

SITE DEVELOPMENT PLAN, AMENDMENT NO. 2 AMENDING THE FINAL PD SITE PLAN LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT LOCATED IN THE SW 1/4 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP23-0021

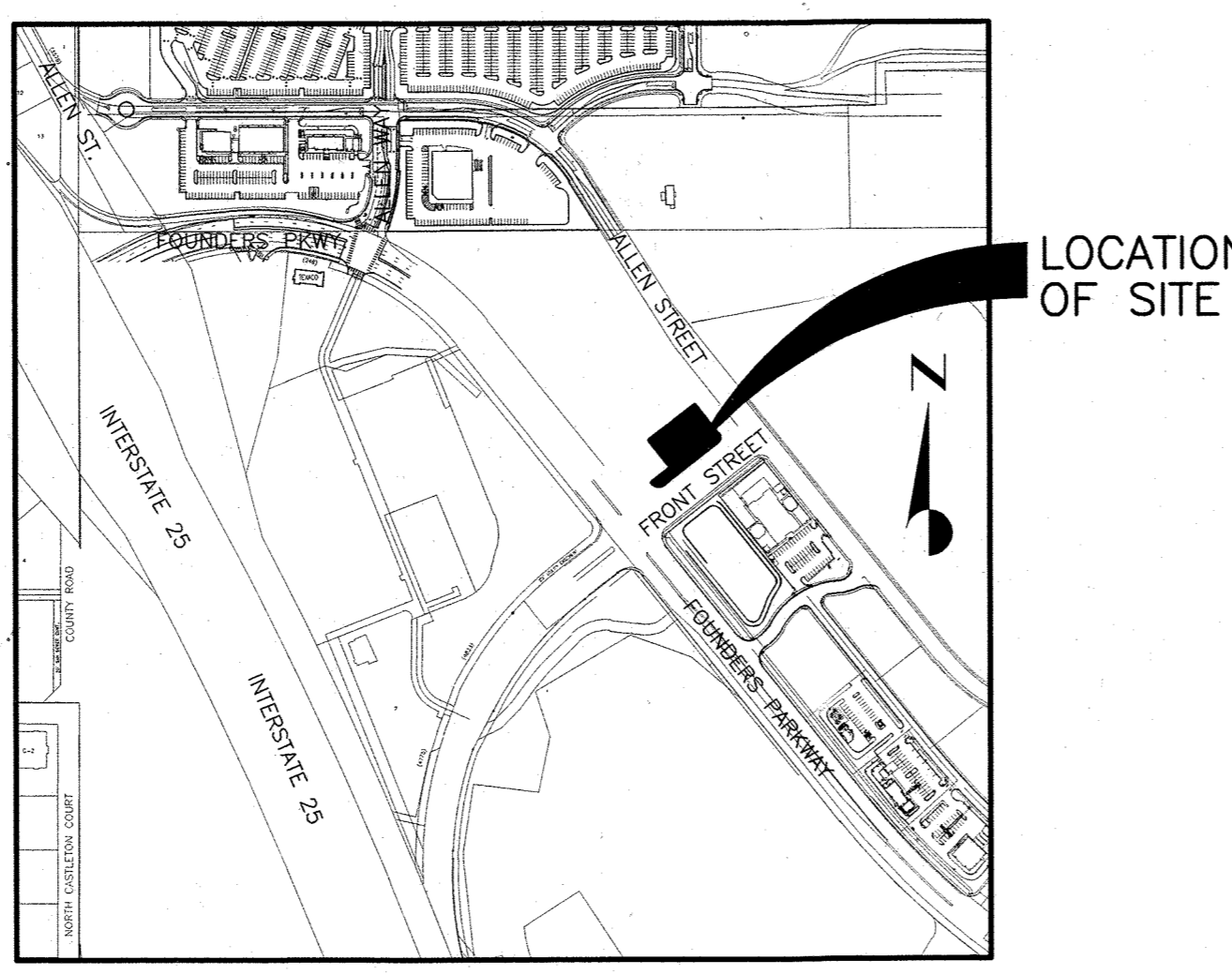
OWNERS:
HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE RD.
SCOTTSDALE, AZ 85255

APPLICANT/DEVELOPER:
DISCOUNT TIRE COMPANY OF COLORADO INC.
20225 N. SCOTTSDALE RD.
SCOTTSDALE, AZ 85255

LEGAL DESCRIPTION:
LOT 1-C, METZLER RANCH FILING NO. 3, 4TH AMENDMENT

PURPOSE STATEMENT:
THE EXISTING DISCOUNT TIRE BUILDING USES METAL STORAGE CONTAINERS ON SITE WHICH POSES A VIOLATION TO GOVERNING CODE AND CRITERIA. THIS PROJECT PROPOSES TO CONSTRUCT A BUILDING ADDITION TO REPLACE THE METAL STORAGE CONTAINERS.

CIVIL ENGINEER:
BRADY A. SHYROCK P.E. 38164
FOR AND ON BEHALF OF
GALLOWAY & COMPANY INC.
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, COLORADO 80920
PHONE: 719-900-7220



LOCATION OF SITE

DEVELOPMENT MAP
SCALE: 1"=500'

BASIS OF BEARINGS
BEARINGS USED ON THIS SURVEY ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF THE SW 1/4 OF SECTION 26, T.7S., R.67W., OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO BEARS S89°36'29"E AS REFERENCED ON SAID RECORDED PLAT AND BOUNDED BY THE MONUMENTS SHOWN HEREON.
BENCHMARK: THE NORTHWEST CORNER OF THE S 1/2 OF SECTION 26, T.7S., R.67W., OF THE 6TH P.M., BEING THE TOWN OF CASTLE ROCK GPS POINT NO. 14, PUBLISHED ELEVATION = 6174.60 FEET (NAVD 83)

SIGNAGE:
ALLOWABLE AREA:
2.5 S.F. FOR THE FIRST 200 L.F. OF BUILDING FRONTAGE OR 1.5 S.F. FOR THE FIRST 200 L.F. OF LOT FRONTAGE PLUS
0.5 S.F. FOR EACH ADDITIONAL L.F.
MAXIMUM AREA OF GROUND SIGN = 50 S.F. PER FACE
FRONTAGE:
ALLEN STREET 169.46 L.F.
FRONT STREET 339.89 L.F.
TOTAL FRONTAGE: 509.35 L.F.
AREA:
FIRST 200 L.F. x 1.5 S.F. 300.0 S.F.
309.35 L.F. x 0.5 S.F. 154.67 S.F.
TOTAL ALLOWABLE SIGN AREA: 454.67 S.F.
PROPOSED WALL SIGNAGE:
GROUND SIGN: 50 S.F. PER FACE (x2) 200 S.F.
WALL SIGN: 78 S.F. (x3) 234 S.F.
TOTAL PROPOSED SIGN AREA: 434 S.F.

PARKING:
REQUIRED:
REPAIR SHOP:
3 SPACES PER BAY PLUS 1 SPACE PER EMPLOYEE (6 EMPLOYEES) = 26 SPACES
REQUIRED TOTAL: 26 SPACES
HANDICAP 1 PER 12 SPACES 2 SPACES
PROVIDED:
REGULAR 26 SPACES
HANDICAP 1 SPACES
HP VAN ACCESSIBLE SPACES 1 SPACES
PROVIDED TOTAL: 28 SPACES

SITE DATA: SUMMARY TABLE (PRE-AMENDMENT REF#2002024736)

ZONING:	PD-COMMERCIAL(B-2 GENERAL BUSINESS DISTRICT)
SETBACK:	15 FEET
BUILDING HEIGHT:	26 FEET
LAND COVERAGE:	50,443 S.F. 100.0% 1.158 ACRES
BUILDINGS:	
TIRE CENTER	6,947 S.F. 13.77% 0.159 ACRES
LANDSCAPING:	
LANDSCAPED AREA	21,356 S.F. 42.34% 0.490 ACRES
DRIVES, PARKING, WALKS & MISC.	22,140 S.F. 43.89% 0.509 ACRES

SITE DATA: SUMMARY TABLE (PER THIS AMENDMENT SDP23-0021)

ZONING:	PD-COMMERCIAL(B-2 GENERAL BUSINESS DISTRICT)
SETBACK:	15 FEET
BUILDING HEIGHT:	26 FEET
LAND COVERAGE:	50,443 S.F. 100.0% 1.158 ACRES
BUILDINGS:	
TIRE CENTER	7,477 S.F. 14.8% 0.171 ACRES
LANDSCAPING:	
LANDSCAPED AREA	20,765 S.F. 41.1% 0.477 ACRES
DRIVES, PARKING, WALKS & MISC.	22,201 S.F. 44.1% 0.510 ACRES

GENERAL NOTES:

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLET PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS REQUIRE THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS PROPERTY IS LOCATED WITH ZONE X AS PER FEMA FIRM PANEL NO. 08035001866 DATED MARCH 18, 2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) FEET ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. THIS SITE IS ZONED PD-COMMERCIAL (B-2 GENERAL BUSINESS DISTRICT).
10. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO A STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
10. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
11. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

FIRE NOTES:

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND THE FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN WITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

TITLE CERTIFICATION:

I, Eric Gonzales, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Title, NCS A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Eric Gonzales
AUTHORIZED REPRESENTATIVE
Fidelity National Title, NCS
TITLE COMPANY
SIGNED THIS 25th DAY OF October, 2023.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 25 DAY OF October, 2023
BY Eric Gonzales

WITNESS MY HAND AND OFFICIAL SEAL.
Janet Duff
NOTARY PUBLIC
MY COMMISSION EXPIRES: January 15, 2025

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Eric Gonzales
HALLE PROPERTIES, LLC
SIGNED THIS 25th DAY OF October, 2023.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 25th DAY OF October, 2023
BY Matthew Johnson

WITNESS MY HAND AND OFFICIAL SEAL.
Matthew Johnson
NOTARY PUBLIC
MY COMMISSION EXPIRES: 4-6-2024

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL:

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 15 DAY OF November, 2023

Janet Duff
DIRECTOR OF DEVELOPMENT SERVICES

CIVIL ENGINEER'S STATEMENT:

I, BRADY A. SHYROCK, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Brady A. Shyrock
BRADY A. SHYROCK
PROFESSIONAL ENGINEER NO. 38164
DATE 10/17/23

DOUGLAS COUNTY CLERK & RECORDER'S CERTIFICATE:

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 4:59 PM ON THE 15th DAY OF NOVEMBER, 2023 AT RECEPTION NO. 2023049674

DOUGLAS COUNTY CLERK AND RECORDER
BY: Hayley Hall
DEPUTY

SURVEYOR'S CERTIFICATE:

I, Brian J. Dennis, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THE PROPOSED PLANNED LAND SURVEYOR IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT THE LEGAL DESCRIPTION AS NOTED ON THIS SITE DEVELOPMENT PLAN IS THE SAME PROPERTY AS DEPICTED OR DESCRIBED IN THE MOST RECENT SUBDIVISION PLAT OR RECORDED INSTRUMENT FOR THE SUBJECT PROPERTY.

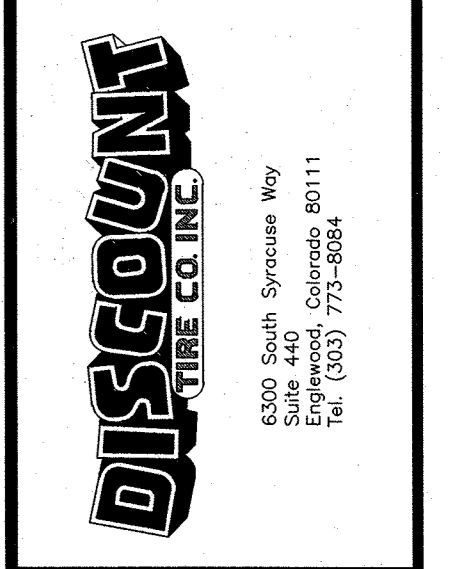
Brian J. Dennis
BRIAN J. DENNIS
REGISTERED PROFESSIONAL LAND SURVEYOR
DATE 1/28/25

38069
1/28/25
SITE DEVELOPMENT PLAN, AMENDMENT NO. 2
LOT 1-C METZLER RANCH FILING NO.3, 4TH AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0021

SHEET NO. PER FINAL PD SITE PLAN RECORDED 4/7/2008	REVISED AS PART OF AMENDMENT NO.1 (SDP23-0016)	REVISED AS PART OF AMENDMENT NO. 2 (SDP23-0021)	SHEET INDEX DESCRIPTION
1 OF 11	<input checked="" type="checkbox"/> (SHEET 1 OF 3)	<input checked="" type="checkbox"/> (SHEET 1 OF 9)	COVER SHEET
2 OF 11	<input type="checkbox"/>	<input checked="" type="checkbox"/> (SHEET 2 OF 9)	SITE PLAN
3 OF 11	<input type="checkbox"/>	<input checked="" type="checkbox"/> (SHEET 3 OF 9)	GRADING PLAN
4 OF 11	<input type="checkbox"/>	<input checked="" type="checkbox"/> (SHEET 4 OF 9)	UTILITY PLAN
5 OF 11	<input type="checkbox"/>	<input checked="" type="checkbox"/> (SHEET 5 OF 9)	LANDSCAPE PLAN
6 OF 11	<input type="checkbox"/>	<input type="checkbox"/>	IRRIGATION PLAN AND NOTES
7 OF 11	<input type="checkbox"/>	<input type="checkbox"/>	IRRIGATION DETAILS
8 OF 11	<input type="checkbox"/>	<input type="checkbox"/>	IRRIGATION DETAILS AND SCHEDULE
9 OF 11	<input type="checkbox"/>	<input checked="" type="checkbox"/> (SHEET 6 OF 9)	PHOTOMETRIC PLAN
10 OF 11	<input checked="" type="checkbox"/> (SHEET 2 & 3 OF 3)	<input checked="" type="checkbox"/> (SHEET 7 & 8 OF 9)	BUILDING ELEVATIONS
11 OF 11	<input type="checkbox"/>	<input checked="" type="checkbox"/> (SHEET 9 OF 9)	SITE DETAILS & SIGNAGE

DATE	
DRAWN BY	
DES. BY	
REVISION	
NO.	
REVISION	
NO.	

DISCOUNT TIRE CO. LLC
1000 South Syracuse Way
Suite 400
Englewood, Colorado 80111
Tel: (303) 772-8884



SITE DEVELOPMENT PLAN
AMENDMENT NO. 2
LOT 1-C, METZLER RANCH
FILING No. 3, 4th AMENDMENT
NWC ALLEN STREET AND FRONT STREET
CASTLE ROCK, COLORADO

Project No: ZD30
Sheet Scale: AS SHOWN
Designed By: JLF
Drawn By: JET
Date: October, 2007
Disk File: ZD30_P-01_GI0-0-Covr

COVER SHEET

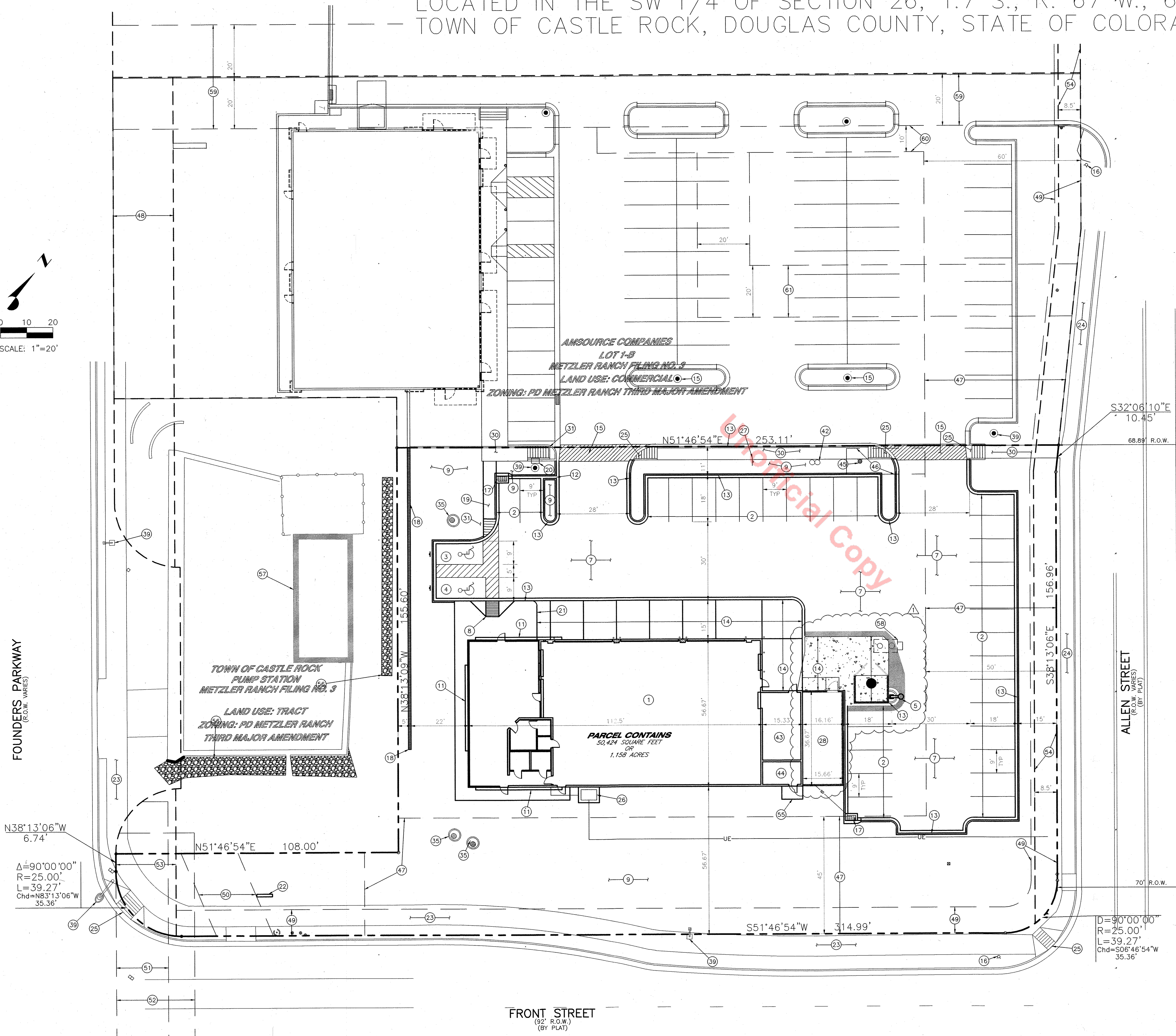
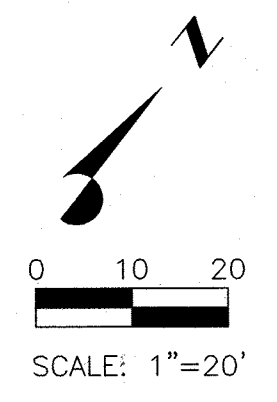
SITE DEVELOPMENT PLAN, AMENDMENT NO. 2 AMENDING THE FINAL PD SITE PLAN LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT LOCATED IN THE SW 1/4 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SITE LEGEND			
—	PROPERTY BOUNDARY LINE	▲	PROPOSED FIRE HYDRANT
- - -	ADJACENT PROPERTY BOUNDARY LINE	○	EXISTING MANHOLE COVER
- - -	SECTION LINE	●	PROPOSED MANHOLE COVER
- - -	CENTER LINE	○	UTILITY PEDESTAL
- - -	EASEMENT BOUNDARY LINE	□	EXISTING INLET
←	TRAFFIC DIRECTION	□	PROPOSED INLET
1	PARKING COUNT	— X — X	EXISTING FENCE TO REMAIN
2	SITE LIGHTING	—	EXISTING TO REMAIN
3	WALL PACK LIGHT	—	EXISTING RETAINING WALL
4	EXISTING TRAFFIC POLE	—	EXISTING TO BE REMOVED
5	EXISTING FIRE HYDRANT	—	PROPOSED NEW
		—	PROPOSED UNDERGROUND
		—	PROPOSED UNDERGROUND ELECTRIC

NOTES

- NO SHIPPING CONTAINERS WILL BE STORED ON THE SITE AND MATERIALS WILL NOT BE STORED OUTSIDE OF THE ENCLOSURE.
- ONLY ITEMS SHOWN IN CLOUDING ARE PROPOSED. ALL OTHER ITEMS SHOWN AS PROPOSED HAVE BEEN PREVIOUSLY CONSTRUCTED.

- SCHEDULE**
- 56'-8" X 112'-6" DISCOUNT TIRE STORE
 - 9'-0" X 18'-0" PARKING SPACES (TYP. 31)
 - 9'-0" X 18'-0" HANDICAP PARKING SPACE
 - 9'-0" X 20'-0" HANDICAP PARKING SPACE W/5'-0" X 20'-0" UNLOADING AREA UNLOADING AREA STRIPING AND SIGNAGE
 - 22' HIGH, 250W, MH SITE LIGHT (TYP. 1) FLAT LENS, KIM LIGHTING MODEL RAZS
 - 12'-0" X 10'-0" MASONRY AND STONE VENEER TRASH ENCLOSURE WITH 12'-0" X 15'-0" CONCRETE PAD, BRICK TO MATCH BUILDING
 - ASPHALT PAVING
 - HANDICAP RAMP TO BUILDING FROM PARKING AREA (1:12 MAX. SLOPE)
 - LANDSCAPE AREA
 - NOT USED
 - BUILDING WALL SIGN 78 S.F. (TYP. 3)
 - PROPOSED 1' WIDE CHASE DRAIN (TYP. 2)
 - 6" VERTICAL CURB & GUTTER
 - NEW 15' CONCRETE APRON TO DROP 6" FROM FINISHED FLOOR TO MATCH GRADE AT ASPHALT
 - EXISTING STRIPING TO SHOW ROUTE TO PUBLIC WAY.
 - EXISTING FIRE HYDRANT
 - NEW 3' TYPE-13 AREA INLET
 - NEW STACKED STONE RETAINING WALL (FOR BID PURPOSES ONLY GC TO OBTAIN A FINAL DESIGN)
 - PROPOSED 5' WIDE SIDEWALK
 - EXISTING MAIL BOX
 - MONOLITHIC SIDEWALK CURB, VARIABLE HEIGHT (SEE GRADING PLAN)
 - PROPOSED LOCATION OF SIGN, BOARD OF ADJUSTMENT HAS REVIEWED AND APPROVED
 - EXISTING 8' WIDE CONCRETE SIDEWALK
 - EXISTING 5' WIDE CONCRETE SIDEWALK
 - EXISTING HANDICAP RAMP
 - 6' X 8' CONCRETE PAD AND ELECTRICAL CONDUIT
 - PROPOSED NO PARKING FIRE LANE SIGNAGE
 - PROPOSED 15'-8" X 36'-8" DEAD TIRE STORAGE
 - NOT USED
 - EXISTING 5' SIDEWALK
 - PROPOSED HANDICAP ACCESSIBLE RAMP
 - NOT USED
 - NOT USED
 - NOT USED
 - NOT USED
 - NEW MANHOLE
 - NOT USED
 - NOT USED
 - NOT USED
 - EXISTING STREET LIGHT TO REMAIN
 - NOT USED
 - NOT USED
 - 5' STORES FIRE DEPARTMENT CONNECTION
 - DEAD TIRE STORAGE ROOM
 - COMPRESSOR ROOM
 - PROPOSED FIRE HYDRANT
 - PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT, TO BE DEDICATED BY SEPARATE DOCUMENTS
 - VARYING WIDTH UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
 - 23' RESERVE SUBDIVISION IMPROVEMENTS AGREEMENT (REC. NO. 01055443)
 - 10' UTILITY EASEMENT (REC. NO. 01055443)
 - 20' DRAINAGE EASEMENT (REC. NO. 2004005960)
 - 20' IREA EASEMENT (BM. 1396-PG. 1699)
 - 30' TRAFFIC SIGNAL EASEMENT (BK. 1396-PG. 1677)
 - RESERVATION FOR FUTURE R.O.W.
 - 8.5' RESERVE SUBDIVISION IMPROVEMENTS AGREEMENT (REC. NO. 01055443)
 - 5' X 8' CONCRETE PAD
 - EXISTING ROCK ON TOWN OF CASTLE ROCK SITE
 - EXISTING TOWN OF CASTLE ROCK PUMP STATION
 - PROPOSED OIL SEPARATOR
 - EXISTING ACCESS UTILITY & DRAINAGE EASEMENT (20' EACH SIDE OF LOT LINE, REC. NO. 2003094052) BY PLAT.
 - 10' UTILITY & DRAINAGE EASEMENT (REC. NO. 2003094052)
 - 20' UTILITY EASEMENT (REC. NO. 2003094052)



No.	REVISION	DATE	DRAWN BY

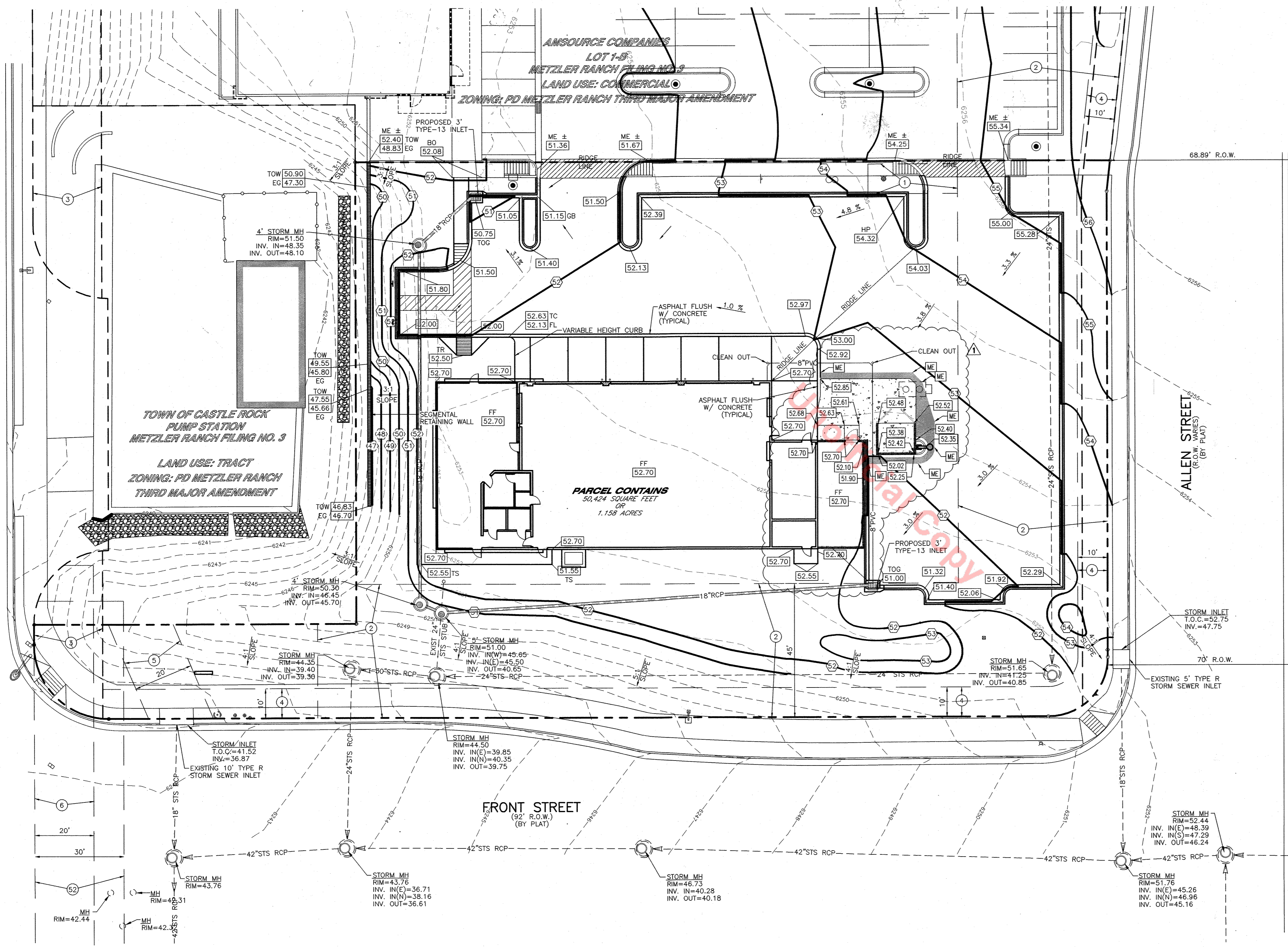
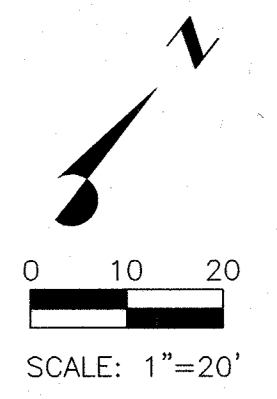
DISCOUNT TIRE CO. INC.
 6505 South Syracuse Way
 Suite 440
 Englewood, Colorado 80111
 Tel: (303) 772-0884

**SITE DEVELOPMENT PLAN
 AMENDMENT NO. 2
 LOT 1-C, METZLER RANCH
 FILING No. 3, 4th AMENDMENT**
 NWC ALLEN STREET AND FRONT STREET
 CASTLE ROCK, COLORADO

Project No:	ZD30
Sheet Scale:	1"=20'
Designed By:	JLF
Drawn By:	CJH
Date:	October, 2007
Disk File:	ZD30_P 02_Cs1-1-Site

SITE PLAN

SITE DEVELOPMENT PLAN, AMENDMENT NO. 2 AMENDING THE FINAL PD SITE PLAN LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT LOCATED IN THE SW 1/4 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO



BASIS OF BEARINGS

BEARINGS USED ON THIS SURVEY ARE BASED ON THE ASSUMPTION THAT THE NORTH LINE OF THE SW 1/4 OF SECTION 26, T.7S., R.67W., OF THE 6TH P.M., DOUGLAS COUNTY, COLORADO BEARS S89°36'29"E AS REFERENCED ON SAID RECORDED PLAT AND BOUNDED BY THE MONUMENTS SHOWN HEREON.

BENCHMARK:

BENCHMARK: THE NORTHWEST CORNER OF THE S 1/2 OF SECTION 26, T.7S., R.67W., OF THE 6TH P.M., BEING THE TOWN OF CASTLE ROCK GPS POINT NO. 14, PUBLISHED ELEVATION = 6174.60 FEET (NAVD 88).

NOTE

1. CONTRACTOR TO RESEED ALL OFF SITE DISTURBED AREAS AND PROVIDE ADEQUATE IRRIGATION AND CARE UNTIL PROPER VEGETATION IS ESTABLISHED.
2. THE MAXIMUM ALLOWABLE SLOPE IS 3:1.
3. ALL RETAINING WALLS OR MULTIPLE TIERED RETAINING WALLS THAT EXCEED A TOTAL OF FOUR FEET IN HEIGHT WILL REQUIRE A BUILDING PERMIT PRIOR TO OBTAINING A PUBLIC WORKS PERMIT.

LEGEND

- 20--- EXISTING CONTOUR
- 20--- PROPOSED CONTOUR
- 20.0 EXISTING SPOT ELEVATION
- 20.0 FINISHED SPOT ELEVATION
- GB GRADE BREAK
- FF FINISHED FLOOR ELEVATION
- TR TOP OF RAMP
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- FL INT FLOWLINE INTERSECTION
- CO TOP OF GRATE
- TOG TOP OF WALL
- BOW BOTTOM OF WALL
- BO BY OTHERS
- EG EXISTING GRADE ELEVATION AT FACE OF WALL
- Gutter Transition, 5' UNLESS NOTED OTHERWISE
- PROPOSED RETAINING WALL
- EXISTING ROCK
- PROPOSED STORM SEWER INLET (TYP. 2)

SCHEDULE

- 1 PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT
- 2 VARYING WIDTH UTILITY AND DRAINAGE EASEMENTS (REC. NO. 2003094052)
- 3 23' RESERVE SUBDIVISION IMPROVEMENTS AGREEMENTS (REC. NO. 01055443)
- 4 10' UTILITY EASEMENT (REC. NO. 01055443)
- 5 20' DRAINAGE EASEMENT (REC. NO. 2004005960)
- 6 20' IREA EASEMENT (BM. 1396-PG. 1699)
- 7 30' TRAFFIC SIGNAL EASEMENT (BK. 1396-PG. 1677)
- 8 10' UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
- 9 20' UTILITY EASEMENT (REC. NO. 2003094052)

NO.	REVISION	DATE
1	DEAD THE STORAGE ADDITION, RELOCATE TRASH ENCLOSURE	

DES. BY	DRAWN BY

DISCOUNT
TIRE CO. INC.

6300 South Syracuse Way
Suite 440
Castle Rock, Colorado 80111
Tel: (303) 773-8884

FOUNDERS PARKWAY
(BY PLAT)

ALLEN STREET
(BY PLAT)

FRONT STREET
(BY PLAT)

CASTLE ROCK, COLORADO

**SITE DEVELOPMENT PLAN
AMENDMENT NO. 2
LOT 1-C, METZLER RANCH
FILING No. 3, 4th AMENDMENT
NWC ALLEN STREET AND FRONT STREET
CASTLE ROCK, COLORADO**

Project No:	ZD30
Sheet Scale:	1"=20'
Designed By:	JLF
Drawn By:	CJH
Date:	October, 2007
Disk File:	ZD30_P_03_Cq1.1-Grd

GRADING PLAN

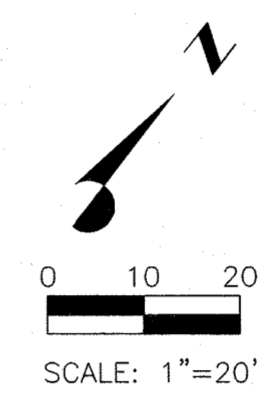
SITE DEVELOPMENT PLAN, AMENDMENT NO. 2 AMENDING THE FINAL PD SITE PLAN LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT LOCATED IN THE SW 1/4 OF SECTION 26, T.7 S., R. 67 W., 6th P.M., TOWN OF CASTLE ROCK, DOUGLAS COUNTY, STATE OF COLORADO

SDP UTILITY NOTES:

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER, AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK BLUE WATER PRESSURE ZONE.

UTILITY LEGEND

- ⊙ PROPOSED MANHOLE
- ⊙ EXISTING MANHOLE
- ⊙ VALVE
- W — EXISTING WATER LINE
- W — PROPOSED WATER LINE
- SS — EXISTING SANITARY SEWER
- SS — PROPOSED SANITARY SEWER
- S — EXISTING TYPE R INLET
- S — PROPOSED PVC STORM SEWER
- S — EXISTING STORM SEWER
- S — PROPOSED PVC STORM SEWER
- G — EXISTING GAS LINE
- G — PROPOSED GAS LINE
- UE — EXISTING UNDERGROUND ELECTRICAL
- UE — PROPOSED UNDERGROUND ELECTRICAL
- OE — EXISTING OVERHEAD ELECTRICAL
- OE — PROPOSED OVERHEAD ELECTRICAL
- UT — EXISTING UNDERGROUND TELEPHONE
- UT — PROPOSED UNDERGROUND TELEPHONE
- T — EXISTING OVERHEAD TELEPHONE
- FO — EXISTING FIBER OPTIC LINE



SCHEDULE

- 1 PROPOSED 5' TYPE-13 AREA INLET
- 2 PROPOSED STORM WATER ROOF DRAINS
- 3 PROPOSED 6" STORM SEWER (SDR-35 PVC)
- 4 PROPOSED 18" STORM SEWER (SDR-35 PVC)
- 5 PROPOSED MANHOLE
- 6 EXISTING 12" WATER LINE
- 7 EXISTING FIRE HYDRANT
- 8 EXISTING 8" WATERLINE
- 9 PROPOSED 5" STORES FIRE DEPARTMENT CONNECTION
- 10 PROPOSED 8" WATER LINE. INSTALLATION HAS BEEN COORDINATED WITH ADJACENT LOT.
- 11 PROPOSED 6" FIRE LINE WITH DOUBLE BACKFLOW PREVENTOR. DOUBLE BACKFLOW PREVENTOR LOCATED IN BUILDING.
- 12 PROPOSED 1" METER & BACKFLOW PREVENTOR INSIDE BUILDING
- 13 PROPOSED DOMESTIC 1" SERVICE LINE TO BUILDING
- 14 PROPOSED FIRE HYDRANT ASSEMBLY
- 15 PROPOSED 12" X 8" X 12" WATERLINE WET TAP WITH THRUST BLOCK
- 16 PROPOSED DOMESTIC 1" WATER LINE TAP ON 8" MAIN.
- 17 EXISTING 6" SANITARY SEWER STUB TO BE PLUGGED & ABANDONED
- 18 EXISTING 8" SANITARY SEWER
- 19 EXISTING 24" STORM SEWER
- 20 EXISTING MANHOLE
- 21 PROPOSED OIL SEPARATOR TO BE APPROVED BY THE PLUM CREEK WASTEWATER AUTHORITY
- 22 CONTRACTOR TO PROVIDE 5"x6" REDUCER UPON EXIT OF 5" STORM LINE FROM BUILDING
- 23 PROPOSED 4" PVC STORM SEWER LINE
- 24 PROPOSED 6' X 8' CONCRETE PAD AND ELECTRICAL CONDUIT
- 25 PROPOSED 2 1/2" GAS PIPE
- 26 PROPOSED 4" PVC SANITARY SEWER SERVICE
- 27 PROPOSED UNDERGROUND ELECTRICAL LINE
- 28 PROPOSED UNDERGROUND TELEPHONE LINE
- 29 PORTION OF EXISTING 24" STS STUB TO BE ABANDONED UPSTREAM OF NEW MANHOLE
- 30 SEPARATE 3/4" WATER TAP, METER ASSEMBLY & BACKFLOW PREVENTOR FOR LANDSCAPE IRRIGATION
- 31 1" CURB STOP AND VALVE BOX PER TOWN OF CASTLE ROCK
- 32 PROPOSED WATERLINE GATE VALVE
- 33 PROPOSED 6" PVC SANITARY SEWER SERVICE
- 34 EXISTING 8" X 8" X 8" WATER LINE TEE AND 8" WATER LINE STUBBED AT THE PROPERTY LINE
- 35 PROPOSED LOCATION OF SIGN, BOARD OF ADJUSTMENT REVIEWED AND APPROVED ON 01/03/08
- 36 PROPOSED 10' WIDE UTILITY EASEMENT FOR FIRE HYDRANT, TO BE DEDICATED BY SEPARATE DOCUMENT
- 37 VARYING WIDTH UTILITY EASEMENT (REC. NO. 2003094052)
- 38 23' RESERVE SUB DIVISION IMPROVEMENTS AGREEMENT (REC. NO. 01055443)
- 39 10' UTILITY EASEMENT (REC. NO. 01055443)
- 40 20' DRAINAGE EASEMENT (REC. NO. 2004005960)
- 41 20' IREA EASEMENT (BM 1396-PG. 1699)
- 42 30' TRAFFIC SIGNAL EASEMENT (BK. 1396-PG.1677)
- 43 8.5' RESERVE FOR FUTURE R.O.W.
- 44 EXISTING ACCESS AND DRAINAGE EASEMENT (20' EACH SIDE OF LOT LINE (REC. NO. 2003094052) BY PLATT
- 45 10' UTILITY AND DRAINAGE EASEMENT (REC. NO. 2003094052)
- 46 20' UTILITY EASEMENT (REC. NO. 2003094052)
- 47 3' TRENCHING FOR FIRE LINES UNDER BUILDING PER NFPA-14



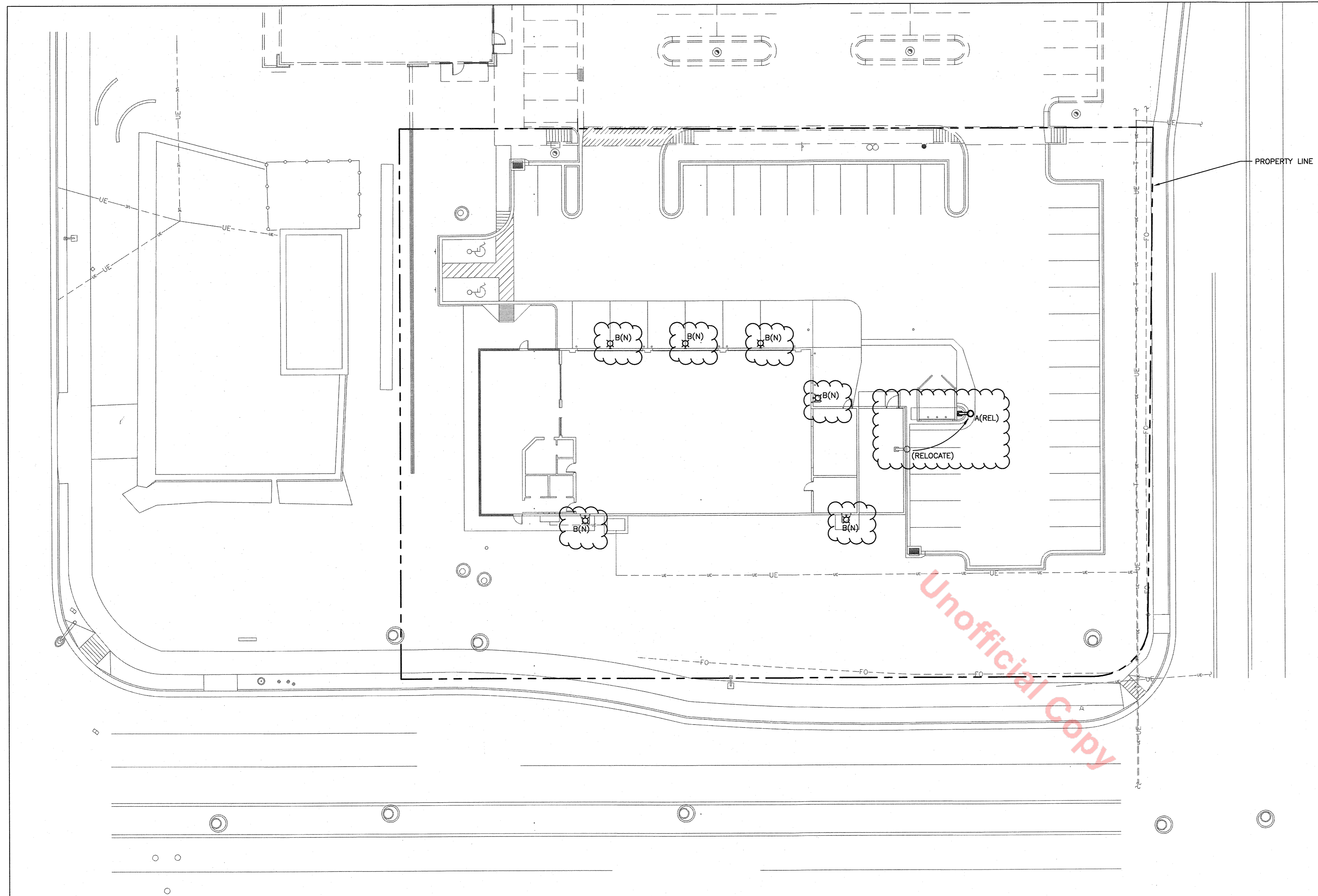
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Castle Rock, Colorado 80111
Tel: (303) 773-8984

**SITE DEVELOPMENT PLAN
AMENDMENT NO. 2
LOT 1-C, METZLER RANCH
FILING No. 3, 4th AMENDMENT
NWC ALLEN STREET AND FRONT STREET
CASTLE ROCK, COLORADO**

Project No: ZD30
Sheet Scale: 1"=20'
Drawn By: JLF
Design By: CJH
Date: October, 2007
Disk File: ZD30_P_04_CU1.1-UTL

UTILITY PLAN

**SITE DEVELOPMENT PLAN, AMENDMENT NO. 2
LOT 1-C METZLER RANCH FILING NO.3, 4TH AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0021**



01 SITE PHOTOMETRIC PLAN
SCALE: 1:20



THIS SHEET IS PART OF THE CONSTRUCTION DOCUMENTS, OTHER SHEETS INCLUDING SPECIFICATIONS APPLY. THAT SHOWN HEREON IS SCHEMATIC IN NATURE AND NOT TO BE USED AS A SHOP DRAWING; THEREFORE, INCLUDE ALL MODIFICATIONS REQUIRED TO CONFORM TO SITE CONDITIONS AND THE EQUIPMENT AND MATERIAL USED. VERIFY LOCATIONS AND DIMENSIONS OF ALL ARCHITECTURAL AND STRUCTURAL ELEMENTS AS SHOWN ON THEIR RESPECTIVE DOCUMENTS. THESE ELEMENTS ARE SHOWN FOR REFERENCE AND SHALL BE VERIFIED PRIOR TO CONSTRUCTION AND THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OF THESE ELEMENTS. NO DESIGN RESPONSIBILITY IS ASSUMED FOR ANY PORTION OF THE WORK THAT THE PROFESSIONAL ENGINEER HAS NOT SIGNED AND SEALED PER STATE/PROVINCE REQUIREMENTS.

Site Lighting Fixture Schedule										Lamps							
Luminaire ID	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp/CRI	Light loss factor	Fixture Finish
B(N)	LITHONIA		WST LED P1 30K VV MV/VOLT	LED WALL SCONCE	Y	TYPE 2	120V	0-10V	6	WALL 12' OR 14'	6	LED	12W	1,548	3000K/70CRI		1
A(REL)	KIM		1A-RA253-250MH120/277-DB-P	RELOCATED PARKING LOT POLE	Y	TYPE 3	120V	NO	1	POLE 19.5'	1	METAL HALIDE	250W	20,000	3000K		1

LIGHTING PLAN NOTES:

1) **LIGHTING OBJECTIVES:** THE OBJECTIVE OF THE LIGHTING IS TO PROVIDE ILLUMINATION FOR EGRESS AROUND THE BUILDING AND SECURITY LIGHTING FOR THE BUILDING DURING UNOCCUPIED HOURS.

THE SITE LIGHTING CONSISTS OF BUILDING MOUNTED WALL PACKS AND ONE POLE MOUNTED FIXTURE. THE EXISTING WALL PACKS ARE BEING REPLACED ONE FOR ONE WITH UPGRADED LED WALL PACKS. IN ADDITION, ONE WALL PACK IS BEING ADDED AT THE NEW ADDITION. THE EXISTING POLE IS BEING RELOCATED FOR THE NEW ADDITION ALSO.

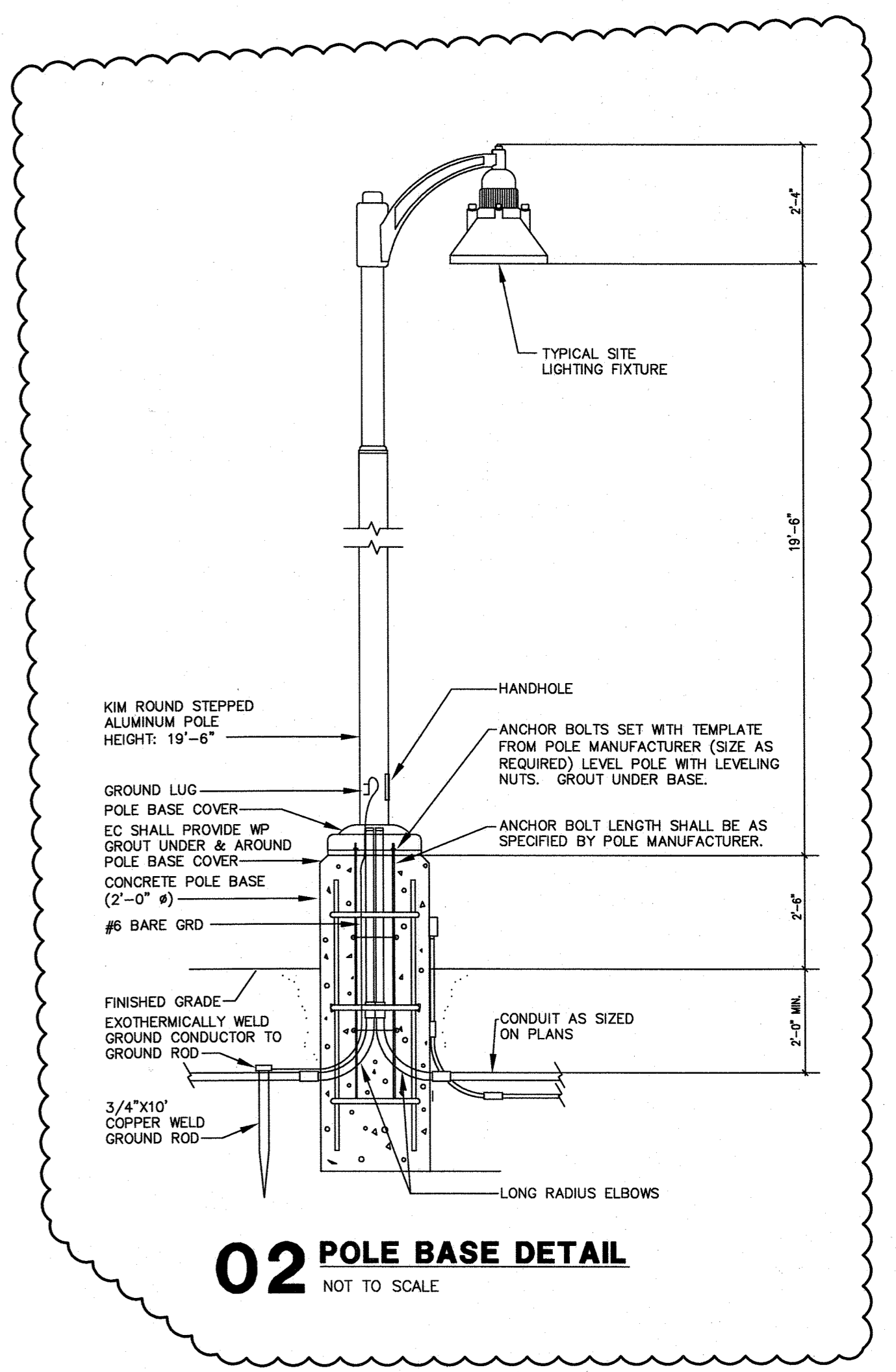
2) **HOURS OF LIGHT OPERATION:** THE EXTERIOR SITE LIGHTING WILL BE CONNECTED TO A PHOTOCELL AND ROUTED THRU A TIME CLOCK TO DIM TO 50% FROM THE HOURS OF 7PM TO 7AM UNLESS OTHERWISE TURNED OFF BY PHOTOCELL.

3) **LIGHT POLLUTION/AVOIDANCE OF NEIGHBORING PROPERTIES:** LIGHT MITIGATION IS ACCOMPLISHED BY NOT HAVING ANY LIGHT FIXTURES LOCATED NEAR THE PROPERTY LINE. THIS RESULTS IN THE LIGHT LEVELS AT THE PROPERTY LINE AVERAGING 0.0 fc. THERE IS A MAXIMUM OF 0.1 fc ALONG ONE SIDE OF THE PROPERTY WHICH BORDERS A PUBLIC STREET. ALL THE OTHER SIDES DO NOT HAVE ANY LIGHT ILLUMINATION AT THE PROPERTY LINE.

4) **THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE AND UNSHIELDED WALL PACKS.**

THE EXISTING POLE LIGHT IS A TYPE III DISTRIBUTION. THE POLE IS NOT AIMED AT THE BUILDING'S FACADE. BOTH THE POLE LIGHT AND THE WALL PACKS ARE FULLY SHIELDED FOR FULL CUTOFF WHICH MEANS NO LIGHT IS EMITTED ABOVE THE HORIZONTAL PLANE OF THE FIXTURE.

(E) DENOTES LIGHT FIXTURE IS EXISTING TO REMAIN
(N) DENOTES LIGHT FIXTURE IS NEW
(REL) DENOTES LIGHT FIXTURE IS RELOCATED



02 POLE BASE DETAIL
NOT TO SCALE

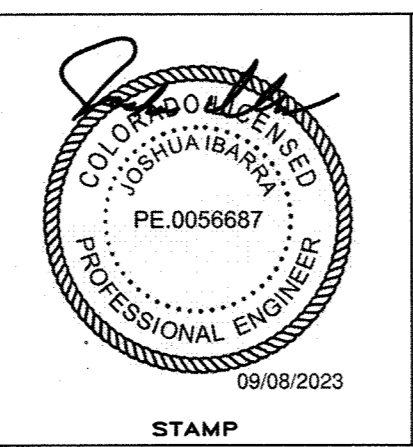
SYMBOLS LEGEND

	WALL MOUNTED LUMINAIRE, LETTER INDICATES TYPE
	RELOCATED POLE LUMINAIRE

SYMBOLS LEGEND NOTES:
MOUNTING HEIGHTS INDICATED ARE MEASURED FROM FINISHED FLOOR TO THE CENTERLINE OF THE DEVICE UNLESS NOTED OTHERWISE.

SITE DEVELOPMENT PLAN, AMENDMENT NO 2.
LOT 1-C METZLER RANCH FILING ON: 3, 4TH AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0021

NO.	REVISION	DATE



CONSULTANT

D dialectic ENGINEERING

Dialectic, Inc. T 816-997-9601
310 W 20th Street, Suite 200 F 816-997-9602
Kansas City, MO 64108 DialecticEng.com
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102 E ALLEN ST.
CASTLE ROCK, CO 80108

STORE NUMBER:
COD 29
A.2103105
PROJECT MANAGER:
GEORGE NACSA

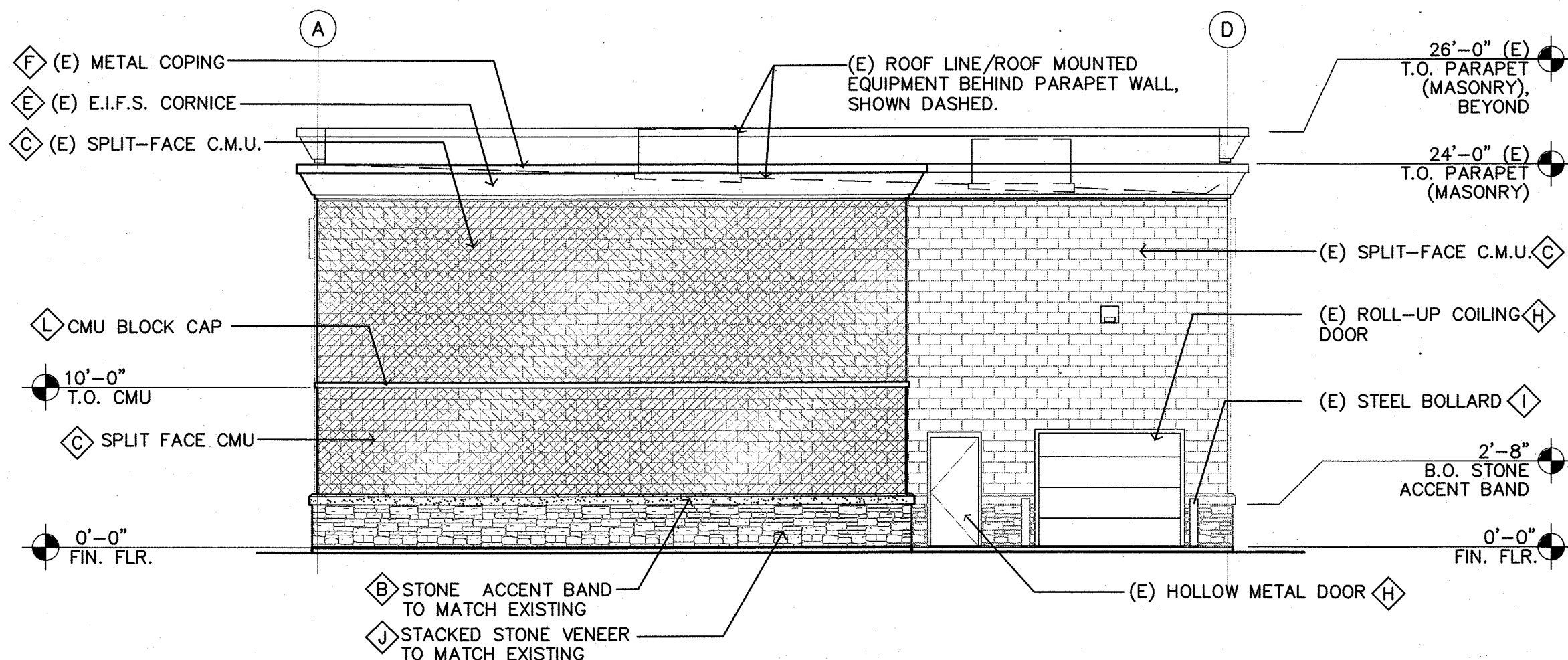
PREPARED BY:
DIALECTIC, INC.
PH: (816) 997-9601
FAX: (816) 997-9602

DRWN BY:
AAA

SHEET TITLE:
SITE PHOTOMETRIC PLAN

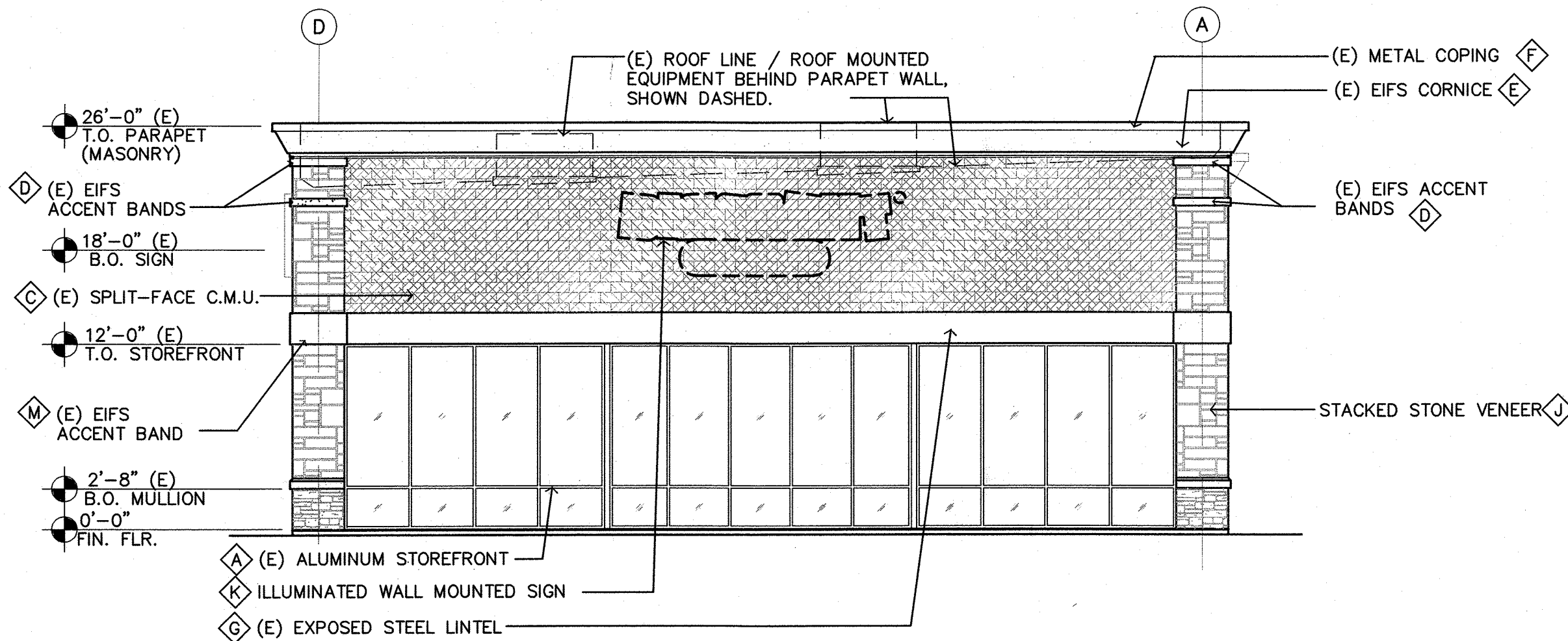
DATE:

SHEET NUMBER:
6 OF 9



EAST ELEVATION (E. Allen St.)

SCALE: 1/8" = 1'-0"

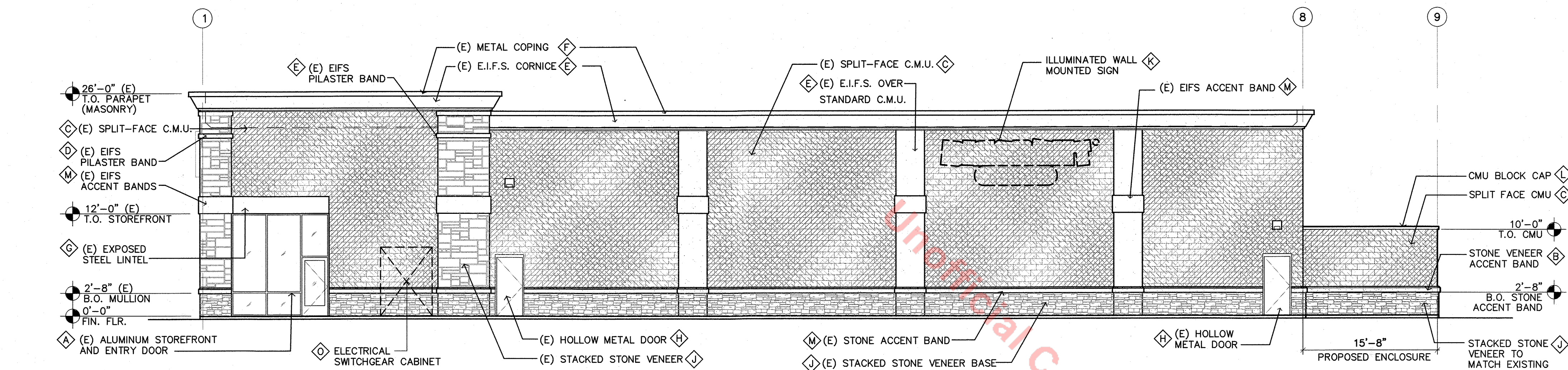


WEST ELEVATION

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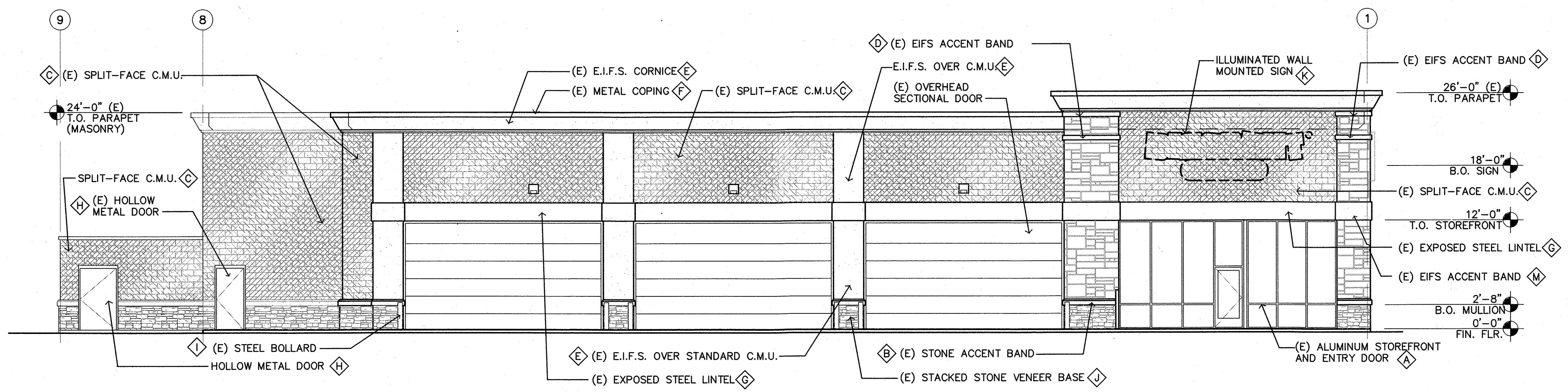
FINISH LEGEND

- Ⓐ (E) ANODIZED ALUMINUM STOREFRONT SYSTEM - PAINT TO MATCH SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓑ STONE VENEER ACCENT BAND - "CULTURED STONE" CSV-373098 COLOR "BUCKSKIN"
- Ⓒ GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
- Ⓓ EIFS ACCENT BANDS - PAINT SHERWIN WILLIAMS SW 6258 SW 7104 "COTTON WHITE"
- Ⓔ E.I.F.S. CORNICE / PILASTER - PAINT SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
- Ⓕ METAL COPING - PAINT SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
- Ⓖ EXPOSED STEEL LINTEL / ENCLOSURE GATE - PAINT SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓗ HOLLOW METAL DOORS / OVERHEAD COILING DOORS - PAINT SHERWIN WILLIAMS SW 7650 "ELLIE GRAY"
- Ⓙ STEEL BOLLARDS - PAINT SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓝ STACKED STONE VENEER BASE - "CULTURED STONE" COUNTRY LEDGESTONE (CSV-20008), COLOR: "ASPEN"
- Ⓚ 3-DIMENSIONAL INTERNALLY ILLUMINATED SIGNAGE (UNDER SEPARATE REVIEW AND PERMIT)
- Ⓛ CMU BLOCK CAP - 4" HIGH WITH COLOR TO MATCH SPLIT FACE CMU COLOR "COTTON WHITE"
- Ⓜ EIFS ACCENT BANDS - PAINT SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"



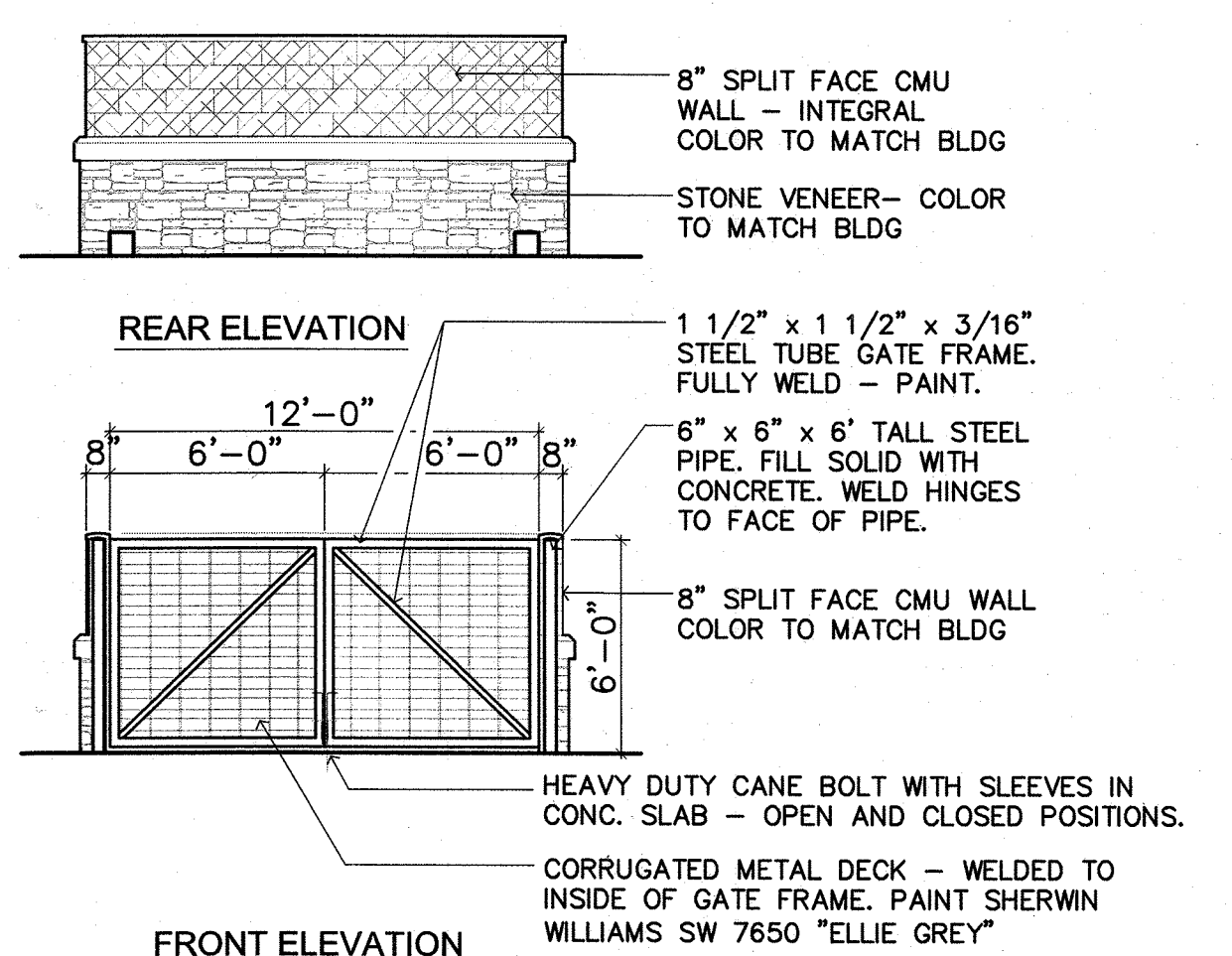
SOUTH ELEVATION (Front St.)

SCALE: 1/8" = 1'-0"

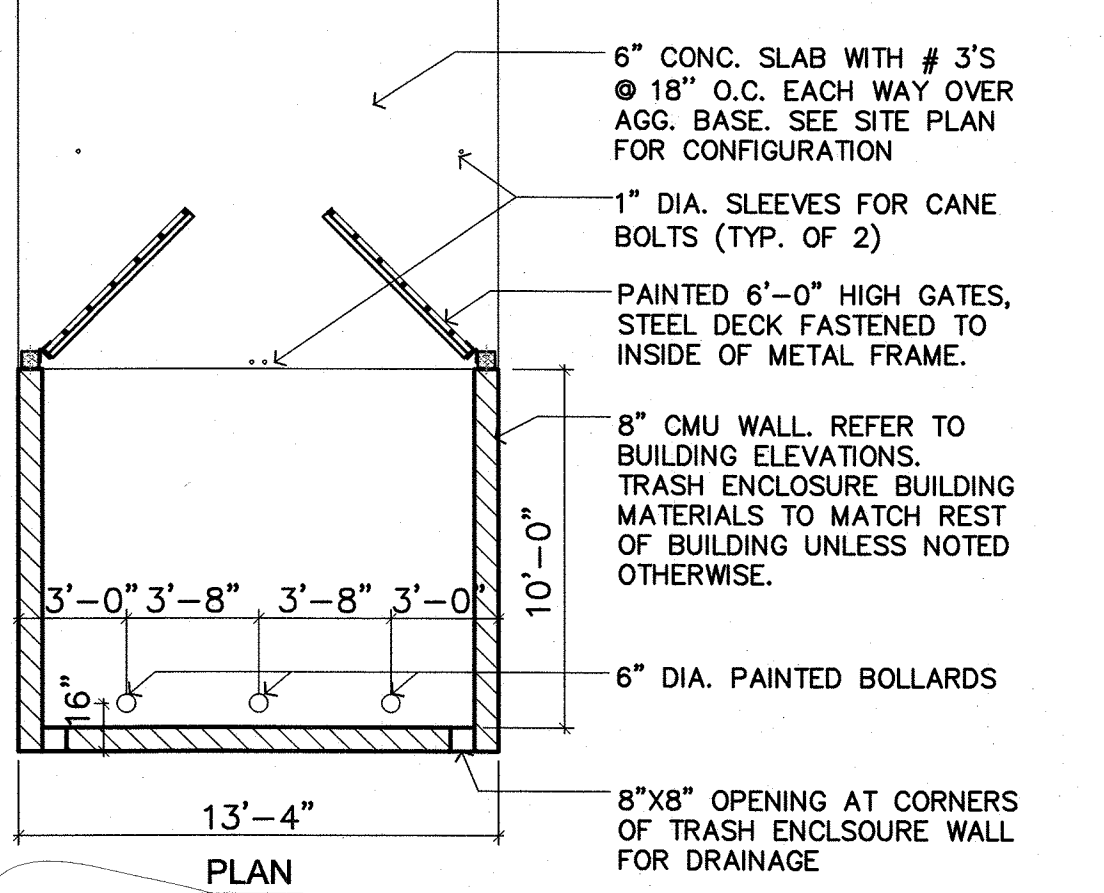


NORTH ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION



TRASH ENCLOSURE PLAN / ELEVATIONS

SCALE: 3/16" = 1'-0"

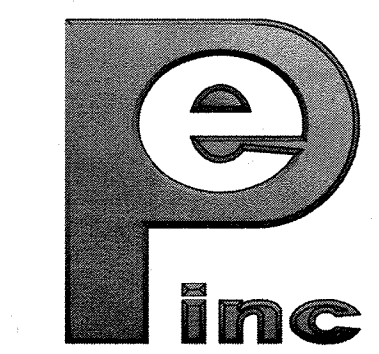
**SITE DEVELOPMENT PLAN, AMENDMENT NO. 2
LOT 1-C METZLER RANCH FILING NO.3, 4TH AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0021**



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BUILDING ELEVATIONS

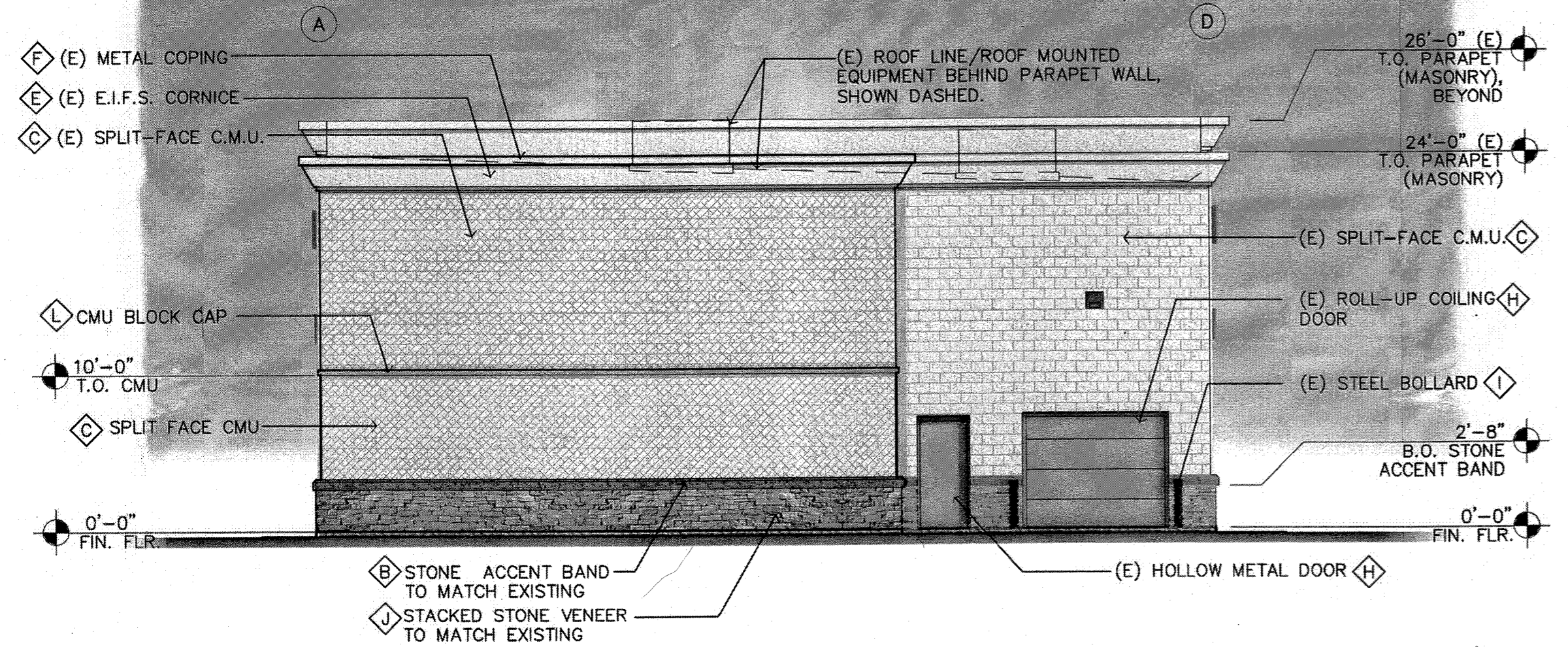
**102 E. ALLEN ST.
CASTLE ROCK, CO 80108**



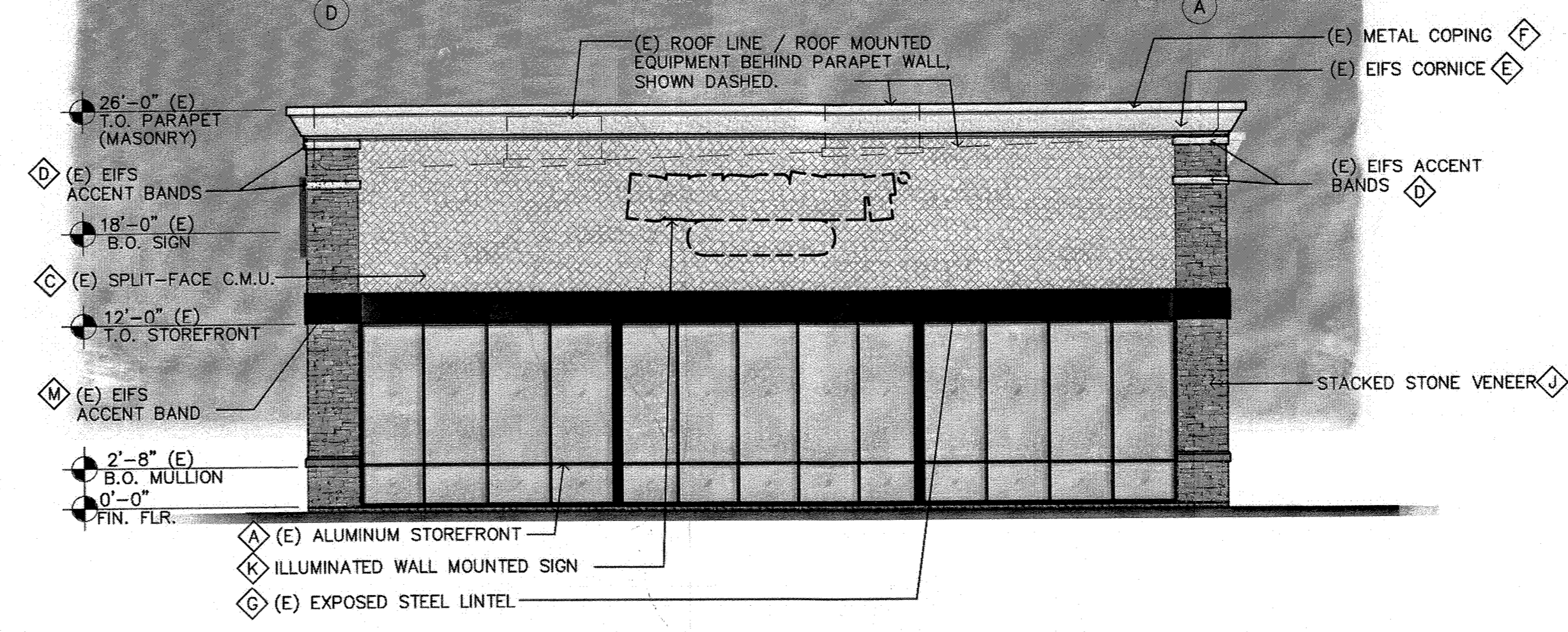
PLUMP ENGINEERING INC.
CONSULTING ENGINEERS
STRUCTURAL, MECHANICAL, PLUMBING,
ELECTRICAL, CIVIL, SURVEYING,
ARCHITECTURAL
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P (714) 385-1835 F (714) 385-1834
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Sheet No.

7 OF 9



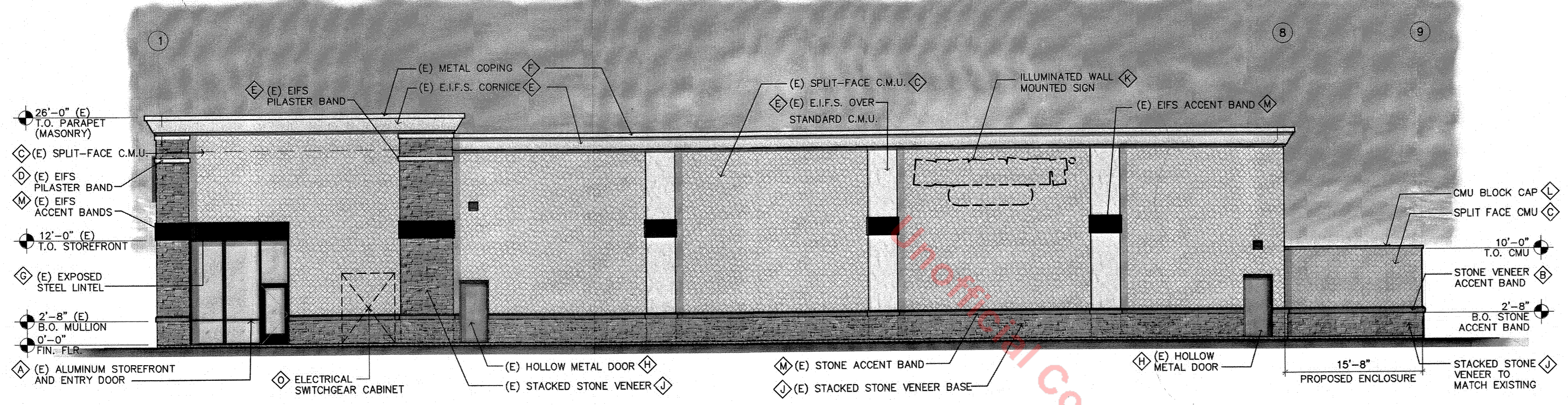
EAST ELEVATION (E. Allen St.)
SCALE: 1/8" = 1'-0"



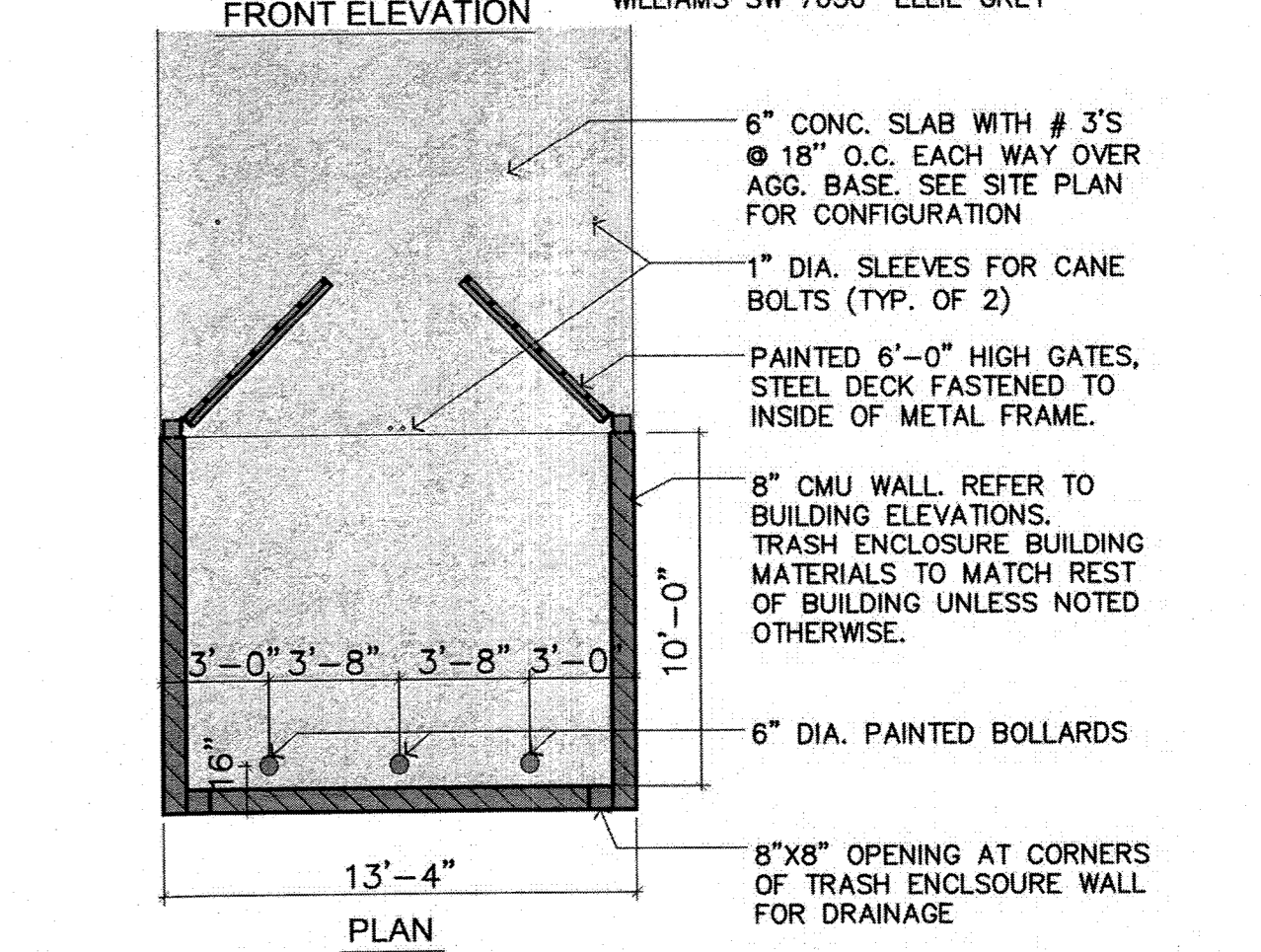
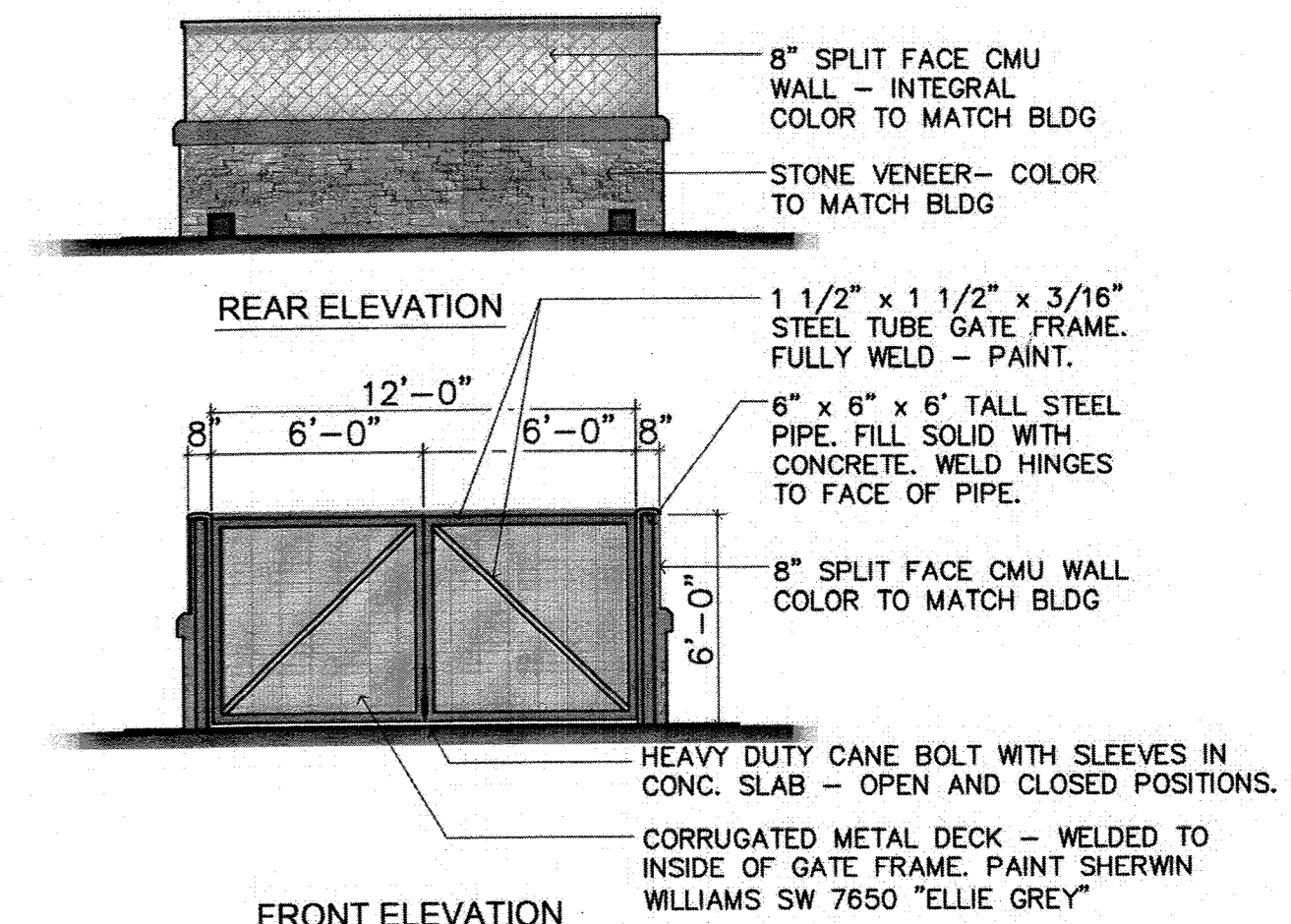
WEST ELEVATION
SCALE: 1/8" = 1'-0"

FINISH LEGEND

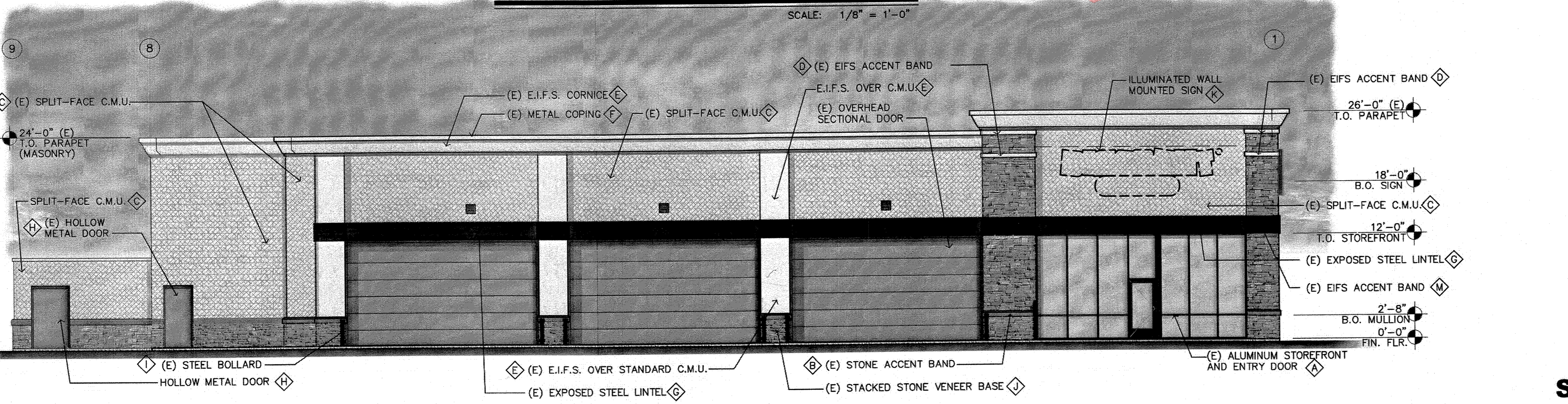
- ⓐ (E) ANODIZED ALUMINUM STOREFRONT SYSTEM - PAINT TO MATCH SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- ⓑ STONE VENEER ACCENT BAND - "CULTURED STONE" CSV-373098 COLOR "BUCKSKIN"
- ⓒ GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
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SOUTH ELEVATION (Front St.)
SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE PLAN / ELEVATIONS
SCALE: 3/16" = 1'-0"



NORTH ELEVATION
SCALE: 1/8" = 1'-0"

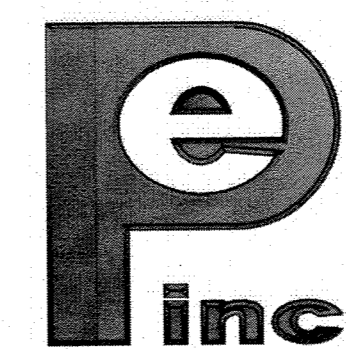
SITE DEVELOPMENT PLAN, AMENDMENT NO. 2
LOT 1-C METZLER RANCH FILING NO.3, 4TH AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0021



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BUILDING ELEVATIONS

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8 OF 9

