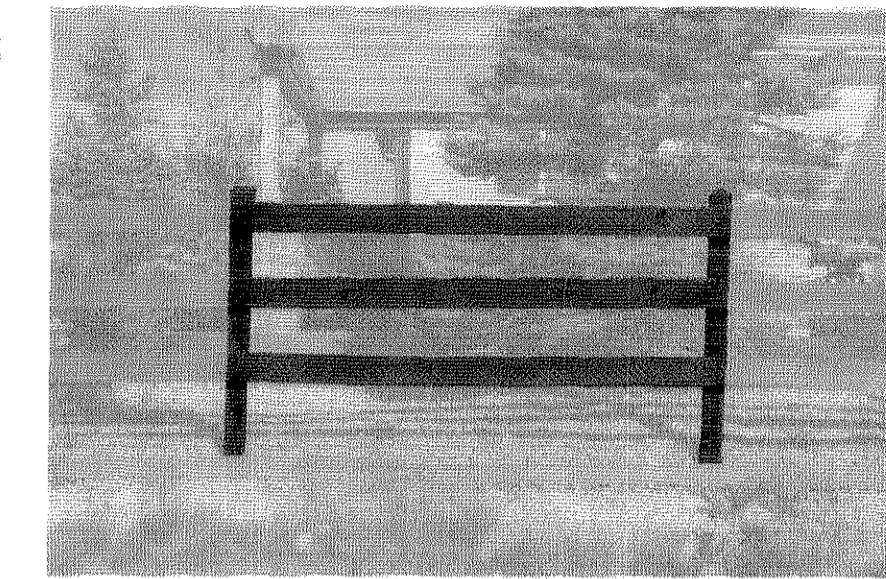
- Edging to be black Ryerson 1/2"x4" steel, or approved equal, location as shown on plan. All edging to be capped or rolled top.
- All utility easements and emergency accesses shall remain unobstructed and fully accessible along their entire length for maintenance and emergency equipment and vehicles.
- Mitigation of Impacts. Within moderate skyline, minor skyline and minor ridge line areas of the district, all primary and accessory structures shall be required to comply with the following measures designated to mitigate the visual impact of the structure prior to occupancy, unless explicitly exempted elsewhere in this Chapter.
 - A. Colors. All occupied structures and accessory structures shall be constructed and maintained so that predominant exterior wall colors (including the colors of basement walls on the downhill side of the structure) and roof surfacing materials (a) repeat the colors found most commonly in the land and vegetation around the building (earth tone), and (b) have a light reflective value of no more than forty percent (40%). Reflective materials and bright colors that contrast dramatically with the colors of the land and vegetation around them shall not be used as predominant colors on any wall or roof surface.
 - B. Vegetation. The area around each primary structure and accessory structure shall include at least one (1) tree of a species with a mature height of at least thirty-five (35) feet for each two thousand five hundred (2,500) square feet of lot or parcel area; provided, however, that this requirement shall not require any single-family residential lot to contain more than eight (8) trees. At least fifty percent (50%) of the total number of trees required on the lot or parcel pursuant to this Subsection 2 shall be located within fifty (50) feet of the primary structure on the side of the primary structure facing the nearest viewing platform as so designated by the Community Development Department. The remainder of the trees required on the lot or parcel pursuant to this Subsection 2 shall be located within fifty (50) feet of the primary structure. All trees installed to meet the requirements of this Subsection shall be of coniferous species, shall be a minimum of eight (8) feet tall when planted, and shall be planted before a Certificate of Occupancy is issued for the primary structure, or if that is not possible due to planting season or weather conditions, then within one (1) month of the beginning of the planting season for the species. In addition, to the maximum degree feasible, during overlot grading, all existing mature vegetation with a height of more than three (3) feet, other than noxious plants and weeds, shall be preserved. Any existing trees that meet the height requirement are counted towards satisfaction of the tree requirements, regardless of whether they are coniferous or deciduous. Concurrently with the final PD site plan review and approval process, the property owner submitting such plan may request approval of a vegetation plan in which the vegetation requirements for certain lots or tracts may be increased, decreased or deleted, to reflect the degree of visibility of structures located in various portions of the subdivision. Additionally, such owner may request alternative placement of landscaping on certain lots and tracts if such placement provides adequate mitigation of the visual impact of the roof line of the primary structure. Landscaping required by this Section shall be credited against the landscaping requirements imposed by any other section of this Code, or the specific PD development plan, in commercial and multifamily residential areas, vegetation screening required by this Subsection shall be limited to the total area required for landscaping under this Code or the applicable PD plan, and therefore only such vegetation screening which can be reasonably accommodated within such areas is required to be planted or maintained.
 - C. Floodlighting. Floodlights shall not be used to light all or any portion of any primary or accessory structure facade, and all outdoor light sources mounted on poles, buildings or trees to illuminate streets, sidewalks, walkways, parking lots or other outdoor areas shall use full cutoff light fixtures. For purposes of this Section, a full cutoff light fixture is one in which no more than two and one-half percent (2.5%) of the total output is emitted at ninety degrees (90°) from the vertical pole or building wall on which it is mounted. All such fixtures shall be installed or shielded so that part of the light bulb or light source is not visible beyond the property boundaries.
 - D. Exposed Basements. On the side of each primary and accessory structure facing the nearest viewing platform as so designated by the Community Development Department, no basement wall shall be exposed for more than one-half (1/2) of its height, unless a vegetated berm at least three (3) feet in height is constructed between such basement and the property line closest to the nearest viewing platform. (Ord. 99-30 §2, 1999; Ord. 99-15 §1(part), 1999)



FENCE AND COLUMN DETAIL

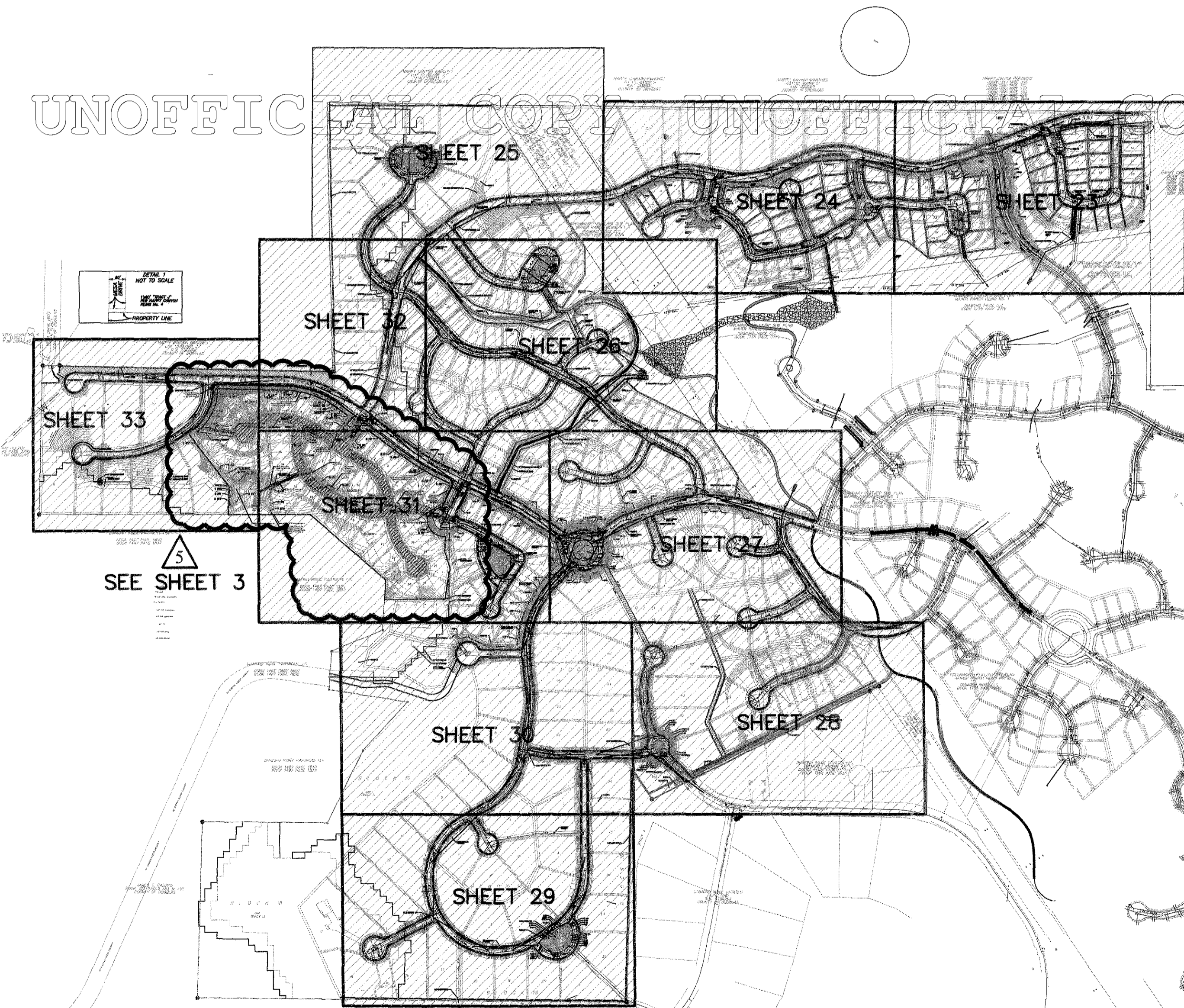
Trex Fence and Stone and Stucco columns to match existing fence and column.

KEY MAP



THREE RAIL FENCE DETAIL

Three rail fence to match existing fence details.



NOTES:

- ALL PLANTING BEDS TO HAVE 4" OF ORGANIC MULCH OR 2" OF ROCK MULCH (TO BE SPECIFIED ON THE CONSTRUCTION DOCUMENTS).
- ALL TURF AREAS TO BE IRRIGATED WITH POP-UP SPRAY AND ROTOR HEADS. SPRAY HEADS TO BE 6" MINIMUM FOR TURF AND 12" MINIMUM POP-UP HEIGHT FOR WILDFLOWERS AND NATIVE GRASS.
- ALL SHRUB AND PERENNIAL BEDS WILL BE IRRIGATED USING DRIP EMITTERS.
- CONTRACTOR TO CONTACT THE TOWN OF CASTLE ROCK UTILITIES DEPARTMENT AT 720.733.6045 FOR AN ON SITE PRECONSTRUCTION MEETING BEFORE BEGINNING THE LANDSCAPE INSTALLATION.
- TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.

5 SITE PLAN AMENDMENT:

- The round about has been removed and the landscaping relocated.
- 7 shade trees have been added to Sapphire Pointe Boulevard.
- 15 shade trees and 60 shrubs have been added to Tract YY.
- All evergreens to be planted at 6' tall.
- A crusher fines path has been added to the landscape plan.
- A concrete trail has been added to the landscape plan.
- A crusher fines connection between galaxy drive and neon way has been replaced by the concrete trail noted above.
- Block 8 has been replatted.
- Perimeter fence has been changed to Trex Fence and Stone and Stucco columns to match existing fence and column. A three rail fence shall occur along block 7 lots 4 through 8 due to a steep slope.

PLANT SCHEDULE

Sym	Botanic Name/Common Name	Qty.	Size	Spacing	Sym	Botanic Name/Common Name	Qty.	Size	Spacing																																																																															
Deciduous Trees																																																																																								
QB	Quercus bicolor Swamp White Oak	51	2-1/2" cal.	As Shown	VL	Viburnum carlesii Koreanspice Viburnum	78	5 gal.	6' o.c.																																																																															
GT	Gleditsia triacanthos inermis 'Imperial' Imperial Honeylocust	52	2-1/2" cal.	As Shown	VT	Viburnum trilobatum 'Compactum' American Compact Cranberryough	14	5 gal.	4' o.c.																																																																															
Ornamental Trees																																																																																								
AGA	Amelanchier grandiflora 'Autumn Brilliant' Autumn Brilliant Serviceberry	3	6' clump	As Shown	CG	Coreopsis grandiflora 'Sunray' Dwarf Double Coreopsis	360	1 gal.	12" o.c.																																																																															
CCG	Crataegus crus-galli 'Inermis' Thornless Cockspur Hawthorn	1	1-1/2" cal.	As Shown	GA	Gaillardia aristata Native Blanket Flower	60	1 gal.	24" o.c.																																																																															
MS	Malus 'Spring Snow' Spring Snow Crabapple	20	1-1/2" cal.	As Shown	LA	Lavandula angustifolia 'Hidcote' Deep Blue Lavender	720	1 gal.	12" o.c.																																																																															
PV	Prunus virginiana 'Shubert' Shubert Chokecherry	20	1-1/2" cal.	As Shown	SN	Salvia nemorosa 'May Night' May Night Purple Salvia	480	1 gal.	12" o.c.																																																																															
Evergreen Trees																																																																																								
PP	Pinus ponderosa Ponderosa Pine	42	6' ht.	As Shown	HSE	Helictotrochon sempervirens Blue Avena Grass	253	1 gal.	18" o.c.																																																																															
PN	Pinus nigra Austrian Pine	93	6' ht.	As Shown	MSP	Miscanthus sinensis purpurascens Purple Maiden Grass	75	1 gal.	24" o.c.																																																																															
PPF	Picea pungens 'Fat Albert' Fat Albert Spruce	23	6' ht.	As Shown	Irrigated Grass																																																																																			
PPU	Picea pungens Colorado Blue Spruce	49	6' ht.	As Shown	Irrigated Native Seed Mix (see below for details) seed																																																																																			
PS	Pinus strobiformis Southwestern White Pine	43	6' ht.	As Shown	Non-Irrigated Native Seed Mix																																																																																			
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THE HENRY DESIGN GROUP
LAND PLANNING - LANDSCAPE ARCHITECTURE & DESIGN
1501 W. WAZEE STREET SUITE C DENVER, COLORADO 80202
Phone: 303-446-2368 Fax: 303-446-0958

Project Name:
**MAHER RANCH
FILING #2
SITE DEVELOPMENT PLAN
AMENDMENT NO. 5**

Developed By:
Village Homes
6480 E. Orchard Road
Suite 1000
Greenwood Village, CO 80111

No.	Date	Revisions
1	04/23/13	Site Plan Amendment Submittal
2	06/26/13	Per Town Comments
3	07/30/13	Per Town Comments
4	09/03/13	Per Town Comments

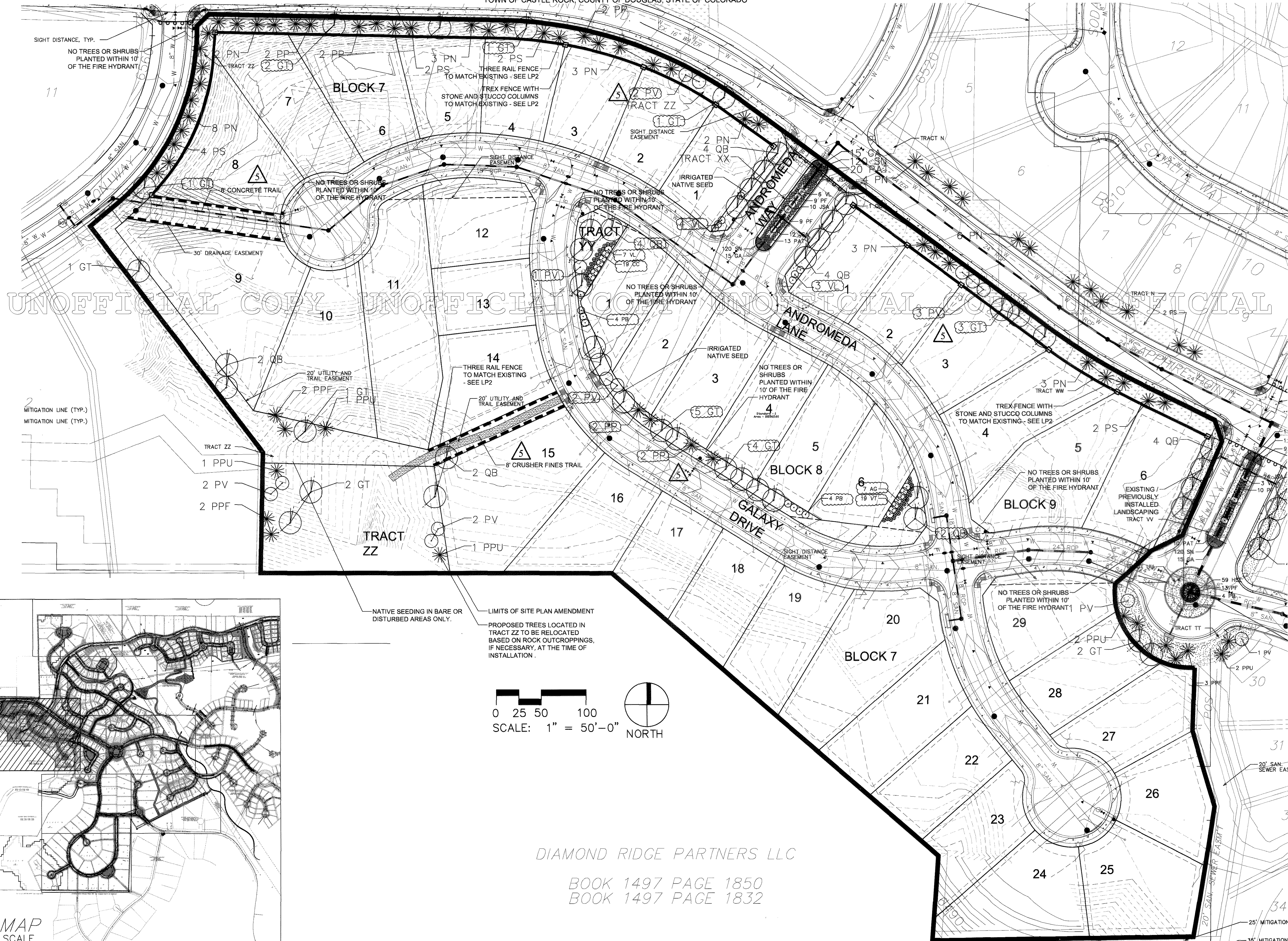
Project No:
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Date:
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MAHER RANCH FILING NO. 2 SITE
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**LANDSCAPE
COVER SHEET**

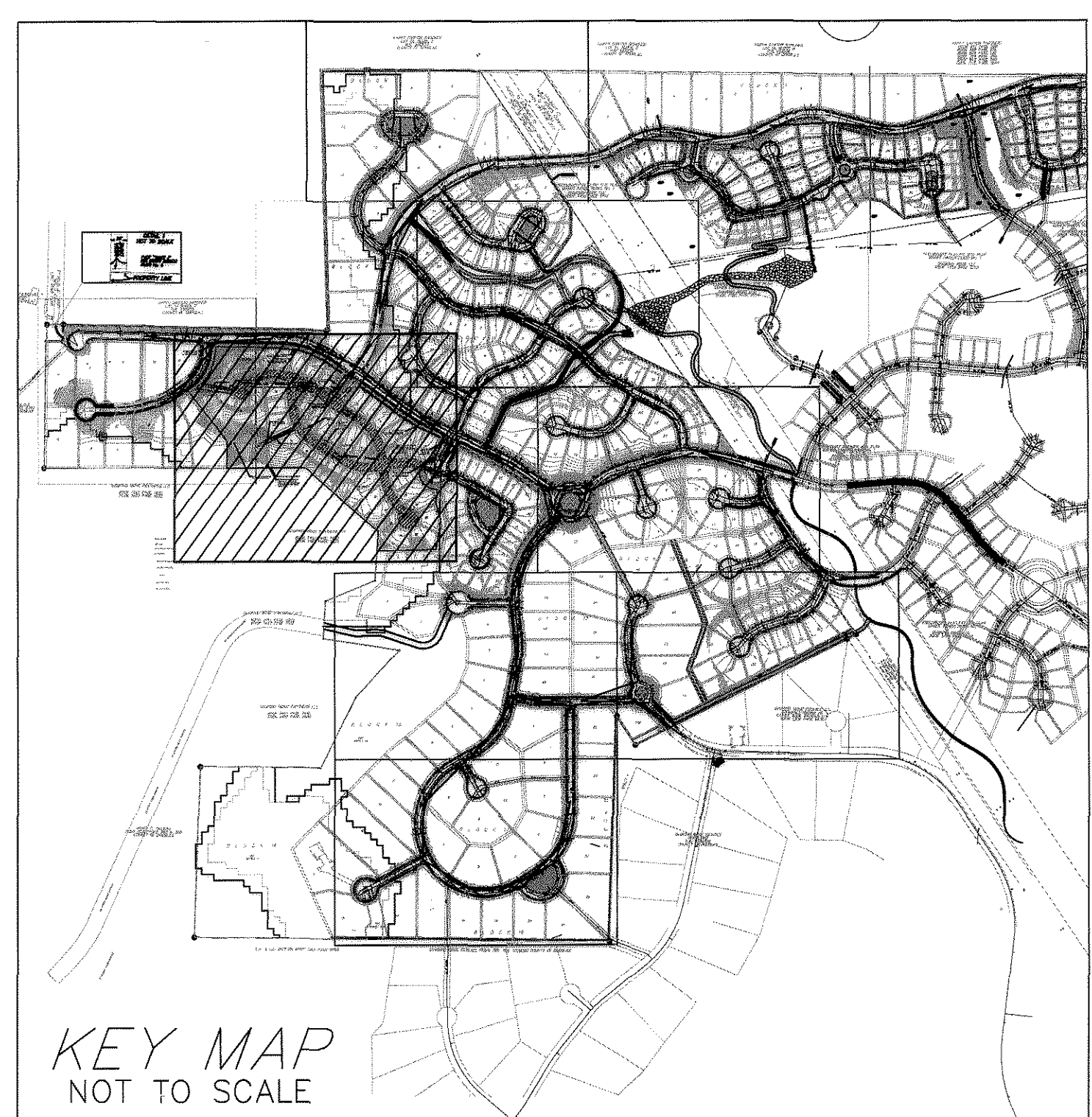
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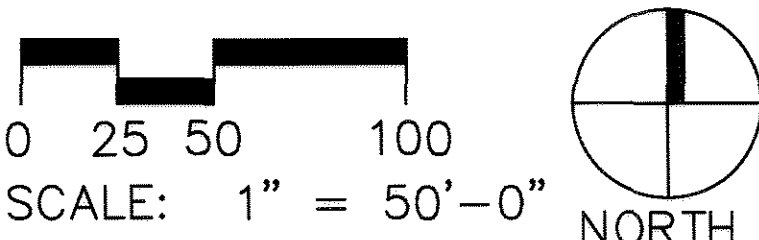
(FORMERLY MAHER RANCH FILING NO. 2 PRELIMINARY PLAT/FINAL PD SITE PLAN)
THOSE PORTIONS OF SECTIONS 23 AND 24, TOWNSHIP 7 SOUTH
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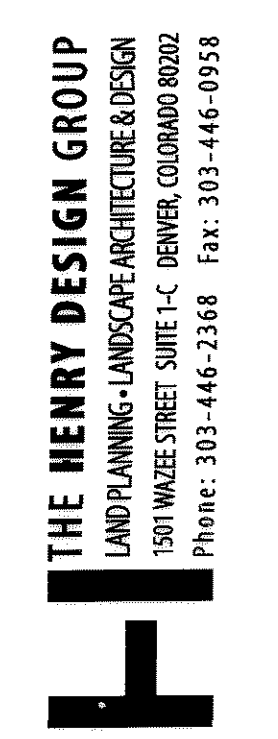
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NATIVE SEEDING IN BARE OR DISTURBED AREAS ONLY.
LIMITS OF SITE PLAN AMENDMENT
PROPOSED TREES LOCATED IN TRACT ZZ TO BE RELOCATED BASED ON ROCK OUTCROPPINGS, IF NECESSARY, AT THE TIME OF INSTALLATION.



DIAMOND RIDGE PARTNERS LLC
BOOK 1497 PAGE 1850
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