

# SITE DEVELOPMENT PLAN, AMENDMENT NO. 1 AMENDING THE FINAL PD SITE PLAN LOT 1-C METZLER RANCH FILING No. 3, 4th AMENDMENT LOCATED IN THE SOUTHWEST QUARTER OF SECTION 26, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROPERTY OWNER  
HALLE PROPERTIES, LLC  
20225 N. SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85255  
(480) 606-6000  
(480) 606-4370 (FAX)

APPLICANT / DEVELOPER  
HALLE PROPERTIES, LLC  
20225 N. SCOTTSDALE ROAD  
SCOTTSDALE, ARIZONA 85255  
(480) 606-6000  
(480) 606-4370 (FAX)  
CONTACT: KAYLA HENSON

LEGAL DESCRIPTION  
LOT 1-C, METZLER RANCH FILING NO. 3,  
4TH AMENDMENT  
COUNTY OF DOUGLAS  
STATE OF COLORADO

ARCHITECT  
PLUMP ENGINEERING, INC.  
914 EAST KATELLA AVE.  
ANAHEIM, CA 92805  
(714) 385-1835  
(714) 385-1834 (FAX)  
CONTACT: ERIC KAELEBL

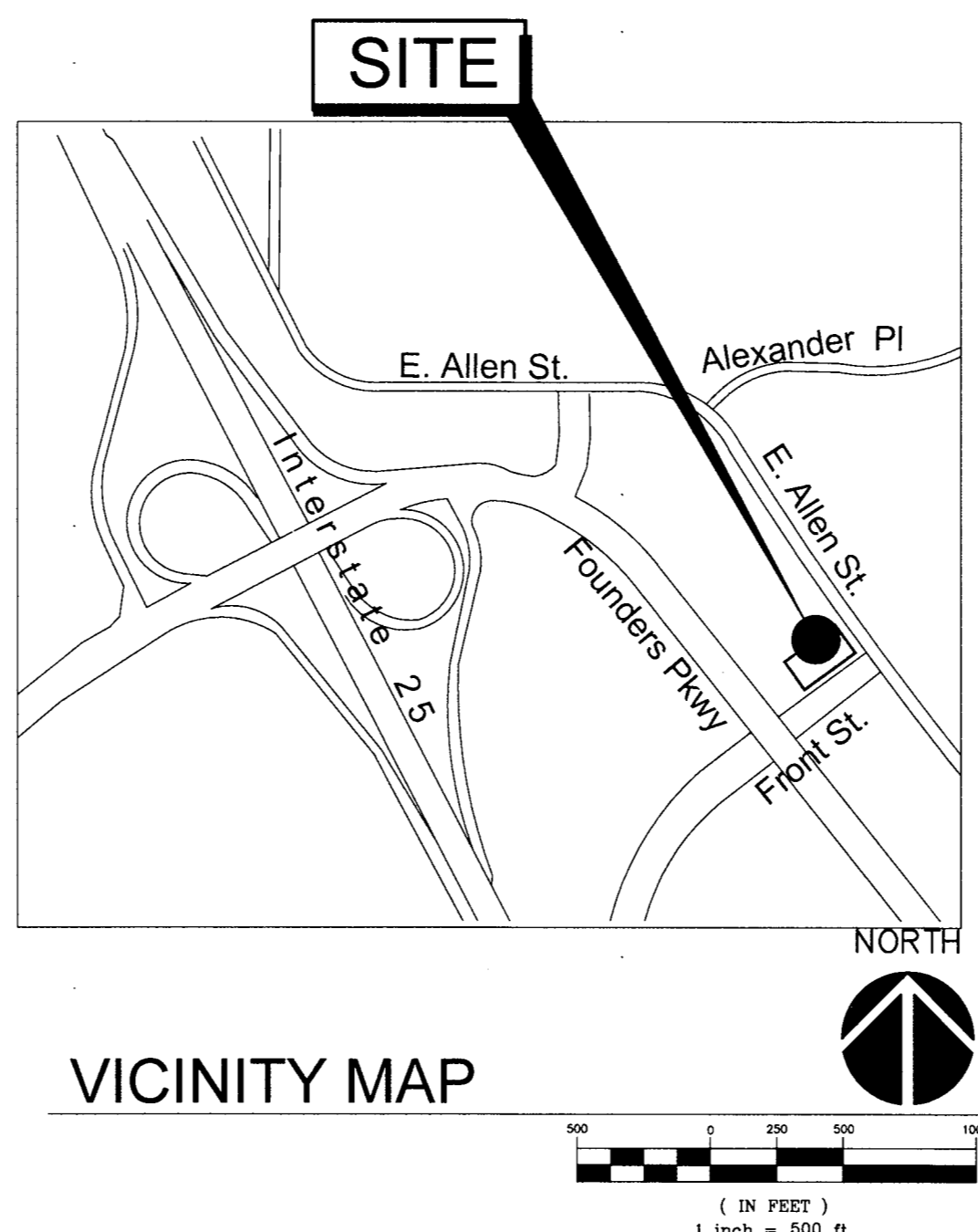
### SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
5. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
6. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
7. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES ABOVE THE FINISH ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
8. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
9. THIS SITE IS ZONED "METZLER RANCH PD, 3RD AMENDMENT" RECORDED ON 6/14/2000 PER RECEPTION #DC00040856.
10. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOTLINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
11. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
12. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

# PROPOSED BUILDING COLOR SCHEME

## FOR

# DISCOUNT<sup>®</sup> TIRE



### PROJECT DESIGN NARRATIVE

THE PROJECT SCOPE OF WORK WILL BE TO PROVIDE A NEW COLOR SCHEME TO THE EXISTING DISCOUNT TIRE BUILDING KEEPING ALL OF THE EXISTING DESIGN ELEMENTS AND MATERIALS INTACT. THIS IS PART OF DISCOUNT TIRE'S REBRANDING OF THEIR EXISTING STORES AND PROVIDE A REFRESH LOOK AND WITH A NEW DISCOUNT TIRE LOGO. THE NEW BUILDING SIGNAGE WILL BE UNDER A SEPARATE PERMIT.

THE PROPOSED PROJECT SHOULD NOT HAVE AN ADVERSE IMPACT ON THE EXISTING SITE DEVELOPMENT SUCH AS LOCATION AND DESIGN OF UTILITIES, SITE PARKING LAYOUT, SITE TRAFFIC FLOW AND ACCESSIBILITY PATH OF TRAVEL AS WELL AS THE LANDSCAPED AREAS. THE EXISTING SITE CONDITION AND THE SURROUNDING PROPERTIES WILL REMAIN AS PREVIOUSLY APPROVED AND CONSTRUCTED.

THE EXISTING DISCOUNT TIRE BUILDING WAS PREVIOUSLY APPROVED WITH THE EXISTING MATERIALS USED IN THE DESIGN IN CONFORMANCE TO THE TOWN DESIGN CRITERIA. THE PROPOSED SCOPE IS TO KEEP THE EXISTING BUILDING DESIGN AND MATERIALS BUT WILL IMPLEMENT NEW COLOR SCHEME TO ADHERE TO THE CURRENT DISCOUNT TIRE'S DESIGN REFRESH LOOK. THE MAIN BUILDING MATERIAL WHICH IS THE SPILT FACE CMU WILL RECEIVE AN OFF-WHITE COLOR AND THE WAINSCOT BASE MATERIAL OF STONE VENEER WILL REMAIN AS IS AND SHOULD BE COMPLEMENTARY TO THE ADJACENT BUILDING'S DESIGN. THE GRAY PAINT COLOR FOR THE SECTIONAL DOORS AND HOLLOW METAL DOORS SHOULD PROVIDE AN ACCENT COLOR TO THE OFF-WHITE CMU COLOR AND THE BLACK COLOR FOR THE STEEL LINTELS WILL SERVE AS A CONTRASTING COLOR TO THE OVERALL COLOR SCHEME OF THE BUILDING.

WE BELIEVE THAT THE OVERALL COLOR SCHEME OF THE BUILDING WILL NOT HAVE A MAJOR IMPACT TO THE SURROUNDING PROPERTIES WITH REGARDS TO THE DESIGN AND ARCHITECTURE.

SHEET INDEX	
SHEET NO.	DESCRIPTION
1 OF 3	COVER SHEET
2 OF 3	EXTERIOR ELEVATIONS
3 OF 3	COLORS ELEVATIONS

### OWNERSHIP CERTIFICATION:

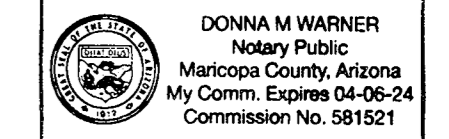
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

*Nela*  
HALLE PROPERTIES, LLC, AN ARIZONA LIMITED LIABILITY COMPANY  
SIGNED THIS 11<sup>th</sup> DAY OF August, 2023.

### NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11<sup>th</sup> DAY OF August, 2023  
BY Matthew Johnson  
WITNESS MY HAND AND OFFICIAL SEAL.

*Donna M Warner*  
NOTARY PUBLIC



MY COMMISSION EXPIRES 4-6-2024

### TITLE CERTIFICATION:

I, Eric Gonzales, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Commercial, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

*Eric Gonzales*  
AUTHORIZED REPRESENTATIVE

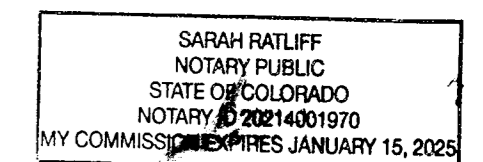
Fidelity National Commercial, ncs  
TITLE COMPANY

SIGNED THIS 6<sup>th</sup> DAY OF September, 2023.

### NOTARY BLOCK:

SUBSCRIBED AND SWORN TO BEFORE ME THIS 6<sup>th</sup> DAY OF September, 2023  
BY Eric Gonzales AS AUTHORIZED REPRESENTATIVE OF Fidelity National Commercial, ncs.  
WITNESS MY HAND AND OFFICIAL SEAL.

*Sarah Ratliff*  
NOTARY PUBLIC



MY COMMISSION EXPIRES January 15, 2025

### STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 19<sup>th</sup> DAY OF September, 2023.

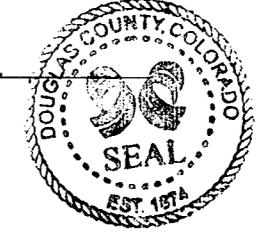
*Michelle Weimer*  
DIRECTOR OF DEVELOPMENT SERVICES

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 10:33 am ON THE 19<sup>th</sup> DAY OF September, 2023 AT RECEPTION NO. 2023040330

DOUGLAS COUNTY CLERK AND RECORDER

BY: Mitchell Weimer  
DEPUTY



**REV:#1-07.12.2023**  
**DATE: 05.12.2023**  
**JOB # A.2103105**

# ALT - 1R

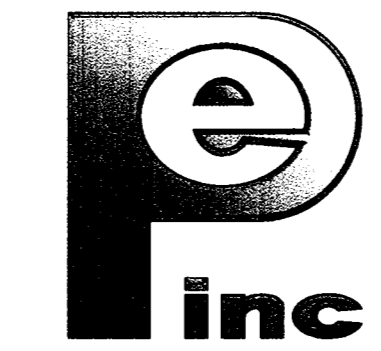
## Town of Castle Rock Project No. SDP23-0016



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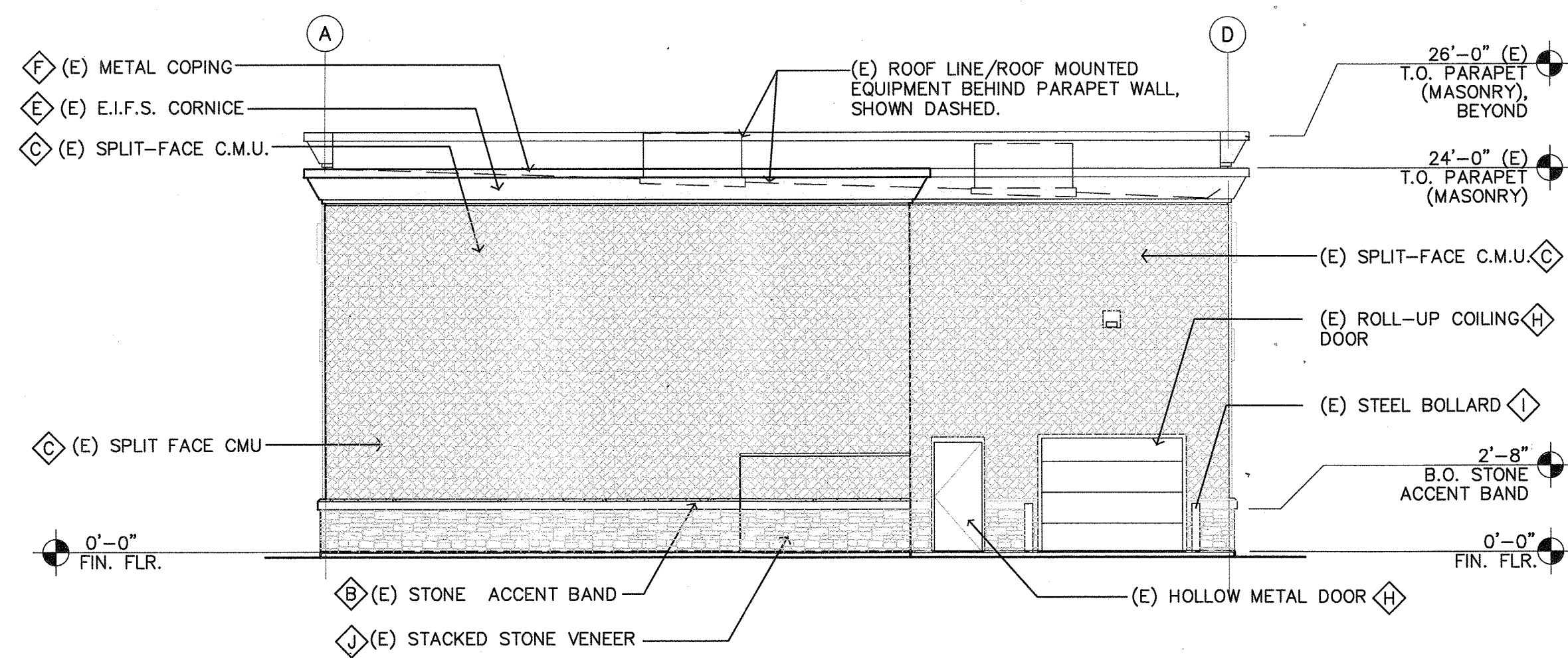
# COVER SHEET

102 E. ALLEN ST.  
CASTLE ROCK, CO 80108



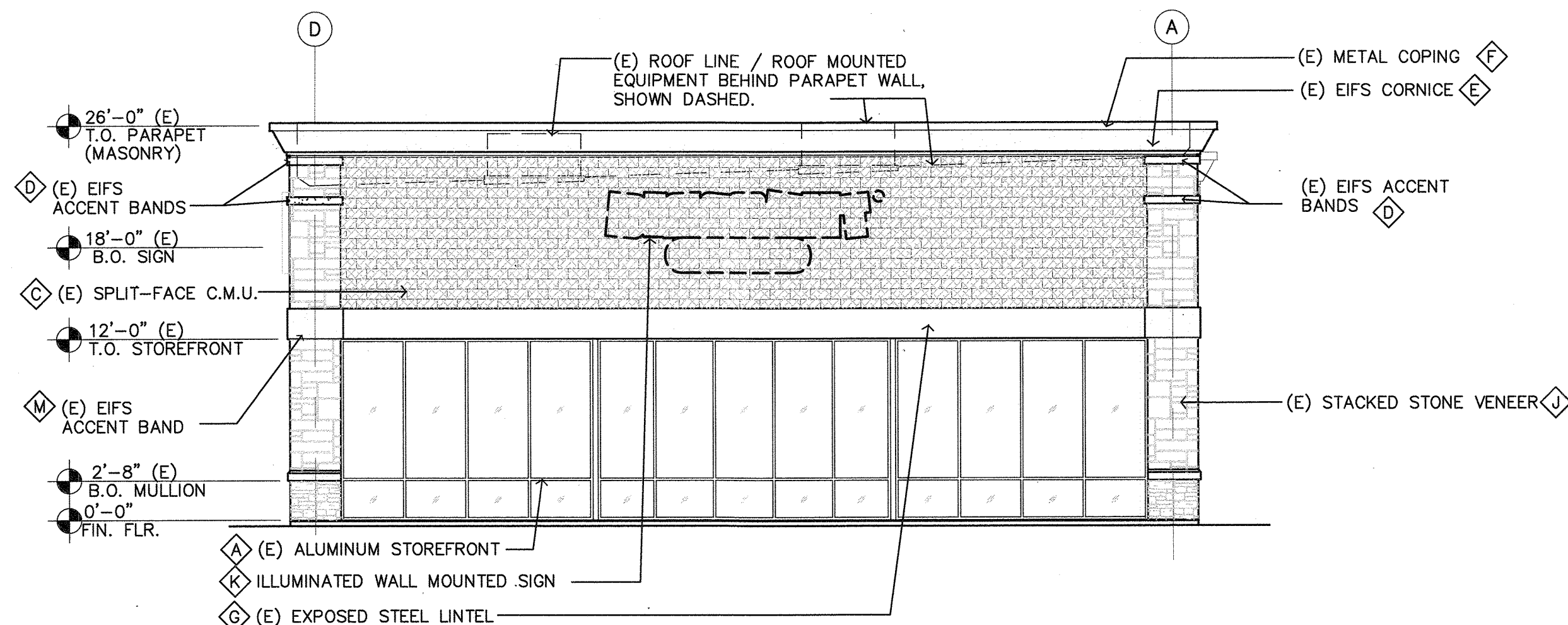
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**Sheet No.**  
**A.1**  
**1 OF 3**



**EAST ELEVATION (E. Allen St.)**

SCALE: 1/8" = 1'-0"

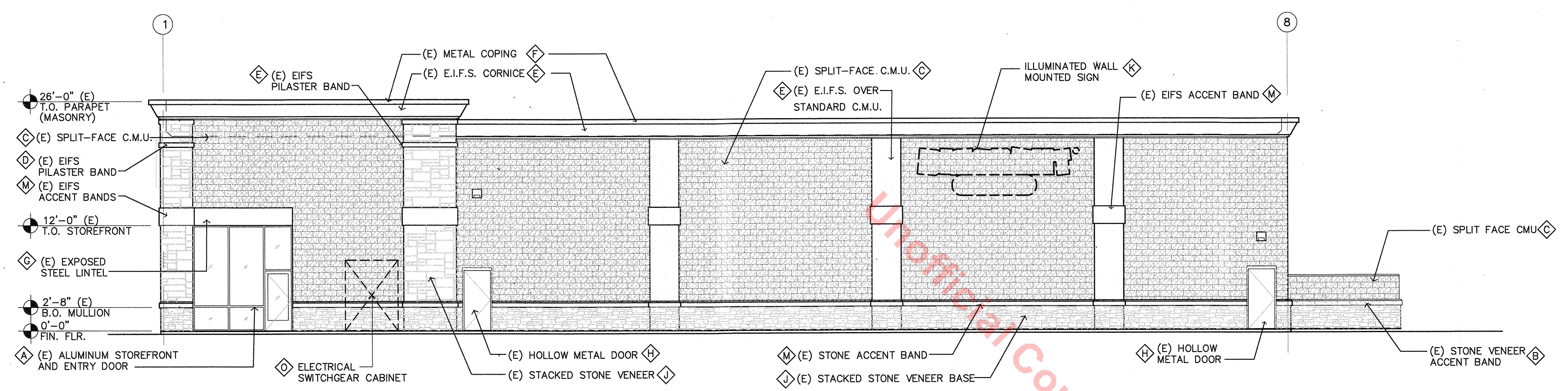


**WEST ELEVATION**

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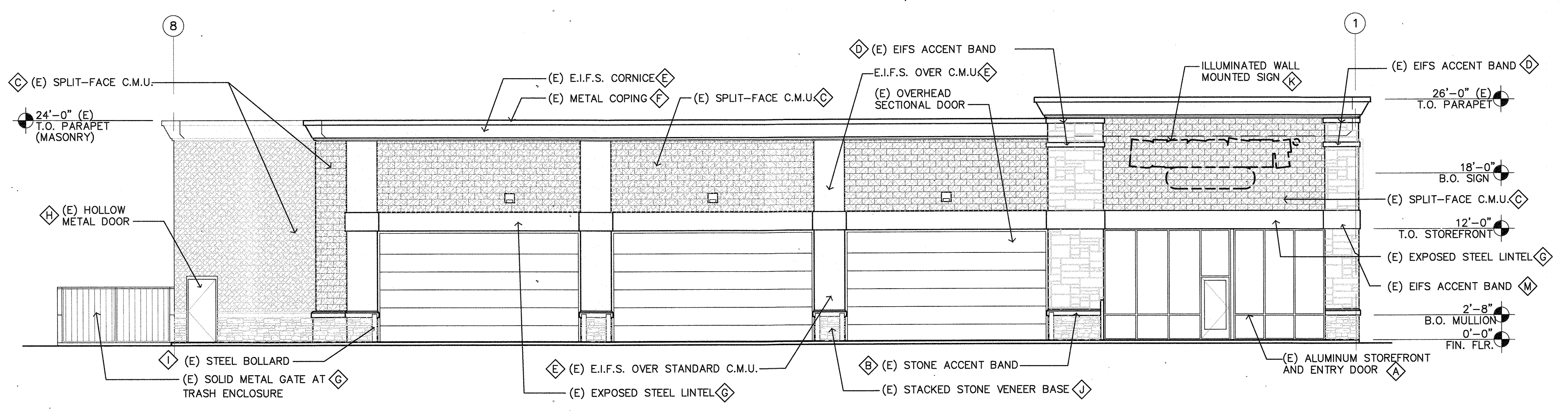
**FINISH LEGEND**

- Ⓐ (E) ANODIZED ALUMINUM STOREFRONT SYSTEM - PAINT TO MATCH SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓑ STONE VENEER ACCENT BAND - "CULTURED STONE" CSV-373098 COLOR "BUCKSKIN"
- Ⓒ GRAY SPLIT-FACE CMU - PAINTED SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
- Ⓓ EIFS ACCENT BANDS - PAINT SHERWIN WILLIAMS SW 6258 SW 7104 "COTTON WHITE"
- Ⓔ E.I.F.S. CORNICE / PILASTER - PAINT SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
- Ⓕ METAL COPING - PAINT SHERWIN WILLIAMS SW 7104 "COTTON WHITE"
- Ⓖ EXPOSED STEEL LINTEL / ENCLOSURE GATE - PAINT SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓗ HOLLOW METAL DOORS / OVERHEAD COILING DOORS - PAINT SHERWIN WILLIAMS SW 7650 "ELLIE GRAY"
- Ⓘ STEEL BOLLARDS - PAINT SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓝ STACKED STONE VENEER BASE - "CULTURED STONE" COUNTRY LEDGESTONE (CSV-2000B), COLOR: "ASPEN"
- Ⓚ 3-DIMENSIONAL INTERNALLY ILLUMINATED SIGNAGE (UNDER SEPARATE REVIEW AND PERMIT)
- Ⓛ CMU BLOCK CAP - 4" HIGH WITH COLOR TO MATCH SPLIT FACE CMU "COLONIAL REVIVAL STONE"
- Ⓜ EIFS ACCENT BANDS - PAINT SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"



**SOUTH ELEVATION (Front St.)**

SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

REV:#1-07.12.2023

DATE: 05.12.2023

JOB # A.2103105

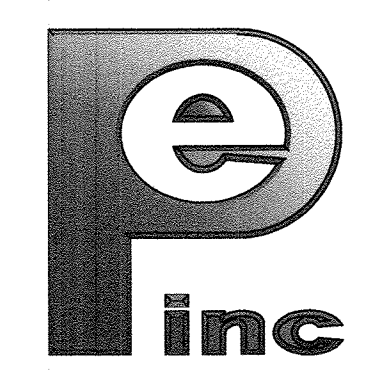
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**Town of Castle Rock Project No. SDP23-0016**



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**CONCEPTUAL ELEVATIONS**

**102 E. ALLEN ST.  
 CASTLE ROCK, CO 80108**

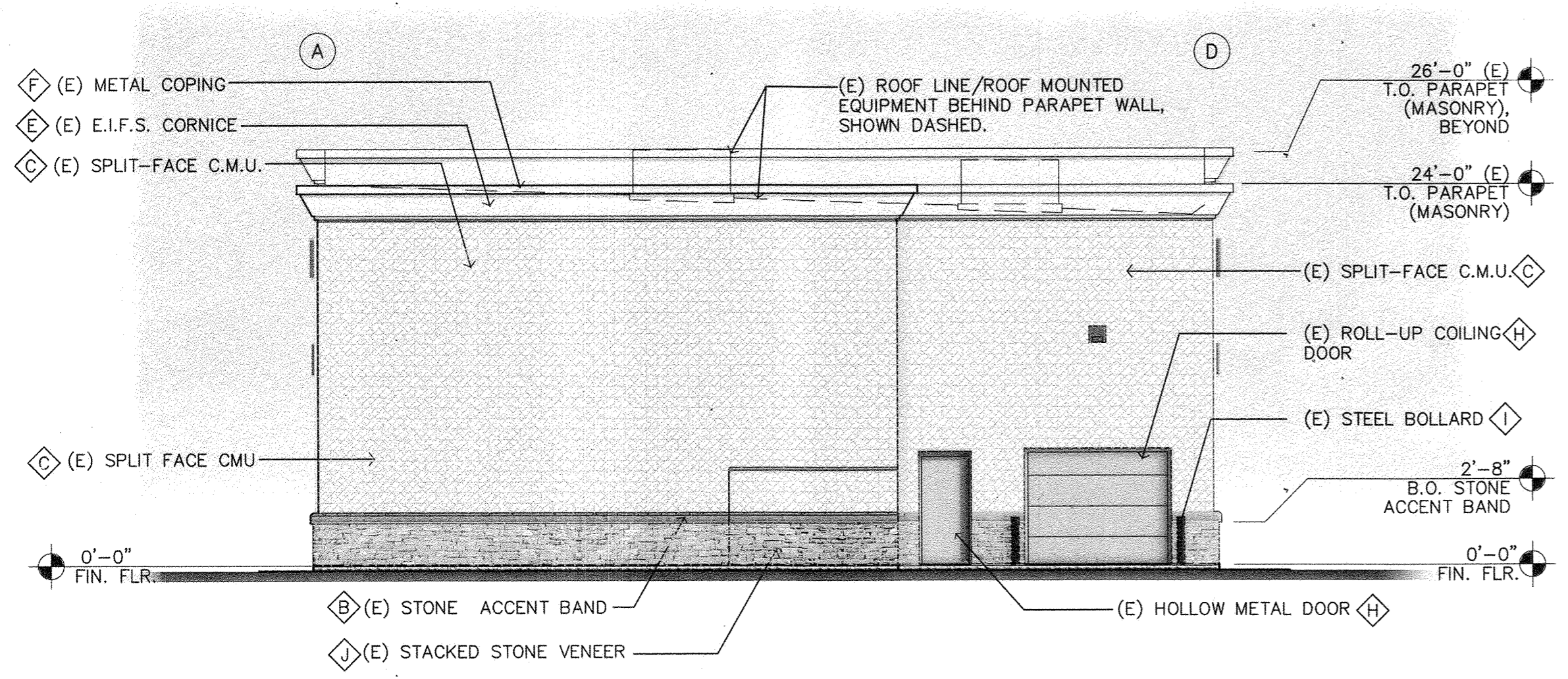


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Sheet No.

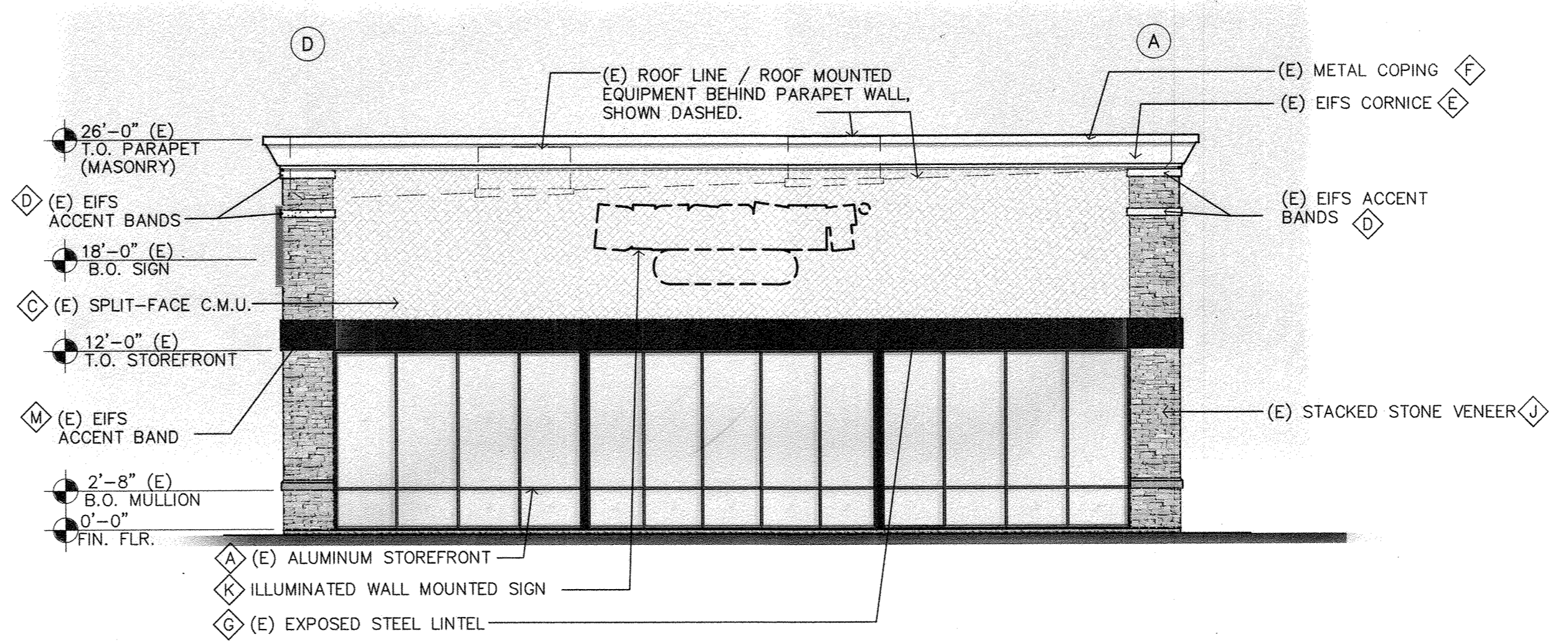
**A.2**

2 OF 3



**EAST ELEVATION (E. Allen St.)**

SCALE: 1/8" = 1'-0"

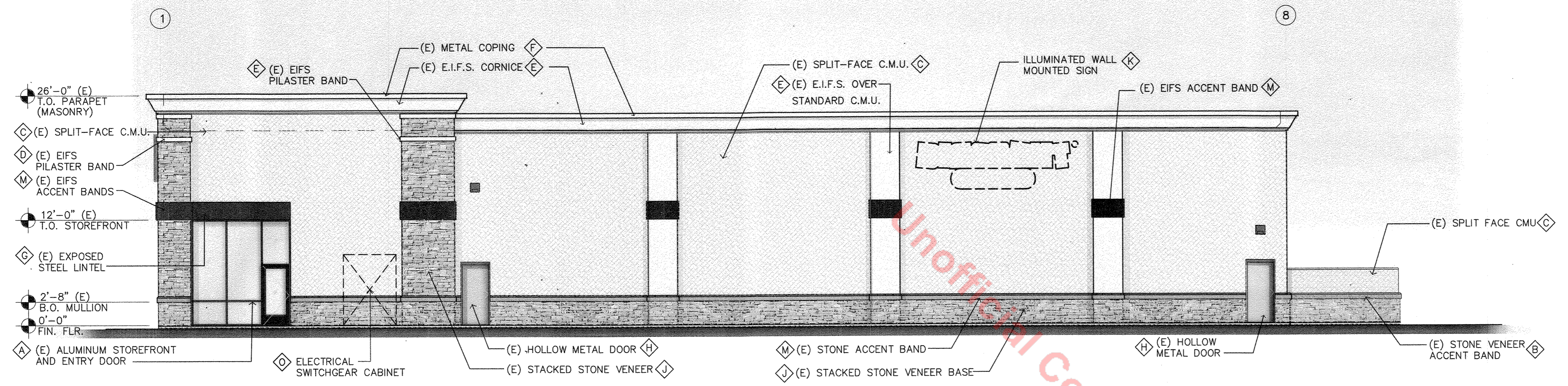


**WEST ELEVATION**

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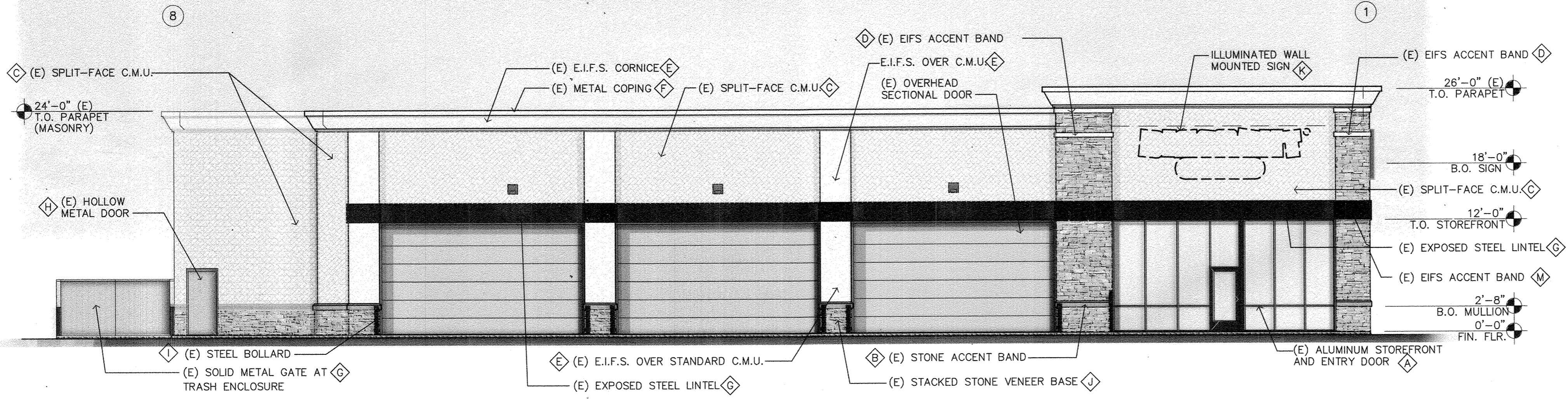
**FINISH LEGEND**

- Ⓐ ANODIZED ALUMINUM STOREFRONT SYSTEM - PAINT TO MATCH SHERWIN WILLIAMS SW 6258 "TRICORN BLACK"
- Ⓑ STONE VENEER ACCENT BAND - "CULTURED STONE" CSV-373098 COLOR "BUCKSKIN"
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**NORTH ELEVATION**

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ALT - 1R

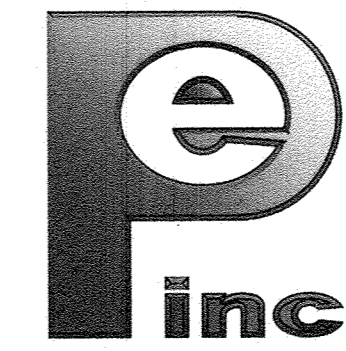
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**COLORED ELEVATIONS**

102 E. ALLEN ST.  
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Sheet No.

A.3

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