

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,

TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

TITLE SHEET

PURPOSE STATEMENT

AMENDMENT TO FINAL PD SITE PLAN FPD 10-0003 (RECEP. NO. 2011003864) TO REVISE MINOR BUILDING ELEVATION DESIGN CHANGES.

PROPERTY DESCRIPTION

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT, ACCORDING TO THE RECORDED PLAT (RECEP. NO. 2009022714) THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

SURVEYOR'S STATEMENT

I, JOHNNY CALVIN HICKS, A LICENSED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

CIVIL ENGINEER'S STATEMENT

I, TAYLOR C. GOERTZ, BEING A LICENSED ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Signature of Johnny Calvin Hicks, Registered Land Surveyor, Colorado Registration No. 36570, dated 10/24/23.

Signature of Taylor C. Goertz, Registered Professional Engineer, Colorado Registration No. 40237, dated 10/10/2023.

NOTES:

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTION 4.7 AND 9.3.2 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS PROPERTY IS LOCATED WITHIN ZONE X (UNSHADED-MINIMAL FLOOD HAZARD) AS PER FEMA FIRM PANEL NUMBER 08035C01880 DATED MARCH 3, 2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS. AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE FIVE-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE, AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE, AND REPLACEMENT OF SUCH LINES.
9. THIS SITE IS ZONED PD PER THE METZLER RANCH PRELIMINARY PD SITE, FIFTH AMENDMENT, RECORDED JANUARY 11, 2011 AT RECEPTION NUMBER 2011003862.
10. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
11. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4- FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
12. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
13. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
14. 24-HOUR BUSINESS OPERATIONS SHALL BE PERMITTED FOR EMERGENCY MEDICAL AND DENTAL CLINICS AND FITNESS FACILITIES. ANY OTHER PROPOSED 24-HOUR BUSINESS OPERATION SHALL BE APPROVED BY THE CASTLE ROCK TOWN COUNCIL AS A USE BY SPECIAL REVIEW.
15. FOR ANY 24-HOUR BUSINESS OPERATION SCREENING OF THE WINDOWS IN THE FORM OF WINDOW TINT OR BLINDS SHALL BE USED.
16. FOR ANY 24-HOUR USE, INTERIOR LIGHTING SHALL BE REDUCED TO A MAXIMUM OF 50% OF NORMAL LIGHTING OR TO MINIMAL BUILDING CODE REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE, BETWEEN THE HOURS OF 10:00 PM AND 6:00 AM.
17. PERMANENT BUILDING FASCIA SIGNS SHALL BE CHANNEL OR REVERSE CHANNEL AND CONSTRUCTED OF INDIVIDUAL METAL LETTERS AND LOGOS AND SHALL BE WHITE IN COLOR. INTERNAL ILLUMINATION OF SIGNS SHALL BE ALLOWED EXCEPT BETWEEN THE HOURS OF 9:00 PM TO 5:00 AM.
18. REGULAR BUSINESS HOURS OF OPERATION SHALL BE FROM 6:00 AM TO 10:00 PM.
19. INTERNAL LIGHT MOTION DETECTORS ARE REQUIRED TO BE USED IN THE SUITES OF ANY BUSINESSES OPERATION ON A 24-HOUR BASIS.
20. ILLUMINATION OF EXTERIOR BUILDING MOUNTED LIGHTS FACING ADJACENT TO RESIDENTIAL ZONED PROPERTY SHALL BE PERMITTED EXCEPT BETWEEN THE HOURS OF 9:00 PM AND 5:00 AM. BUILDING MOUNTED LIGHTS REQUIRED FOR SAFETY AND SECURITY SHALL BE EXEMPTED FROM THIS RESTRICTION.

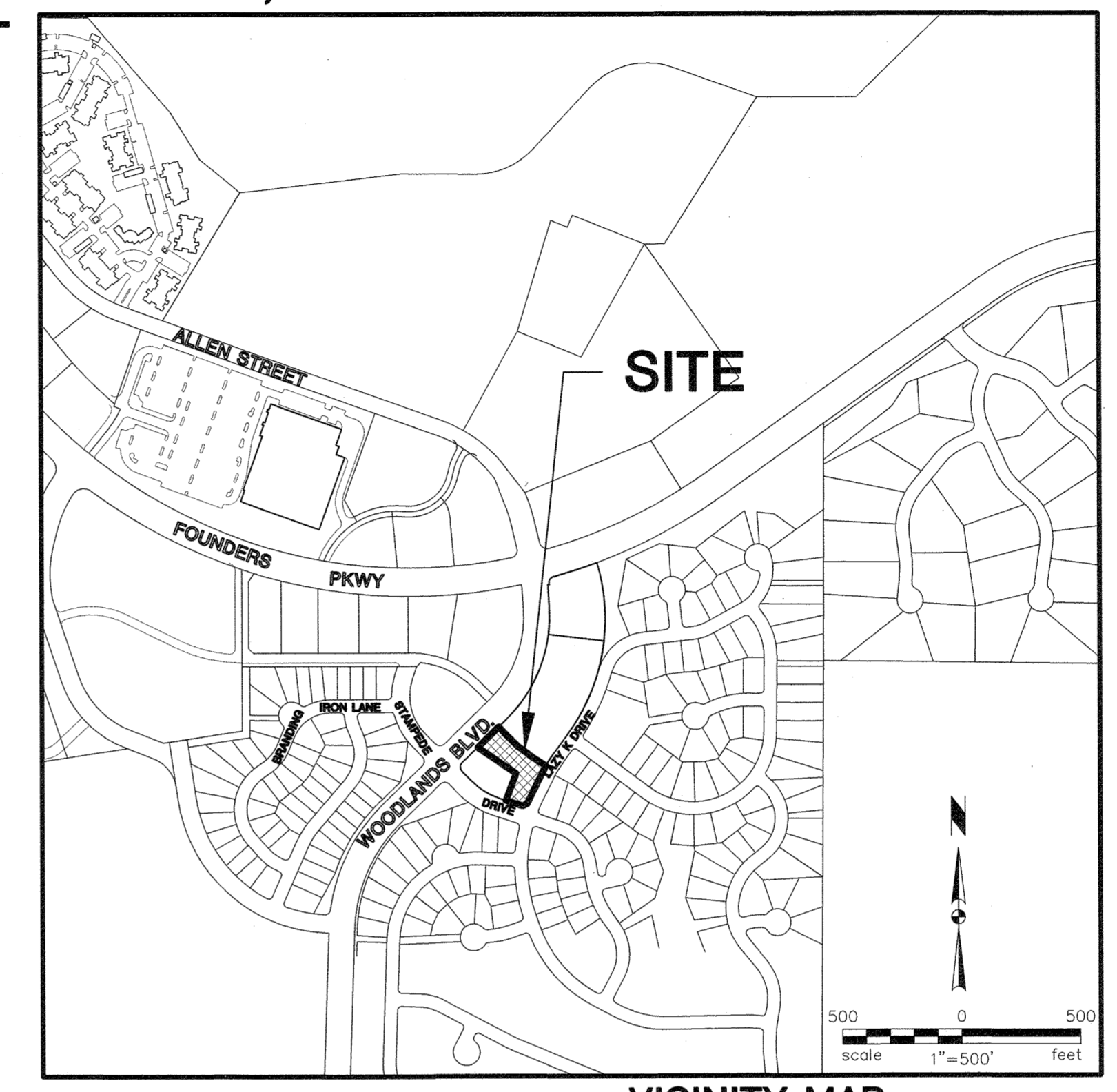
FIRE NOTES:

- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

OWNER/DEVELOPER
ANTLER INVESTMENTS II LLC
5225 SUMMERVILLE CIRCLE
CASTLE ROCK, CO 80109
TELEPHONE:

CIVIL ENGINEER/SURVEYOR/
IMEG CORP
7600 E ORCHARD RD, SUITE 250-S
GREENWOOD VILLAGE, CO 80111
TELEPHONE: (303) 796-6000

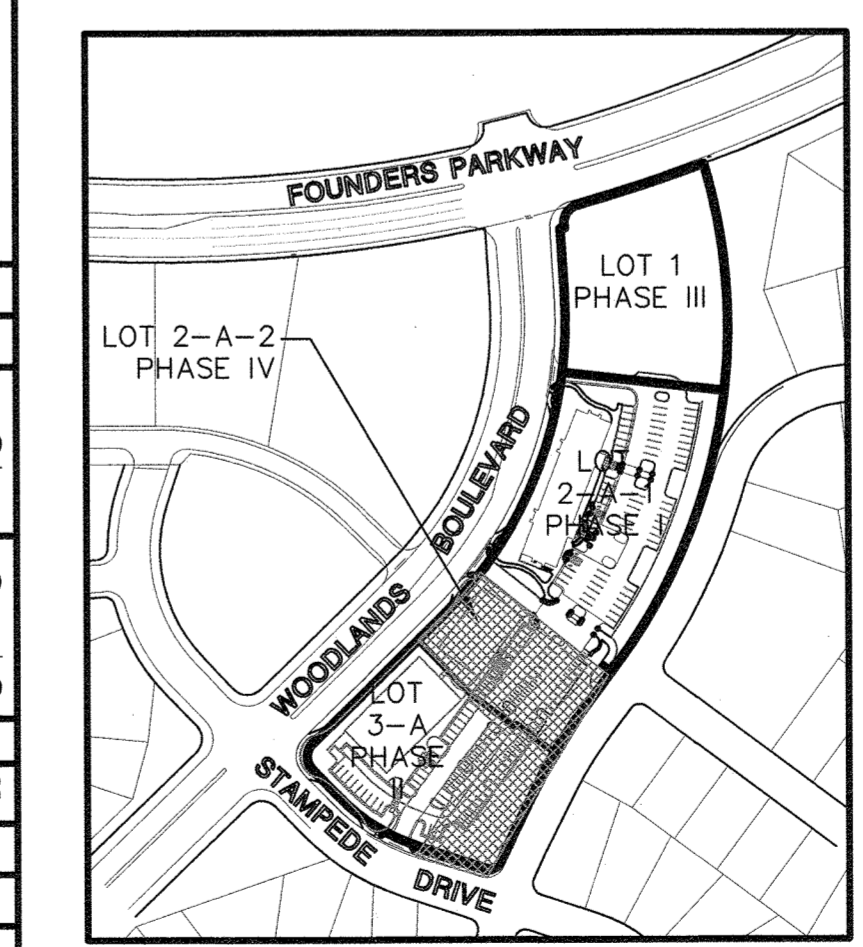
ARCHITECT
INTERGROUP ARCHITECTS
2000 WEST LITTLETON BLVD
LITTLETON, CO 80120
TELEPHONE: (303) 738-8877



VICINITY MAP
SCALE 1"=500'

Table with 3 columns: ITEM, SQ. FOOTAGE, and %. Rows include: TOTAL LOT 2-A-2 (47,280 S.F., 100%), BUILDING FOOTPRINT (7,168, 15.2%), PARKING/ROADS (22,658, 47.9%), HARDSCAPE TOTAL (29,826, 63.1%), PLANTED AREA (15,129, 32.0%), EXISTING VEGETATION (2,325, 4.9%), LANDSCAPE TOTAL (17,454, 36.9%).

Table with 2 columns: REQUIRED PARKING and PROVIDED PARKING. Rows include: MIN. 5 SPACES PER 1,000 SF GLA x 11,200 SF MOB-NET (56 SPACES), PROVIDED PARKING (52 FULL SIZE (9'x18') + 3 HANDICAP), TOTAL (55 TOTAL).



PHASING MAP

Table with 3 columns: ITEM, SQ. FOOTAGE, and %. Rows include: BUILDING SIZE (TWO STORY: 14,336 SQ.FT. USABLE; PERMITTED BUILDING HEIGHT: 50'; PROPOSED BUILDING HEIGHT: 39.50'), SITE SETBACKS (PARKING SETBACK-REQUIRED: 15'; PARKING SETBACK-PROPOSED: 15'; BUILDING SETBACK (WEST)-REQUIRED: 15'; BUILDING SETBACK (WEST)-PROP: 17.9'; BUILDING SETBACK (NORTH)-REQUIRED: 15'; BUILDING SETBACK (NORTH)-PROPOSED: 18.0'; BUILDING SETBACK (EAST)-REQUIRED: 15'; BUILDING SETBACK (EAST)-PROPOSED: 119.3'; BUILDING SETBACK (SOUTH)-REQUIRED: 5'; BUILDING SETBACK (SOUTH)-PROPOSED: 7.6').

WATER RIGHTS DEDICATION AGREEMENT
THE PROVISION OF MUNICIPAL WATER TO THE SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE METZLER RANCH DEVELOPMENT AGREEMENT, RECORDED ON THE 24TH DAY OF DECEMBER, 1996 AT RECEPTION NO. 9672147.
THE SFE FOR THIS DEVELOPMENT WAS DEDUCTED WITH THE FINAL PD SITE PLAN FOR AMENDED FINAL PD SITE PLAN FOR LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT (2ND AMENDMENT TO FINAL PD SITE PLAN), RECORDED ON 1ST DAY OF JANUARY, 2011 AT RECEPTION NO. 2011003864.

TITLE CERTIFICATION
I, Eric Gonzales, AN AUTHORIZED REPRESENTATIVE OF Fidelity National Title NCS, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Signature of Eric Gonzales, AUTHORIZED REPRESENTATIVE, Fidelity National Title, NCS. SIGNED THIS 26th DAY OF October, 2023.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF October, 2023 BY Eric Gonzales AS AUTHORIZED REPRESENTATIVE OF Fidelity National Title, NCS

WITNESS MY HAND AND OFFICIAL SEAL. Signature of Chandrara Nay, NOTARY PUBLIC, MY COMMISSION EXPIRES AUGUST 25, 2024.

NOTARY PUBLIC
MY COMMISSION EXPIRES: August 25, 2024

OWNER CERTIFICATION
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

Signature of John Witt, Manager/Adm. Rep., ANTLER INVESTMENTS II, LLC, A COLORADO LIMITED LIABILITY COMPANY. SIGNED THIS 26th DAY OF October, 2023.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF October, 2023 BY John Witt AS AUTHORIZED REPRESENTATIVE OF Antler Investments II, LLC

WITNESS MY HAND AND OFFICIAL SEAL. Signature of Chandrara Nay, NOTARY PUBLIC, MY COMMISSION EXPIRES AUGUST 25, 2024.

NOTARY PUBLIC
MY COMMISSION EXPIRES: August 25, 2024

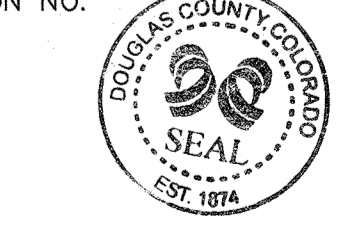
- SHEET INDEX
1. TITLE SHEET
2. SITE PLAN
3. UTILITY PLAN
4. GRADING PLAN
5. LANDSCAPE PLAN
6. LANDSCAPE NOTES, SCHEDULE, & DETAILS
7. LANDSCAPE DETAILS
8. BUILDING ELEVATIONS
9. GENERAL LIGHTING PLAN
10. GENERAL LIGHTING DETAILS

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 30th DAY OF October, 2023.

Signature of Director of Development Services, DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 12:57 pm ON THE 30th DAY OF October, 2023 AT RECEPTION NO. 2023046276

Signature of Douglas County Clerk and Recorder, DOUGLAS COUNTY CLERK AND RECORDER



SITE DEVELOPMENT PLAN AMENDMENT NO. 1
LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
SDP22-0027
TITLE SHEET
SHEET 1 OF 10

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

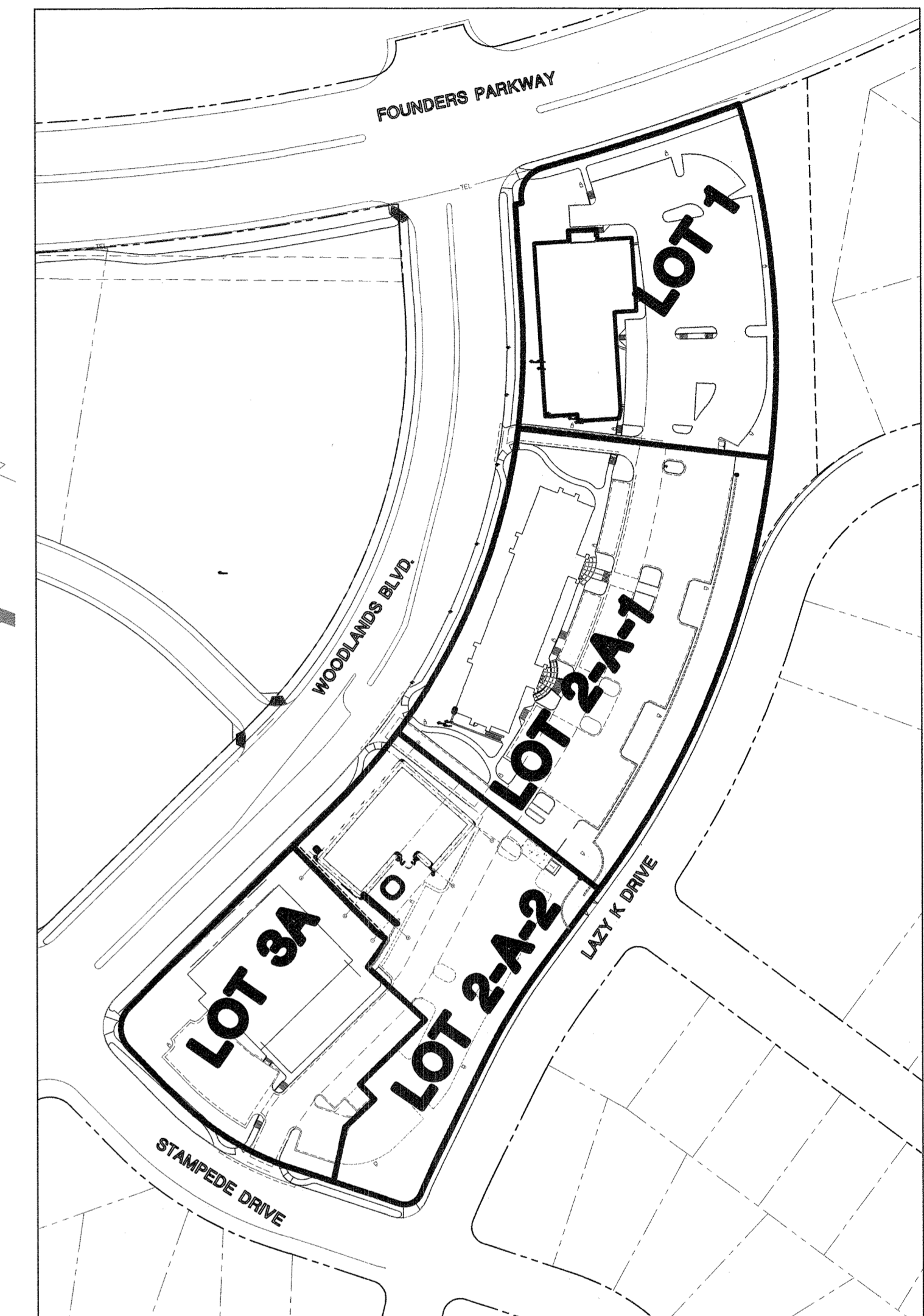
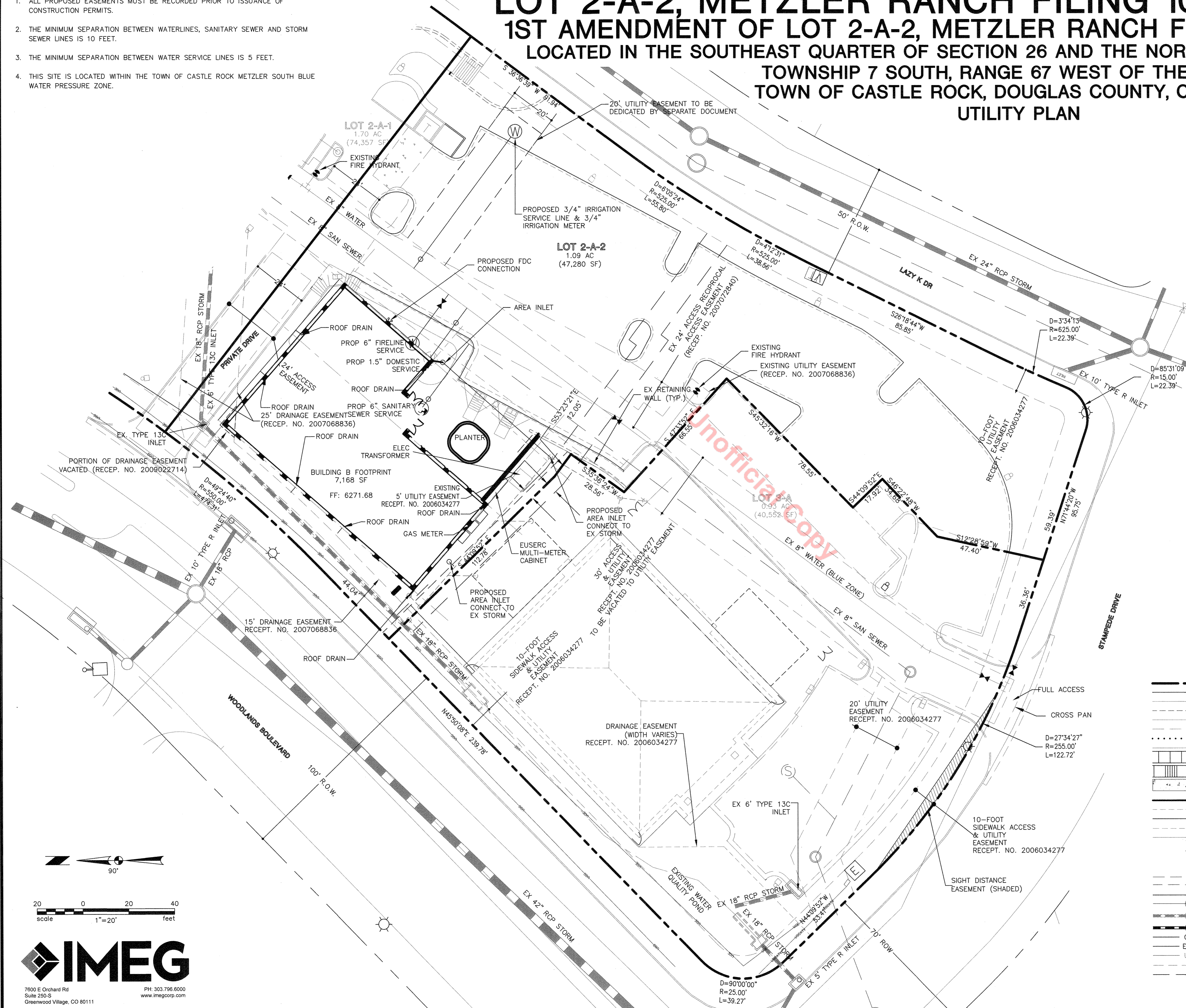
1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

UTILITY PLAN

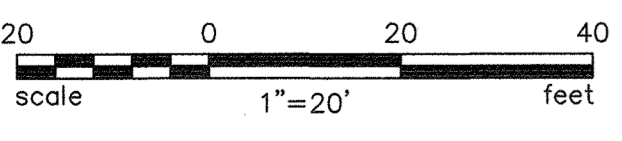
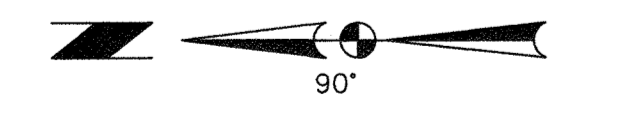
UTILITY NOTES:

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK METZLER SOUTH BLUE WATER PRESSURE ZONE.



LEGEND

- LOT LINE/ PROPERTY LINE
- PROPOSED FLOW LINE
- PROPOSED EDGE OF ASPHALT
- PROPOSED TOP BACK OF CURB
- EXISTING FLOW LINE
- EXISTING EOA
- PROPOSED FLOWLINE - ZERO EDGE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED CONCRETE DRIVEWAY
- PROPOSED WATER LINE
- EXISTING WATER LINE
- PROPOSED WATER SERVICE
- EXISTING WATER SERVICE
- CURB STOP
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- WATER VALVE
- EXISTING SANITARY SEWER & MH
- EXISTING SANITARY SERVICE
- PROPOSED SANITARY SERVICE
- PROPOSED SANITARY LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- PROPOSED GAS SERVICE
- PROPOSED ELECTRIC SERVICE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE



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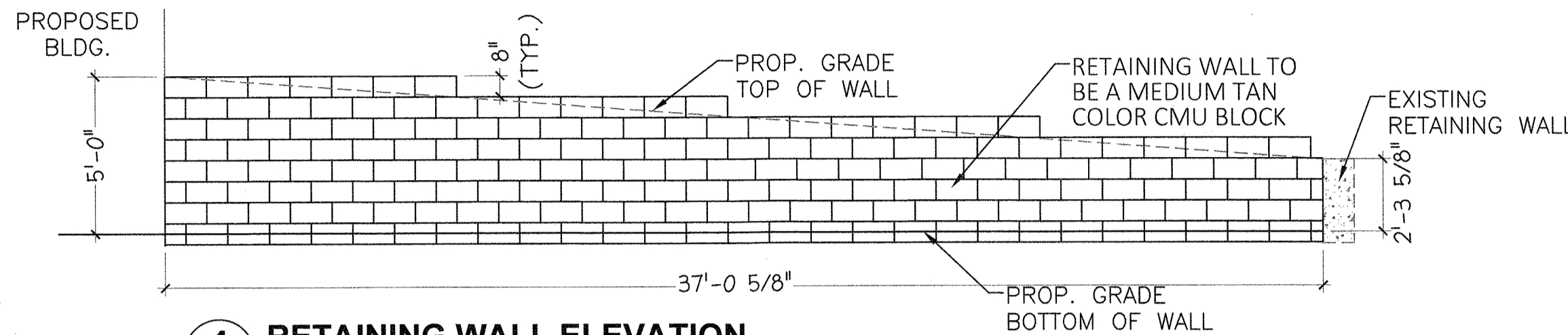
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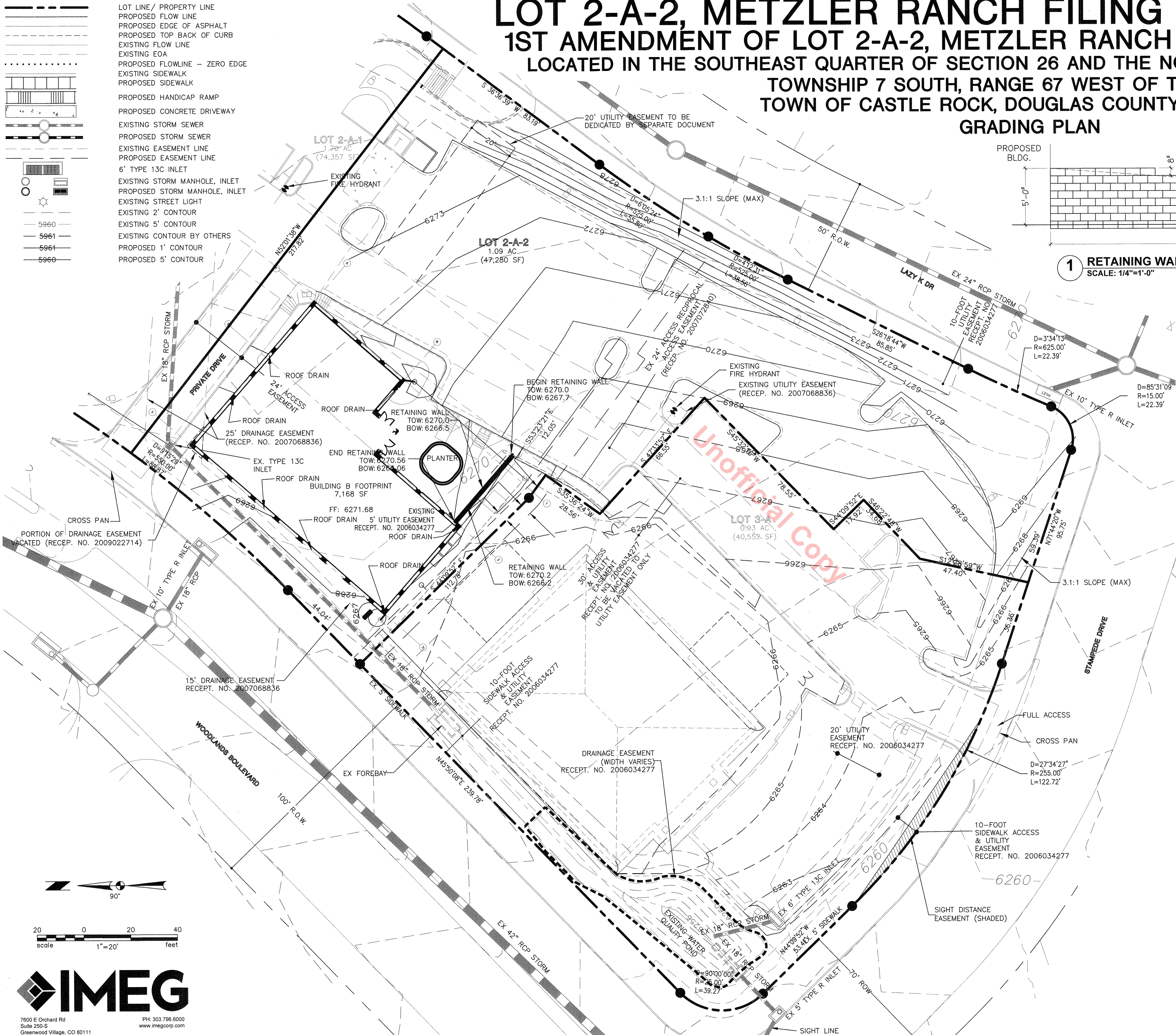
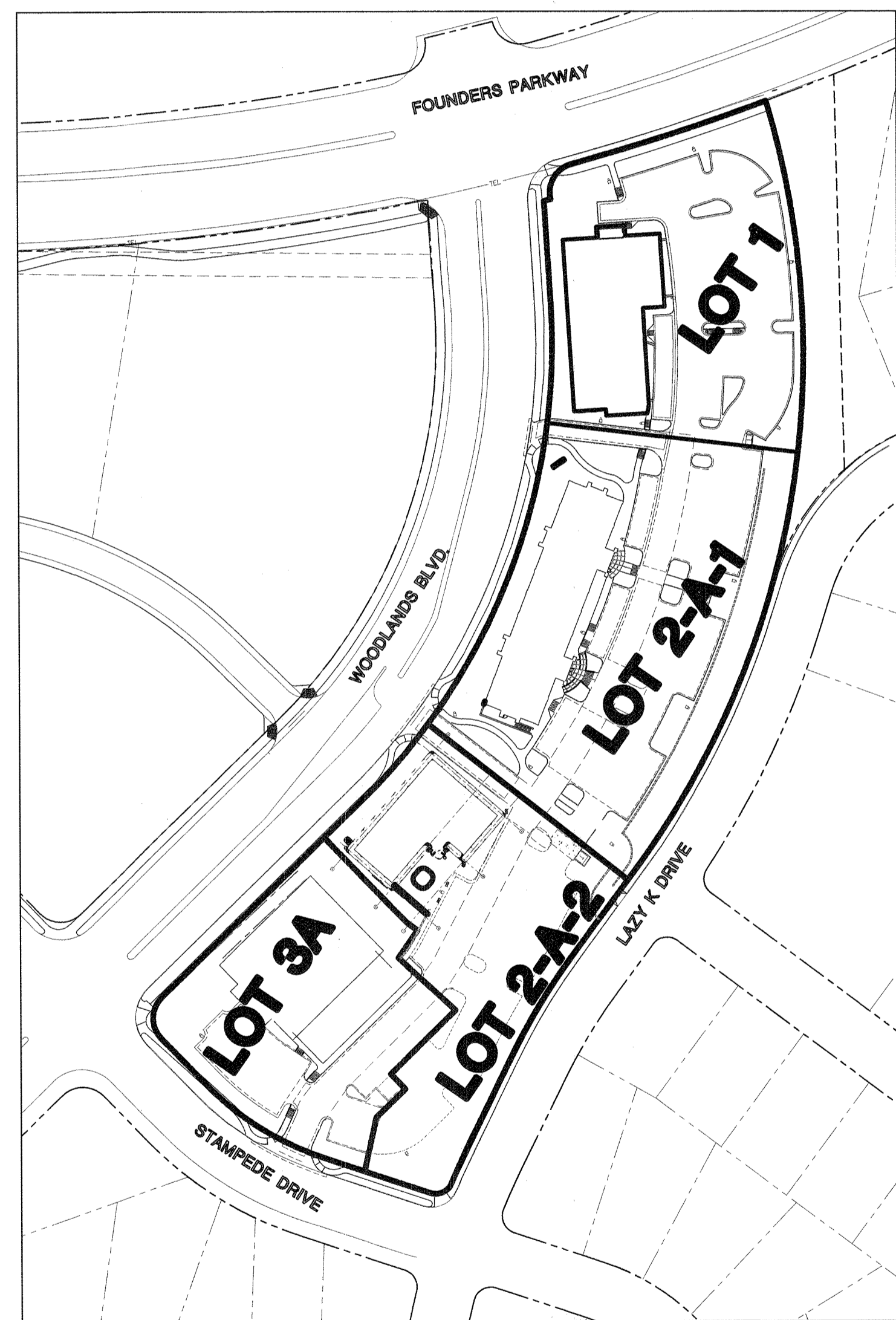
GRADING PLAN

LEGEND

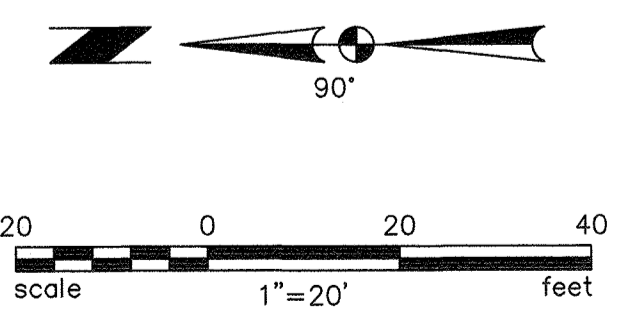
- LOT LINE/ PROPERTY LINE
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- PROPOSED FLOWLINE - ZERO EDGE
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- PROPOSED HANDICAP RAMP
- PROPOSED CONCRETE DRIVEWAY
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- 6" TYPE 13C INLET
- EXISTING STORM MANHOLE, INLET
- PROPOSED STORM MANHOLE, INLET
- EXISTING STREET LIGHT
- EXISTING 2' CONTOUR
- EXISTING 5' CONTOUR
- EXISTING CONTOUR BY OTHERS
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR



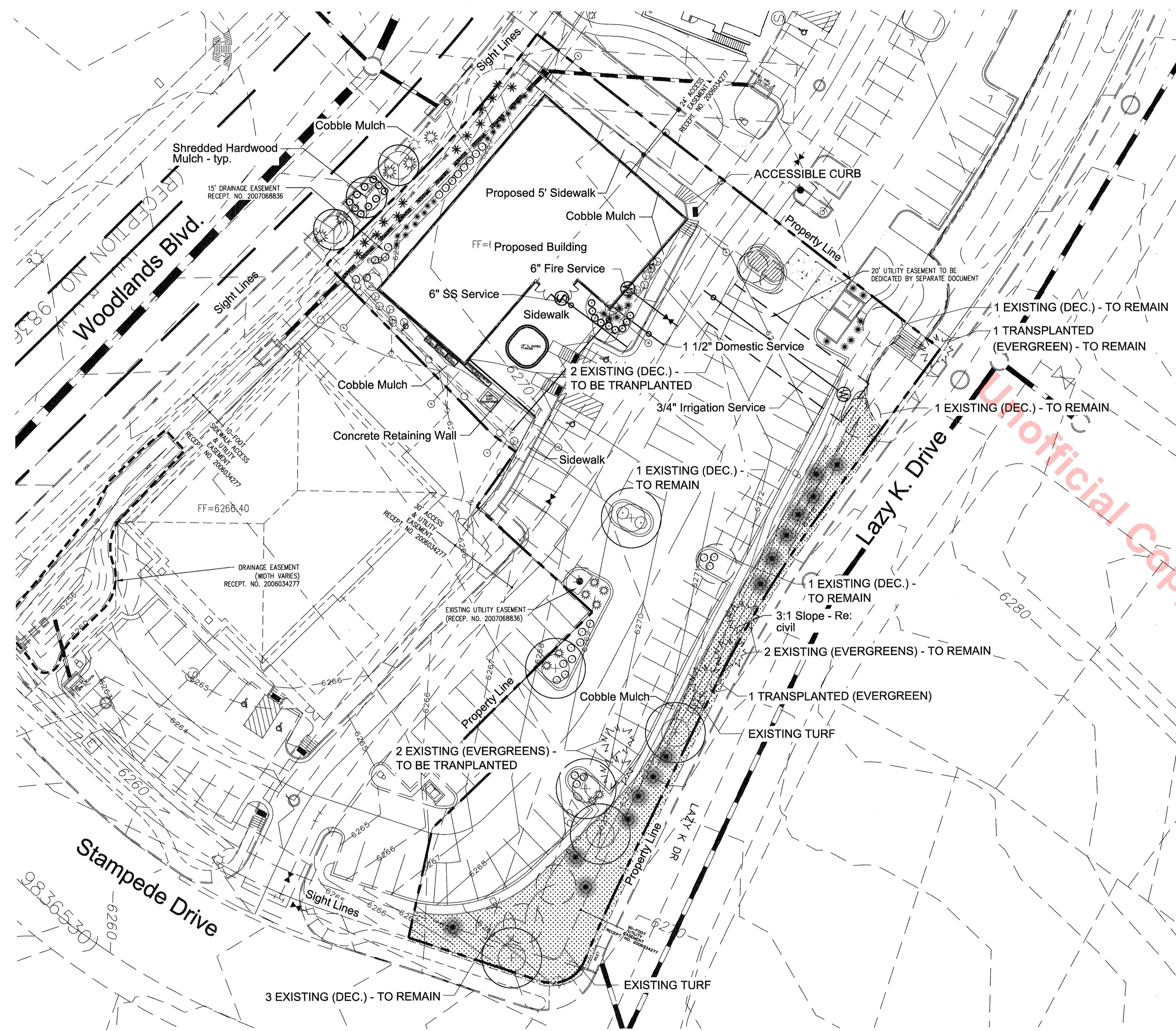
1 RETAINING WALL ELEVATION
SCALE: 1/4"=1'-0"



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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 LANDSCAPE PLAN



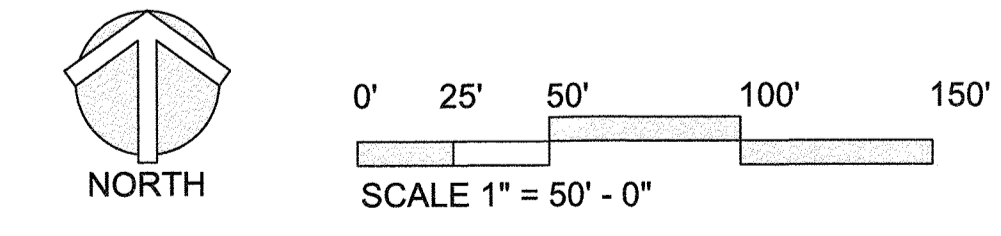
LANDSCAPE LEGEND:

- EXISTING TURF (CANADIAN BLUE FESCUE) - 6,691 sf.
- DAYLILY - PLANT AT 18" O.C. W/ SHREDDED HARDWOOD MULCH - 191 sf.
- BROWN/TAN COBBLESTONE (4"-12") OVER WEED BARRIER FABRIC INSTALL AT 6" DEPTH - PROVIDING FULL COVERAGE - 8,247 sf.
- STEEL EDGING WITH PROTECTIVE CAP - 380 lf.
- SHREDDED HARDWOOD MULCH - INSTALL AT 4" DEPTH - 200 sf.
- EXISTING DECIDUOUS TREE
- EXISTING EVERGREEN TREE
- LARGE CANOPY DECIDUOUS PARKING LOT TREE
- LARGE CANOPY DECIDUOUS TREE
- ORNAMENTAL TREE
- EVERGREEN TREES
- SHRUB
- ORNAMENTAL GRASS



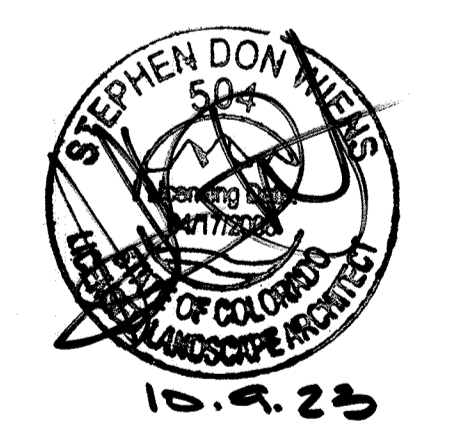
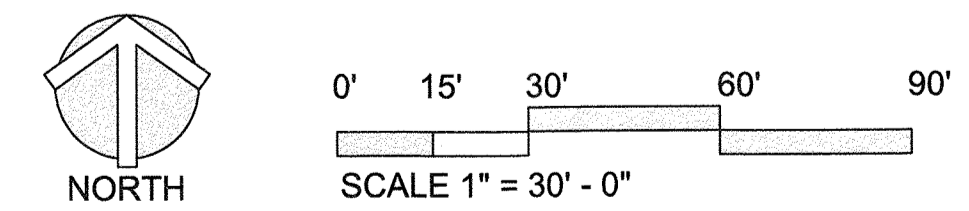
- CANADIAN BLUE FESCUE AND TREES 6,691 SF.
- TREES / SHRUB BED / PERENNIAL - 8,438 SF.
- EXISTING IMPROVEMENT SHOWN FOR REFERENCE ONLY - 2,325 SF.

HYDROZONE PLAN



LANDSCAPE PLAN

Sight Line Note:
 Vegetation within the sight lines cannot exceed 24 inches mature in height



SITE DEVELOPMENT PLAN AMENDMENT NO. 1
 LOT 2-A-2, METZLER RANCH FILING 10,
 2ND AMENDMENT
 SDP22-0027
 LANDSCAPE PLAN
 SHEET 5 OF 10

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
 1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
LANDSCAPE NOTES

TOWN OF CASTLE ROCK STANDARD LANDSCAPE NOTES

1. Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this drawing and shall conform to subsequent submittal requirements.
2. Location of plant materials are approximated and may change slightly due to unforeseen field constraints.
3. All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
4. Distance of trees to wet utility lines should be a minimum of 10 feet.
5. Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
6. Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
7. Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
8. Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type on the property.
9. If any transformers, ground-mounted HVAC units, utility pedestals, or similar features existing on site, but not shown on the Site Development Plan, additional landscaping and screening may be required based upon field conditions determined during the site inspection. Installation will be required prior to the final inspection and the issuance of the certificate of occupancy, as applicable.
10. No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including, but not limited to building, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms shall be placed in sight distance triangles or easements as shown on the plan.
11. No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
12. An irrigation plan is required with the first submittal of the Construction Documents. Please see Sections 3.1.2B and 4.2.3 of the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for irrigation submittal and design requirements. Changes to the landscape plan may be necessary due to Construction Documents Irrigation Plan review comments.
13. Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
14. Dead plant materials shall be removed and replaced with healthy planting materials of comparable size and species that meet the original intent of the approved landscape design within forty-five(45) days or sooner in the event of a contagious disease or invasive insect species. Town of Castle Rock is not responsible for plant replacements.
15. Slopes steeper than 3:1 are not permitted on landscape plans in the Town of Castle Rock.



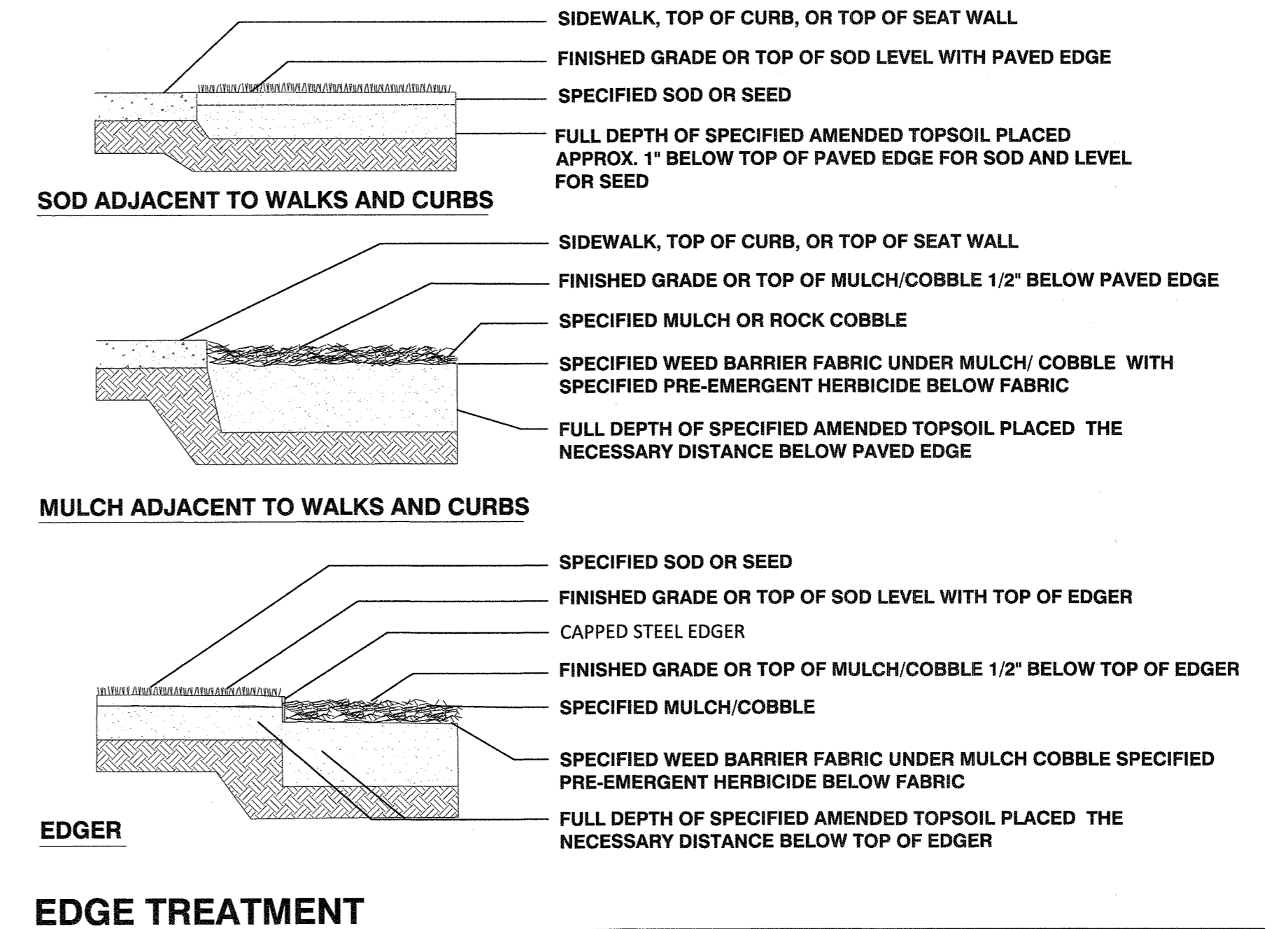
CLWUR (Composite landscape water use rating) Chart

Project Name: Lot 2a, Metzler Ranch
 Site Development Plan (SDP) Number: SDP22-0027

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (V,L,Mod,H,W)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
Pop Up	Canadian Blue Fescue	1.83	L	0.5265244	6691	1.5	15275	0.66
Drip	Shrub Bed	3	L, Mod	0.5265244	8247	3	15275	1.62
Drip	Perennial	3	Mod	0.5265244	191	3	15275	0.04
Total of the CLWUR								2.31

Reference Chapter 13.20 of the Castle Rock Municipal Code

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NOT TO SCALE

STREET TREE REQUIREMENTS

DESCRIPTION:	LENGTH	TREES REQ. - 1/40 LF.	TREES PROVIDED
STAMPEDE DRIVE	61 LF.	2	2
LAZY K DRIVE	305 LF.	8	25
WOODLANDS BLVD.	113 LF.	3	3

PLANT MATERIAL SCHEDULE:

QTY.	SYM.	BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COND.	HEIGHT (x) WIDTH	HYDROZONE
LARGE CANOPY DECIDUOUS TREE							
2	gt	GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	3" CAL.	B & B	45 x 40	2,3
1	qb	QUERCUS BICOLOR	SWAMP WHITE OAK	3" CAL.	B & B	50 x 45	2,3
4	kc	GYMNOCLADIS DIOICA	KENTUCKY COFFEE TREE	3" CAL.	B & B	50 x 35	2
1	qr	QUERCUS RUBRA	NORTHERN RED OAK	3" CAL.	B & B	75 x 45	2,3
EVERGREEN TREES							
7	pp	PINUS PONDEROSA	PONDEROSA PINE	10' HT.	B & B	60 x 30	1,2,3
6	pn	PINUS NIGRA	AUSTRIAN PINE	8' HT.	B & B	50 x 30	1,2
2	pa	PINUS ARISTATA	BRISTLECONE PINE	8' HT.	B & B	30 x 15	1
3	pf	PINUS FLEXILIS	LIMBER PINE	6' HT.	B & B	35 x 15	1,2
SMALL CANOPY TREES (ORNAMENTAL TREES)							
3	pc	PYRUS CALLERYANA	BRADFORD PEAR	1 1/2" CAL.	B & B	30 x 30	2,3
SHRUBS							
38	sc	POTENTILLA FRUTICOSA	SHRUBBY CINQUEFOIL	5 GAL.	CONT.	4 x 4	2
18	cl	CERTOIDES LANATA	WINTERFAT	5 GAL.	CONT.	3 x 2	1
18	ea	SHEPERDIA CANADENSIS	RUSSET BAFFALOBERRY	5 GAL.	CONT.	4 x 4	1,2
12	cp	CARYOPTERIS X CLANDONENSIS	BLUEMIST SPIREA	5 GAL.	CONT.	5 x 4	2
6	bh	JUNIPERUS HORIZONTALIS 'BAR HARBOR'	BAR HARBOR JUNIPER	5 GAL.	CONT.	1 x 6	2
ORNAMENTAL GRASS							
7	ms	MISCANTHUS SINESIS 'YAKU JIMA'	DRARF MAIDEN GRASS 'YAKU JIMA'	5 GAL.	CONT.	4 x 3	3
21	ca	CALAMAGROSTIS x ACUTIFOLIUS 'KARL FOERSTER'	KARL FOERSTER REED GRASS	5 GAL.	CONT.	5 x 2	2,3
PERENNIAL							
90	dl	HEMEROCALLIS 'STELLA DE ORO'	STELLA D'ORO DAYLILY	1 GAL.	CONT.	1 x 2	1,2



SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LANDSCAPE DETAILS

NOTES:

- REMOVE ALL DEAD OR DAMAGED WOOD AFTER PLANTING.
- PRIOR TO THE FIRST FREEZE, YOUNG AND THIN-BARKED TREES MUST BE WRAPPED WITH PROFESSIONAL TREE WRAP. TREE WRAP MUST BE REMOVED AFTER LAST FROST, THE FOLLOWING SPRING.

EVERGREEN | DECIDUOUS

USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CALIPER

TOP MOST ROOT IN ROOTBALL: 1"-2" ABOVE EXISTING GRADE

4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND 6" AWAY FROM TRUNK. MULCH TO BE EXTENDED TO THE DRIPLINE OF THE TREE.

EXISTING GRADE

BACKFILL WITH AMENDED TOPSOIL FROM HOLE

BURLAP, ROPE, AND WIRE MUST BE COMPLETELY REMOVED FROM ROOTBALL

PLANTING HOLE SHALL BE SAUCER-SHAPED AND 3 TIMES THE SIZE OF THE ROOTBALL. ADDITIONAL 3-FT AREA SURROUNDING THE PLANTING HOLE MUST BE AMENDED WITH 4 CY OF COMPOST PER 1,000 SQ FT AND ROTOTILLED TO A MINIMUM DEPTH OF 6".

INTACT ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL

16 GAUGE GALVANIZED WIRE

USE TWO LOOSELY FITTING STRAPS FOR ANCHOR STAKING, AND PLACE 18" ABOVE THE GROUND.

TREATED WOOD POST WITH GROMMETED NYLON STRAPS. USE 2 GUY WIRES. TREE STAKES MUST BE REMOVED AFTER ONE YEAR.

Sheet Revisions		TREE PLANTING	DETAIL PLAN NO.
Date 3/21	Comments STAFF CHANGES	Town of Castle Rock 100 N. Wilcox St. Castle Rock, CO 80104 Phone: (720) 733-2200 Fax: (720) 733-2217 Development Services	LS-1
Issued By: Town of Castle Rock, Development Services March 31, 2021			Sheet 1 of 2

NOTES:

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BACKFILL WITH AMENDED TOPSOIL FROM HOLE

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PLANTING HOLE SHALL BE SAUCER-SHAPED AND 3 TIMES THE SIZE OF THE ROOTBALL. ADDITIONAL 3-FT AREA SURROUNDING THE PLANTING HOLE MUST BE AMENDED WITH 4 CY OF COMPOST PER 1,000 SQ FT AND ROTOTILLED TO A MINIMUM DEPTH OF 6".

INTACT ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL

16 GAUGE GALVANIZED WIRE

USE TWO LOOSELY FITTING STRAPS FOR ANCHOR STAKING, AND PLACE 18" ABOVE THE GROUND.

TREATED WOOD POST WITH GROMMETED NYLON STRAPS. USE 2 GUY WIRES. TREE STAKES MUST BE REMOVED AFTER ONE YEAR.

AMENDED TOPSOIL ADDED TO EXISTING GRADE ON DOWNHILL SIDE

Sheet Revisions		TREE PLANTING SLOPES	DETAIL PLAN NO.
Date 3/21	Comments STAFF CHANGES	Town of Castle Rock 100 N. Wilcox St. Castle Rock, CO 80104 Phone: (720) 733-2200 Fax: (720) 733-2217 Development Services	LS-2
Issued By: Town of Castle Rock, Development Services March 31, 2021			Sheet 2 of 2

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NOTES:

- REMOVE DEAD OR BROKEN BRANCHES.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.

SET SHRUBS PLUMB. SHRUB SPACING AS PER THE PLANS. FINISHED GRADE OF SHRUB BED TO BE 3"-4" BELOW ADJACENT FINISH GRADE AT EDGE.

PLANT ROOTBALL 1"-2" ABOVE FINISH GRADE IN CLAY SOIL AND AT GRADE IN SANDY SOIL.

4" SPECIFIED MULCH. PROVIDE 3" PLANTING RIM FOR SHRUBS NOT IN PLANTING BED. PROVIDE SAUCER ON DOWNHILL SIDE ON SLOPES. NO PLANTING RIM FOR SHRUBS IN PLANTING BED. KEEP MULCH 6" AWAY FROM WOODY BASE OF SHRUB.

CULTIVATE SOIL TO DEPTH OF ROOTBALL. THOROUGHLY BACKFILL HOLE WITH AMENDED SOIL. SCARIFY SIDES OF PLANTING HOLE. ROOTBALL SHALL REST ON FIRM, UNDISTURBED SOIL.

CUT AND REMOVE ALL BURLAP ON ROOTBALL. REMOVE ALL TREATED, GREEN BURLAP AND PLASTIC CONTAINERS. FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOTBALL HALF THE THICKNESS OF THE ROOTBALL AND PLANT IMMEDIATELY.

Sheet Revisions		SHRUB PLANTING	DETAIL PLAN NO.
Date 3/21	Comments STAFF CHANGES	Town of Castle Rock 100 N. Wilcox St. Castle Rock, CO 80104 Phone: (720) 733-2200 Fax: (720) 733-2217 Development Services	LS-3
Issued By: Town of Castle Rock, Development Services March 31, 2021			Sheet 1 of 1

Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional **Stephen Don Wiens**

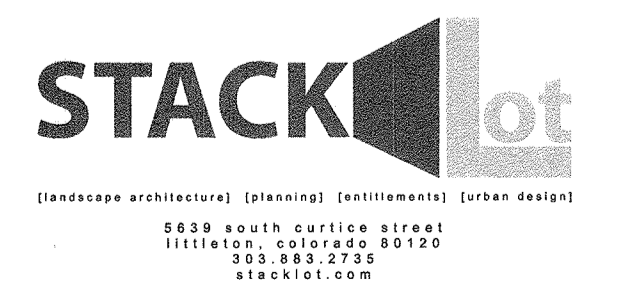
Town of Castle Rock Registration # _____ State of Colorado License Landscape Architect # **504**

Company Name **StackLot L.L.C.** Address **5639 S. Curtice Street; Littleton, CO 80120**

Phone **(303) 808-4523** Email **Steve@stacklot.com** Date **June 22, 2022**

PROJECT NAME **Lot 2-A, METZLER RANCH FILING 10, 3RD AMENDMENT**

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
47,280 sf	Provided 15,129 sf Existing 2,325 sf Total 17,454 sf	Canadian Blue Grass 6,691 sf.	325 sf	10	29	19	175	4	Yes ___ No <u>X</u>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq. ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
21,295 sf	Provided 1,338 sf (Required Is area - 2,130 sf)	56	265 sf	5	9 feet	5	5	9	36



SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

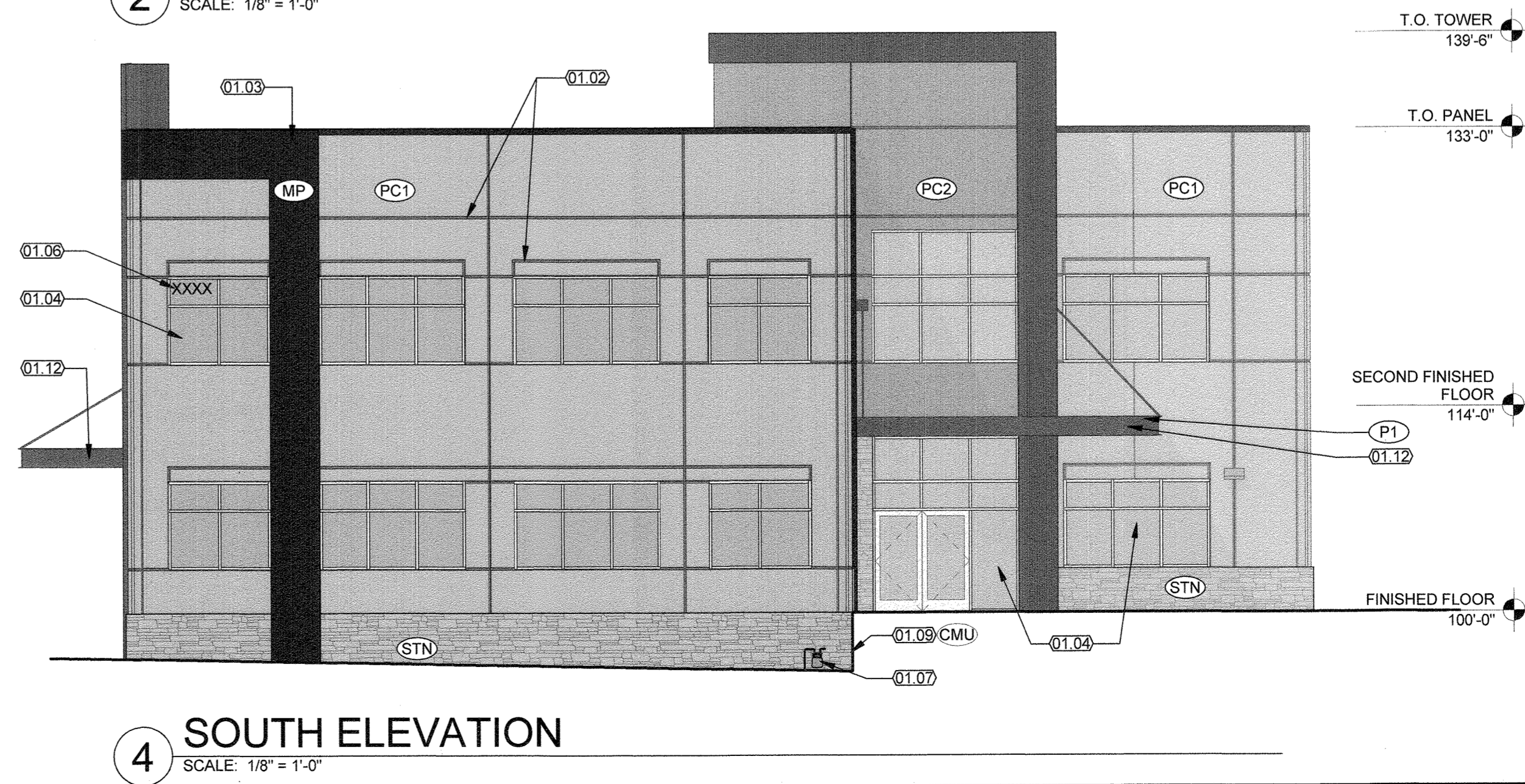
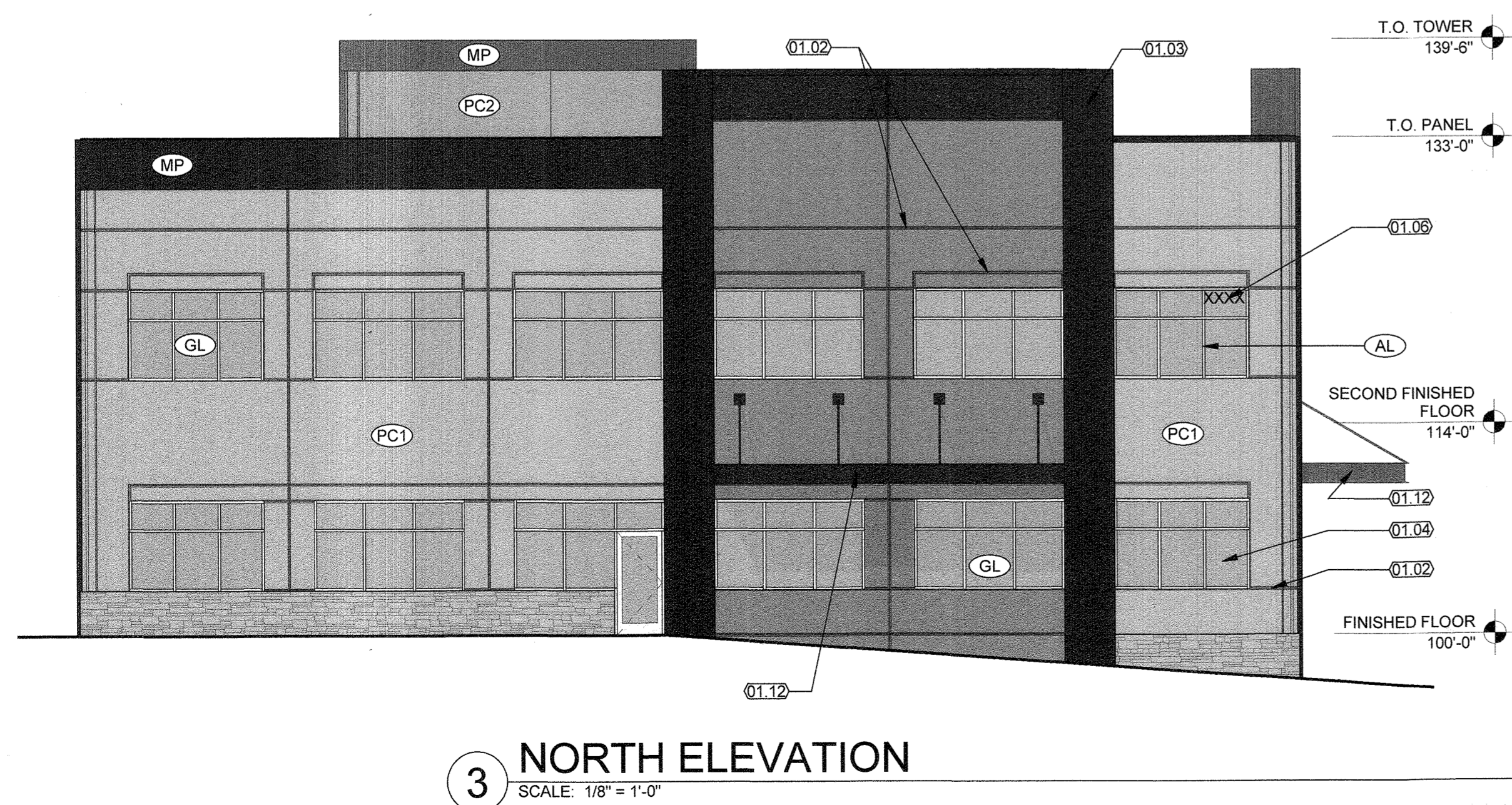
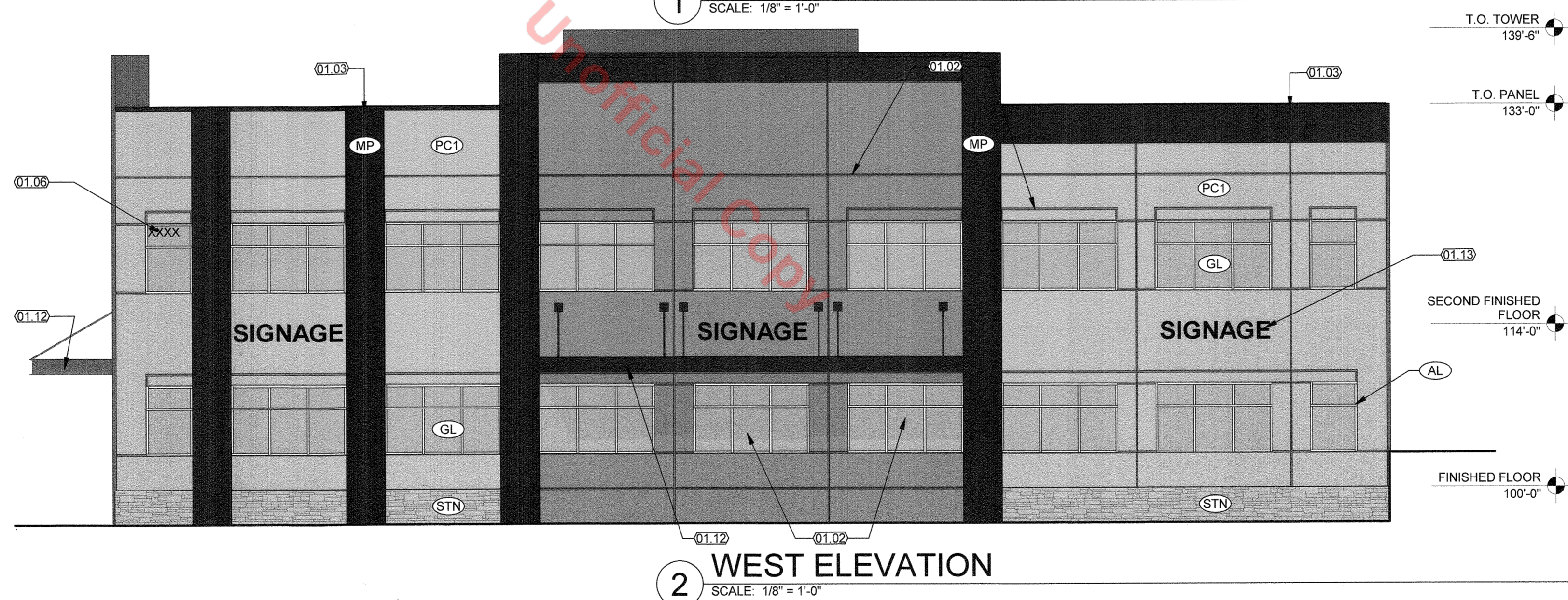
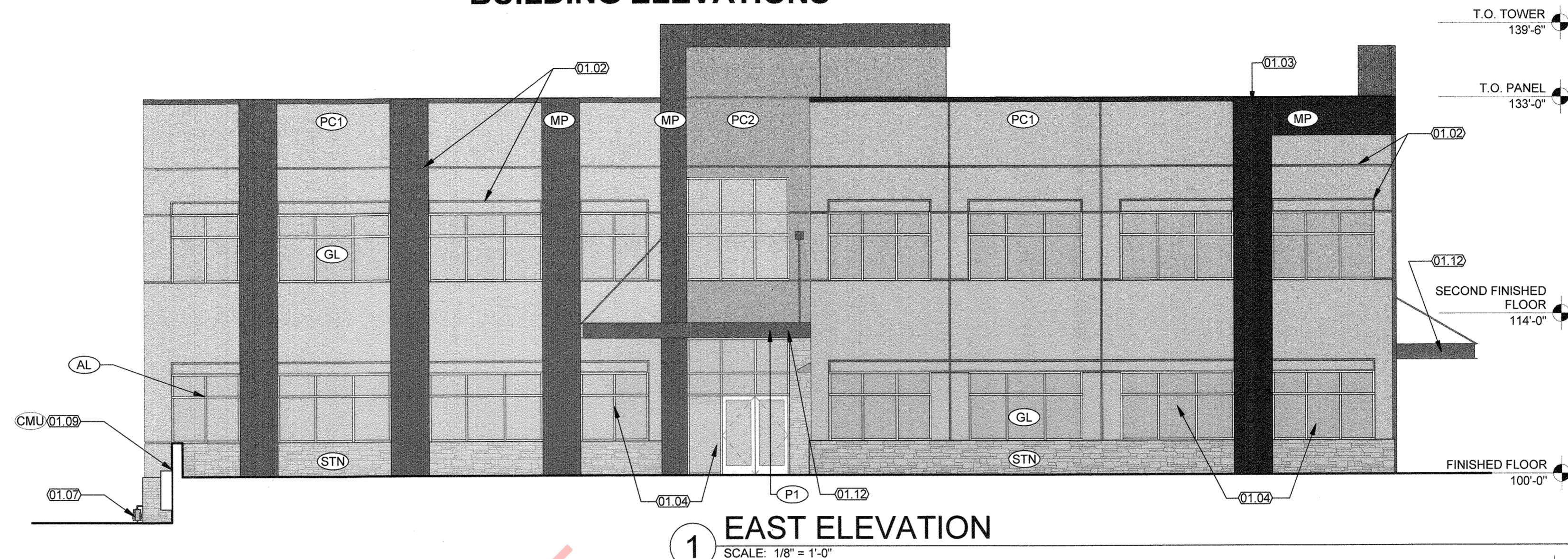
1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
 LOCATED IN THE SOUTHEAST QUATER OF SECTION 26 AND THE NORTHEAST QUATER OF SECTION 35
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

BUILDING ELEVATIONS

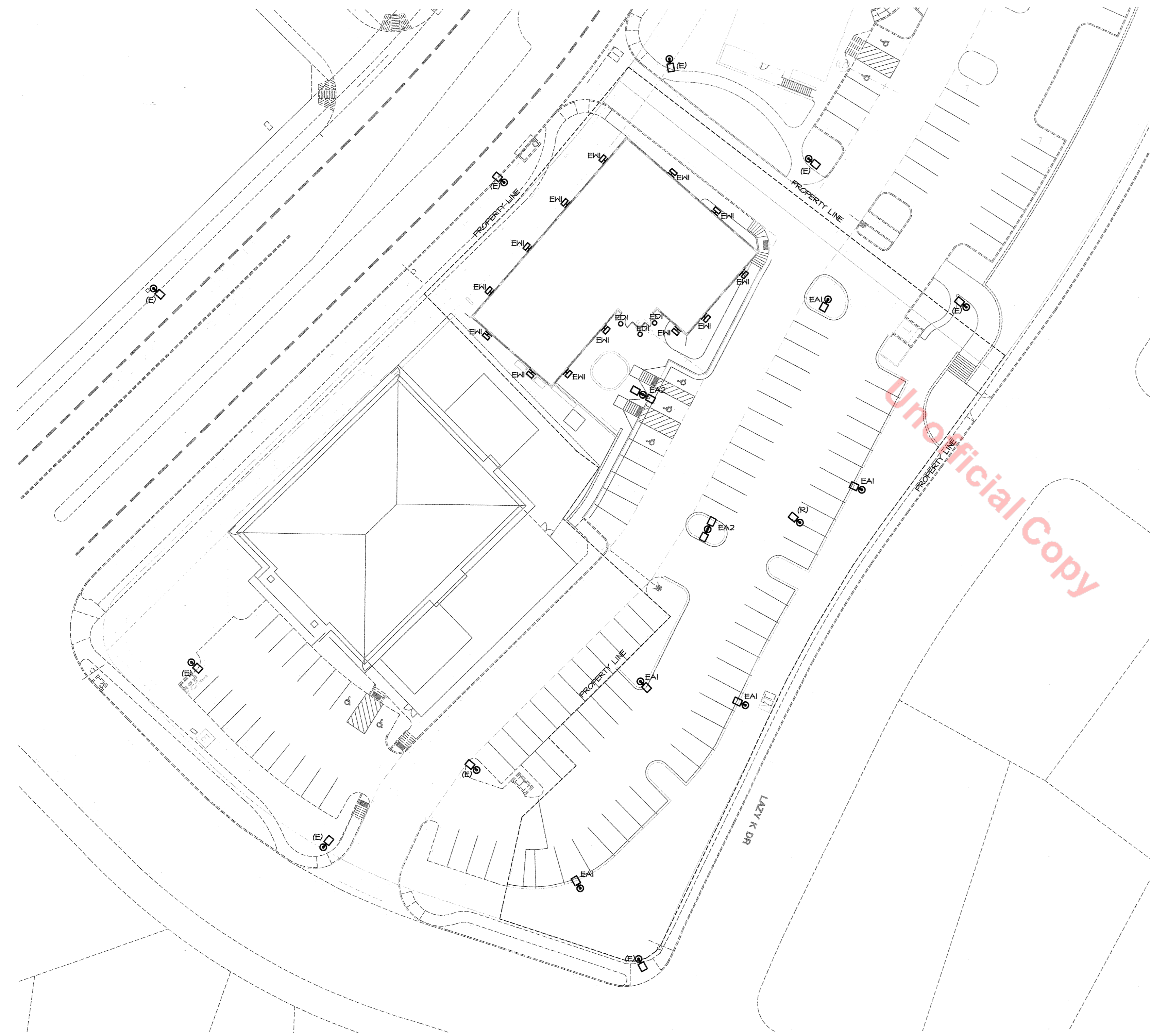
EXTERIOR FINISH LEGEND				
KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
PC1	PRE-CAST CONCRETE		SHERWIN WILLIAMS SW2827 "COLONIAL REVIVAL STONE"	MEDIUM TEXTURE @ WALL PANELS
PC2	PRE-CAST CONCRETE		BENJAMIN MOORE 1470 "BEAR CREEK"	MEDIUM TEXTURE @ WALL PANELS
PC3	PRE-CAST CONCRETE		PAINT TO MATCH BERRIDGE "MATTE BLACK"	MEDIUM TEXTURE @ WALL PANELS
STN	STONE		CULTURED STONE - COUNTRY LEDGESTONE, ASPEN	
MP	METAL PANEL		BERRIDGE METAL PANEL - BR-12 "MATTE BLACK"	
P1	EXTERIOR METAL PAINT		PAINT TO MATCH BERRIDGE "MATTE BLACK"	
GL	GLAZING		VITRO - SOLAR GRAY	
AL	STOREFRONT FRAME		CLEAR ANODIZED	
CMU	8x16 CMU RUNNING BOND		RETAINING WALL BEST BLOCK - BROWN	DESIGN-BUILD

KEYNOTES:

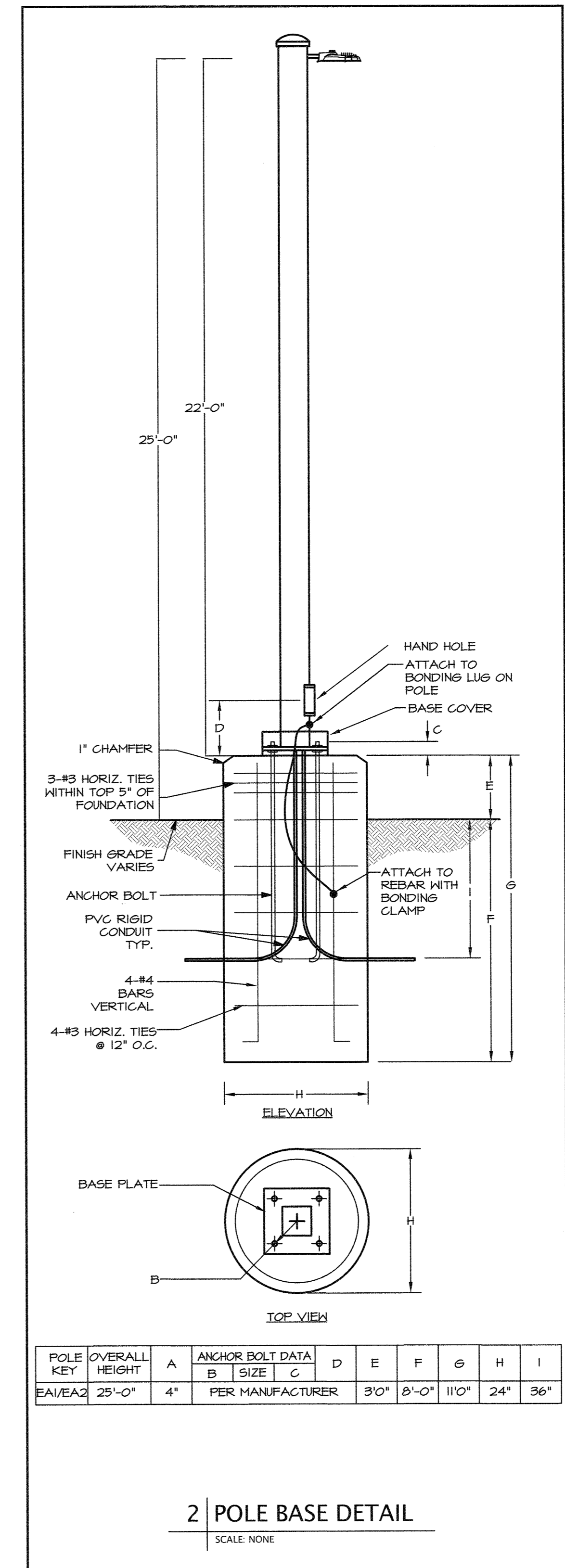
- 01.02 3/4" x 2 1/4" REVEAL, PAINTED.
- 01.03 CONCRETE PANEL JOINT W/ 3/4" CHAMFERED EDGES, BACKER ROD & SEALANT FULL LENGTH
- 01.04 2" x 4 1/2" ALUMINUM STOREFRONT SYSTEM WITH 1" TINTED INSULATED GLAZING, SEE EXTERIOR FINISH LEGEND.
- 01.06 BUILDING ADDRESS.
- 01.07 GAS METER LOCATION.
- 01.09 BEST BLOCK DRY STACK CMU RETAINING WALL, SPLIT FACE CMU IN MEDIUM TAN COLOR
- 01.12 STEEL CHANNEL CANOPY WITH SUPPORT RODS ABOVE
- 01.13 BUILDING SIGN



SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT
 LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
GENERAL LIGHTING PLAN



1 | GENERAL LIGHTING PLAN
 SCALE: 1"=30'-0"



POLE KEY	OVERALL HEIGHT	A	ANCHOR BOLT DATA		D	E	F	G	H	I
			B	SIZE	C					
EA1/EA2	25'-0"	4"	PER MANUFACTURER			3'0"	8'-0"	11'0"	24"	36"

LIGHTING FIXTURES LEGEND

- A LUMINAIRE TYPE, REFERENCING LUMINAIRE SCHEDULE, TYPICAL ALL FIXTURES, SUBSCRIPT, IF SHOWN, REFERENCED WALL SWITCH
- WALL MOUNTED SCONCE LIGHT
- EXTERIOR POLE AREA LIGHT
- WALL MOUNTED AREA LIGHT

- LIGHTING GENERAL NOTES**
- A. LIGHTING CALCULATIONS WERE MADE USING A LIGHT LOSS FACTOR OF 1.0.
 - B. CALCULATION POINTS ARE TAKEN AT GRADE LEVEL ON A 10'X10' GRID, CALCULATIONS DO NOT REPRESENT ANY ELEVATION CHANGE.
 - C. ILLUMINANCE VALUES SHOWN REPRESENT LIGHTING FROM LUMINAIRES SHOWN EXPLICITLY ON THIS DRAWING. ILLUMINANCE CONTRIBUTIONS FROM STREET LIGHTING, AND OTHER ADJACENT PROPERTIES ARE NOT INCLUDED IN CALCULATIONS.
 - D. LIGHTING AT PARKING LOTS SHALL NOT EXCEED AN INITIAL LIGHTING LEVEL OF 10 FC PER TOWN OF CASTLE ROCK MUNICIPAL CODE, CHAPTER 17.5B.
 - E. LIGHTING FIXTURE HEIGHTS AT PARKING LOT SHALL NOT EXCEED 25'-0" PER TOWN OF CASTLE ROCK MUNICIPAL CODE, CHAPTER 17.5B.
 - F. LIGHTING IS DESIGNED TO PROVIDE GENERAL LIGHTING FOR BASIC SAFETY AND SECURITY AS WELL AS A UNIFORM LIGHT LEVEL FOR BUSINESS USE.
 - G. ALL LIGHTING SHALL BE CONTROLLED VIA ASTRONOMICAL TIMECLOCK FOR DUSK TILL DAWN OPERATION. REFER TO SEQUENCE OF OPERATION SCHEDULE FOR LIGHTING CONTROL INTENT OF EACH FIXTURE TYPE.
 - H. ALL LIGHTING IS DESIGNED TO MINIMIZE BACKLIGHT AND LIGHT TRESPASS ONTO ADJACENT RESIDENTIAL LOTS, WHERE APPLICABLE, ALL FIXTURES ARE OF THE FULL-CUTOFF TYPE.
 - I. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED AND HAVE NO BEEN USED IN THE DESIGN OF THIS PROJECT:
 - FORWARD THROWTYPE 4 DISTRIBUTION
 - POLE-MOUNTED LIGHTS AIMED AT BUILDING FACADE
 - UNSHIELDED WALL PACKS
 - J. REFER TO OVERALL FIXTURE HEIGHT (OFH) DIMENSION IN LIGHTING FIXTURE SCHEDULE. OVERALL FIXTURE HEIGHT IS MEASURED FROM GROUND LEVEL TO THE TOP OF THE LIGHT POLE.

OWNER/DEVELOPER
 ANTLER INVESTMENTS II LLC
 5225 SUMMERVILLE CIRCLE
 CASTLE ROCK, CO 80109
 TELEPHONE:

CIVIL ENGINEER/SURVEYOR/
 IMEG CORP
 7600 E ORCHARD RD, SUITE 250-S
 GREENWOOD VILLAGE, CO 80111
 TELEPHONE: (303) 796-6000

ARCHITECT
 INTERGROUP ARCHITECTS
 2000 WEST LITTLETON BLVD
 LITTLETON, CO 80120
 TELEPHONE: (303) 738-8877



AE DESIGN
 Integrated Lighting and Electrical Solutions
 1920 WAZEE STREET #205 DENVER, CO 80202 303.296.3034
 PH: 303.796.6000 www.imegcorp.com
 Project #39885.00

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

1ST AMENDMENT OF LOT 2-A-2, METZLER RANCH FILING 10, 2ND AMENDMENT

LOCATED IN THE SOUTHEAST QUARTER OF SECTION 26 AND THE NORTHEAST QUARTER OF SECTION 35,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

GENERAL LIGHTING DETAILS

TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	VOLTAGE	SOURCE				TOTAL ON PROJECT	MAX MATTS	LUMEN OUTPUT	LIGHT LOSS FACTOR	IESNA CUTOFF	DIMMING	FIXTURE FINISH	MOUNTING LOCATION	INFORMATION BOF/RFD/OFH	NOTES
					QTY	WATT	TYPE	CCT/CRI										
EA1	EXTERIOR LED AREA LIGHT, 25'-0" FULL CUTOFF, TYPE 3	KIM LIGHTING	1A-ARA2-54L-560-3KT-3-BC-UNV	277V	1	84	LED	3000K 70 CRI	5					NONE	DARK BRONZE MATTE	POLE	25'-0" AFG	1
EA2	EXTERIOR LED DOUBLE-SIDED AREA LIGHT, 25'-0", FULL CUTOFF, TYPE 3	KIM LIGHTING	2B-ARA2-54L-560-3KT-3-UNV	277V	2	84	LED	3000K 70 CRI	2	178	22000	1	FULL	NONE	DARK BRONZE MATTE	POLE	25'-0" AFG	1
EW1	EXTERIOR WALL PACK, LED	LITHONIA LIGHTING	WDE2-LED-PO-30K-80CRI-T3M-MVOLT-5RM-DOBXD	277V	1	7	LED	3000K 80 CRI	13	7	700	1	FULL	NONE	DARK BRONZE	SURFACE WALL	13'-0" AFG	
ED1	EXTERIOR LED DOWNLIGHT, 4" DIAMETER	LITHONIA LIGHTING	LDN4-30/05-LO4AR-MVOLT	277V	1	5.8	LED	3000K 80 CRI	3	5.8	500	1	FULL	NONE		RECESSED CEILING	3-5/16" RFD	

ABBREVIATIONS: BOF - BOTTOM OF FIXTURE, RFD - RECESSED FIXTURE DEPTH, OFH - OVERALL FIXTURE HEIGHT, AFF(AFG) - ABOVE FINISHED FLOOR (GRADE), HFD - WALL FIXTURE DEPTH

GENERAL NOTES:

- THE 'EA1' AND 'EA2' TYPE LED AREA LIGHT POLES ARE TO PROVIDE GENERAL AND SECURITY LIGHTING FOR THE PARKING LOTS. THE 'EW1' TYPE LED WALL PACK LIGHTS ARE TO PROVIDE SECURITY AND WALKWAY LIGHTING AROUND THE PERIMETER OF THE BUILDING. THE 'ED1' TYPE LED DOWNLIGHTS ARE TO PROVIDE SECURITY AND ENTRY LIGHTING AT THE FRONT DOORS.
- THE EXTERIOR LIGHT FIXTURE TYPES 'EA1', 'EA2', 'ED1', AND 'EW1' WILL OPERATE FROM DUSK TILL DAWN FOR TENANT 24/7 OPERATION.
- THE MITIGATION OF THE LIGHTING IS THE USE OF FULL CUTOFF LIGHT FIXTURES, SHIELDED DOWNWARD AND CASTING ONLY ON THE GROUND, AND THE LAYOUT OF LIGHT FIXTURES TO ONLY LIGHT ON THIS PROPERTY.
- THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FAÇADE, AND UNSHIELDED WALL PACKS.
- THERE ARE NO EXTERNAL SIGN LIGHTING ON THE PROJECT.

SPECIFIC NOTES:

- OVERALL FIXTURE HEIGHT IS MEASURED FROM GROUND LEVEL TO THE TOP OF THE LIGHT POLE.

SEQUENCE OF OP.	ON	OFF	SENSOR TYPE	TIME OUT	DIMMING/CONTROLLED RECEPTACLE	DAYLIGHT HARVESTING		COMMENTS
						YES/NO	TARGET ILLUMINANCE (FC)	
EXTERIOR								
ETI	TIMELOCK AUTOMATIC AT DUSK	TIMELOCK AUTOMATIC AT DAWN	NONE	N/A	SWITCHING	NO	NO	N/A

KIM LIGHTING
ARCHITECTURAL AREA/SITE

DATE: LOCATION:
TYPE: PROJECT:
CATALOG #:

The Archetype

FEATURES

- TIR Strike Optics
- Available in Monochromatic Amber, 2700K, 3000K, 3500K, 4000K and 5000K
- Type 1, 2, 3, 4, 4W, 5W, 5QM, L, and R distributions
- 0-10V dimming drivers standard
- IP65 optical assembly

CONTROL TECHNOLOGY

CONTROLLED BY **WISCAPE**

SPECIFICATIONS

CONSTRUCTION

- One-piece die-cast housing, low copper (63.5% Cu) Aluminum Alloy with integral cooling ribs over the optical chamber and electrical compartment
- Solid barrier wall separates optical and electrical compartments
- Double-thick wall with gaskets on the support-arm mounting end
- Housing forms a half cylinder with 55° front face plane providing a recess to allow a flush single-latch detail
- Bull hardware is stainless steel or electro-zinc plated steel
- Finish: fade and abrasion resistant, electrochromically applied, thermally cured, triglycidyl isocyanurate (TGIC) polyester powdercoat
- One-piece die-cast, low copper (40-6% Cu) aluminum alloy lens frame with F minimum depth around the gasket flange
- Optional, fixture supplied with a one-piece flat, clear, UV stabilized polycarbonate, fully gasketed, replacing the standard tempered glass lens. CAUTION: Use only when windshield is encased to be high. Useful life is limited by UV discoloration from sunlight. A program of regular inspection and periodic replacement is highly recommended to maintain optimum fixture performance
- Optional, fixture supplied with a one-piece flat, clear, UV stabilized polycarbonate, fully gasketed, replacing the standard tempered glass lens. CAUTION: Use only when windshield is encased to be high. Useful life is limited by UV discoloration from sunlight. A program of regular inspection and periodic replacement is highly recommended to maintain optimum fixture performance
- One-piece extruded aluminum arm with internal fin guides and fully reinforced top and bottom
- Luminaire-to-pole attachment is by internal draw bolts, and wire strain relief

CONSTRUCTION (CONTINUED)

- Arm is circular cut for specified round pole (63.5% Cu) Aluminum Alloy with integral horizontal slip flange with edgewise plate to secure the luminaire to 2" IPS pipe size arms
- Optional cast aluminum wall mount plate assembly. Attaches to the wall over the junction box. Luminaire attaches to the wall plate

OPTICS

- Optical cartridge system consisting of a die cast heat sink, LED Total Internal Reflection (TIR) optics, gasket and bezel plate
- Molded silicone gasket ensures a weather-proof seal around each individual LED
- Features revolutionary individual LED optical control based on high performance TIR optical designs
- Optional Backlight Control for complete control of unwanted backlight
- IP65 Optical assembly
- Available in Monochromatic Amber, 2700K, 3000K, 3500K, 4000K, and 5000K
- Die-cast, low copper aluminum heat sink modules provide thermal transfer at PCB level
- Anodized aluminum heat sink modules

INSTALLATION

- Fixtures must be grounded in accordance with national, state and/or local electrical codes. Failure to do so may result in serious personal injury

KEY DATA

Lumen Range	4,363-20,338
Wattage Range	88-178.2
Efficiency Range (LPW)	46.2-128.3
Rated Life (Hours)	170,000,000
Weight	50 lbs 22.68 kg
EPS Side View	1.20

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WDE2 LED
Architectural Wall Sconce
Precision Reflective Optic

Introduction

The WDE2 LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embodied with nLight™ wireless controls, the WDE2 family provides additional energy savings and code compliance.

WDE2 with industry leading precision reflective optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

Specifications:

- Depth (D1): 7"
- Depth (D2): 1.5"
- Height: 9"
- Width: 11.5"
- Weight: 13.5 lbs (without options)

WDE2 LED	Visual Comfort	4W	7W	12W	18W	2,000	3,000	4,500	6,000	12,000	16,000	20,000	25,000
WDE2 LED	Visual Comfort	19W	19W	Standards / slight	700	1,200	2,000	3,000	4,500	9,000	12,000	16,000	20,000
WDE2 LED	Precision Reflective	19W	19W	Standards / slight	700	1,200	2,000	3,000	4,500	9,000	12,000	16,000	20,000
WDE2 LED	Precision Reflective	19W	19W	Standards / slight	700	1,200	2,000	3,000	4,500	9,000	12,000	16,000	20,000

EXAMPLE: WDE2 LED P3 40K 80CRI VF MVOLT 5RM DOBXD

WDE2 LED	P01	27K	2700K	70CRI	T15	Type 1 Short	MVOLT	30T	Shipped included	Shipped separately
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Short	MVOLT	30T	SMB	Surface mounting bracket
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	AWB	30x30x100mm architectural wall sconce
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	ICW	Intercept (Coping) Wall sconce (dry or damp locations only)
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	PRRW	5/8" pre-mounted back box (top, left, right, and bottom entry). Use when there is no section box available.
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	DDWD	Dark bronze
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	DAWD	Dark aluminum
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	DDWD	Dark bronze
E10WV	P01	27K	2700K	70CRI	T15	Type 1 Medium	MVOLT	30T	DAWD	Dark aluminum
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