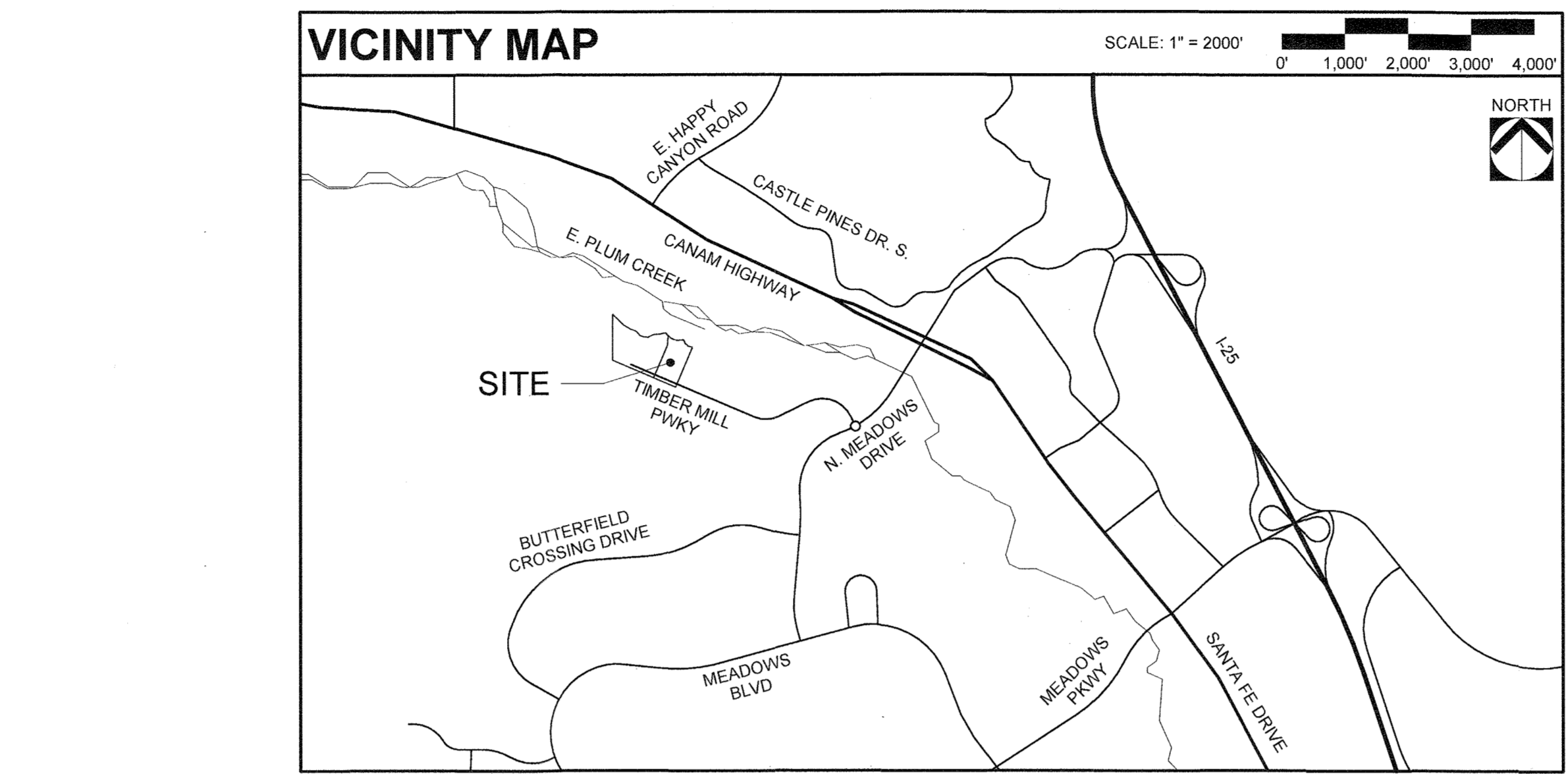


SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 THE MEADOWS FILING 19, PARCEL 2 NORTH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- GENERAL NOTES**
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
 - PURSUANT TO SECTIONS 4.7 AND 9.3.2 OF THE TOWN OF CASTLE ROCK 2021 LANDSCAPE CRITERIA MANUAL THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
 - THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
 - THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0167G DATED 3/16/2016.
 - ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
 - THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY, AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
 - APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
 - NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
 - ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK AND CORE WITH THE PLAT.
 - THIS SITE IS ZONED PD.
 - ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
 - UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 15-FOOT UTILITY EASEMENT ALONG THE FRONT AND 10-FOOT ALONG THE REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 10-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
 - RETAINING WALLS. SECTIONS OF RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST OBTAIN A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
 - A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
 - THE PROJECT IS LOCATED IN THE MEADOWS HABITAT CONSERVATION PLAN BOUNDARY, WHICH HAS APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE.
 - THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
 - STORAGE WITHIN 75-FOOT CORE EASEMENT IS LIMITED TO 8-FEET TALL AND MUST MAINTAIN CLEAR PATHWAY OF 20-FEET ON EITHER SIDE OF THE EXISTING 115 KV TRANSMISSION LINE.



PURPOSE STATEMENT:
THIS SITE DEVELOPMENT PLAN IS FOR THE PROPOSED DEVELOPMENT OF A NEW 80,000 SF OFFICE/ WAREHOUSE BUILDING WITH TRUCK COURT AND STORAGE YARD.

BENCHMARK:
DOUGLAS COUNTY CONTROL MONUMENT 2.015030 (AZTEC #910), RECOVERED 3.25" ALUMINUM CAP LOCATED 410', MORE OR LESS, EAST OF THE RAILROAD TRACKS AND 3200' MORE OR LESS, NORTH OF MEADOWS PARKWAY.
ELEVATION = 6082.185 (NAVD 88).

BASIS OF BEARINGS:
BEARINGS ARE BASED ON THE WEST LINE OF SAID SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, BEING MONUMENTED AT THE NORTHWEST CORNER BY A NO. 6 REBAR WITH 2.5" BRASS CAP STAMPED "PELS 7124" AND AT THE SOUTHWEST CORNER BY A NO. 6 REBAR WITH A 3" BRASS CAP STAMPED "PLS 23515 2004", ASSUMED TO BEAR S 00°04'11" W, 5,266.05 FEET.

LEGAL DESCRIPTION:
THE MEADOWS FILING 19, PARCEL 2 NORTH, LOT 2

A PARCEL OF LAND SITUATED IN THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID SECTION 28, WHENCE THE WEST LINE OF SAID SECTION 28 BEARS SOUTH 00°04'11" WEST, A DISTANCE OF 5,266.05 FEET WITH ALL BEARINGS HEREON REFERENCED TO SAID LINE;
 THENCE ALONG SAID WEST LINE, SOUTH 00°04'11" WEST, A DISTANCE OF 325.33 FEET;
 THENCE DEPARTING SAID WEST LINE, SOUTH 89°55'49" EAST, A DISTANCE OF 866.13 FEET TO THE **POINT OF BEGINNING**;
 THENCE SOUTH 69°45'32" EAST, A DISTANCE OF 18.38 FEET; THENCE NORTH 04°17'21" EAST, A DISTANCE OF 154.43 FEET;
 THENCE SOUTH 49°03'50" EAST, A DISTANCE OF 2.04 FEET; THENCE SOUTH 89°53'39" EAST, A DISTANCE OF 9.28 FEET;
 THENCE SOUTH 42°43'54" EAST, A DISTANCE OF 27.25 FEET; THENCE SOUTH 63°27'10" EAST, A DISTANCE OF 56.13 FEET;
 THENCE SOUTH 79°47'08" EAST, A DISTANCE OF 46.56 FEET; THENCE NORTH 90°00'00" EAST, A DISTANCE OF 38.87 FEET;
 THENCE NORTH 87°32'21" EAST, A DISTANCE OF 40.69 FEET; THENCE NORTH 83°25'23" EAST, A DISTANCE OF 18.49 FEET;
 THENCE SOUTH 53°23'14" EAST, A DISTANCE OF 5.11 FEET; THENCE SOUTH 48°40'28" EAST, A DISTANCE OF 5.18 FEET;
 THENCE SOUTH 35°55'51" EAST, A DISTANCE OF 5.20 FEET; THENCE SOUTH 32°55'32" EAST, A DISTANCE OF 11.85 FEET;
 THENCE SOUTH 21°03'09" EAST, A DISTANCE OF 44.42 FEET; THENCE SOUTH 82°22'21" EAST, A DISTANCE OF 36.83 FEET;
 THENCE SOUTH 31°14'17" EAST, A DISTANCE OF 18.67 FEET; THENCE SOUTH 67°01'33" EAST, A DISTANCE OF 23.12 FEET;
 THENCE SOUTH 75°45'52" EAST, A DISTANCE OF 24.25 FEET; THENCE SOUTH 78°27'37" EAST, A DISTANCE OF 24.59 FEET;
 THENCE SOUTH 23°10'10" WEST, A DISTANCE OF 608.37 FEET; THENCE NORTH 66°45'32" WEST, A DISTANCE OF 5.26 FEET;
 THENCE NORTH 23°14'28" EAST, A DISTANCE OF 9.00 FEET; THENCE NORTH 66°45'32" WEST, A DISTANCE OF 41.00 FEET;
 THENCE SOUTH 23°14'28" WEST, A DISTANCE OF 9.00 FEET; THENCE NORTH 66°45'32" WEST, A DISTANCE OF 309.00 FEET;
 THENCE NORTH 23°14'28" EAST, A DISTANCE OF 9.00 FEET; THENCE NORTH 66°45'32" WEST, A DISTANCE OF 20.50 FEET;
 THENCE NORTH 23°14'28" EAST, A DISTANCE OF 465.50 FEET TO THE **POINT OF BEGINNING**.

CONTAINING AN AREA OF 5.342 ACRES, (232,715 SQUARE FEET), MORE OR LESS.

SUMMARY TABLE		
ZONING	THE MEADOWS FOURTH AMENDMENT PD	
USE AREA	C-O-1 - COMMERCIAL, OFFICE, INDUSTRIAL	
	PDP REQUIREMENTS	PROPOSED SITE DEVELOPMENT PLAN
	AS PER SECTION 5.4 OF THE PDP ZONING REGULATIONS	OFFICE/ WAREHOUSE
LOT SIZE	N/A	232,715 SF (5.342 AC)
BUILDING COVERAGE	MAX. COVERAGE: 60%	34% (80,000 SF)
BUILDING SETBACKS	FRONT = NOT SPECIFIED, DEFINED BY SDP REAR = NOT SPECIFIED, DEFINED BY SDP SIDE = NOT SPECIFIED, DEFINED BY SDP	FRONT = 19' REAR = 180' SIDE (EAST) = 130' SIDE (WEST) = 45'
BUILDING HEIGHT	60' MAX	PROPOSED BUILDING - 1 STORY, 37'
BUILDING SEPARATION	NOT SPECIFIED	N/A
PARKING	GENERAL OFFICE = 3 SPACES / 1,000 SF = 8,000 SF / 1,000 SF * 3 = 24 SPACES WAREHOUSE = 1 SPACE / 1,000 SF = 72,000 SF / 1,000 SF = 72 SPACES TOTAL = 96 SPACES 78-100 SPACES = 4 ACCESSIBLE PARKING SPACES	100 SPACES (INCLUDING: (4) VAN ACCESSIBLE PARKING SPACES)
SITE COVERAGE	MAXIMUM F.A.R. = 0.60	F.A.R. = 0.34
BUILDING COVERAGE	34% (80,000 SF)	
LANDSCAPE / OPEN SPACE / PERMEABLE SURFACE COVERAGE	33% (75,879.55 SF)	
PAVEMENT COVERAGE	33% (76,835.45 SF)	
TOTAL	100% (232,715 SF)	

OWNERSHIP CERTIFICATION:
THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.
 Robert C. Harisch, Jr.
 BY: CASTLE ROCK DEVELOPMENT COMPANY
 SIGNED THIS 20 DAY OF April, 2022
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF April, 2022 BY Robert C. Harisch

WITNESS MY HAND AND OFFICIAL SEAL.
 Kelly Beach
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID: 20104020675
 MY COMMISSION EXPIRES: 3/7/24

TITLE CERTIFICATION:
 I, Scott Bennetts, AN AUTHORIZED REPRESENTATIVE OF
 LANTANA CAPITAL CORP., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
 Scott Bennetts
 AUTHORIZED REPRESENTATIVE
 LANTANA CAPITAL CORP.
 TITLE COMPANY
 SIGNED THIS 20th DAY OF April, 2022

SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF April, 2022
 20 BY Scott Bennetts AS AUTHORIZED REPRESENTATIVE
 OF land title
 WITNESS MY HAND AND OFFICIAL SEAL.
 Carolyn Manning
 NOTARY PUBLIC
 STATE OF COLORADO
 NOTARY ID: 20220113264
 MY COMMISSION EXPIRES: 04/04/2026

SURVEYOR'S CERTIFICATE:
 I, ANTHONY K. PEALL, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

PLS NO. 38036
 REGISTERED LAND SURVEYOR
 DATE 4/20/22

CIVIL ENGINEER'S STATEMENT:
 I, Kevin S. Roth, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
 Kevin S. Roth
 REGISTERED PROFESSIONAL ENGINEER
 DATE 4-20-22

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL:
 THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 22 DAY OF April, 2022.
 Justin Hay
 DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:
 THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:21 PM ON THE 1st DAY OF June, 2022 AT RECEPTION NO. 2022039143
 DOUGLAS COUNTY CLERK AND RECORDER
 BY: Kelly DePuy, Deputy

WATER RIGHTS DEDICATION AGREEMENT:
 THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 20030102970 AND ACCORDINGLY 4.33 SFE ARE DEBITED FROM THE WATER BANK.
 WATER METER SIZING:
 DOMESTIC = 1.5" = 3.33 SFE
 IRRIGATION = 0.75" = 1 SFE

PROJECT TEAM

OWNER SAUNDERS COMMERCIAL DEVELOPMENT COMPANY, LLC 86 INVERNESS PLACE NORTH ENGLEWOOD, CO 80112 GRAHAM CODDINGTON PHONE: 303.817.6548 g.coddington@saundersinc.com	CIVIL ENGINEER: ROTH LANG ENGINEERING 7839 S. ARAPAHOE COURT SUITE 2500 CENTENNIAL, CO 80112 PHONE: 303.841.9365	SURVEYOR: AZTEC CONSULTANTS INC 300 E. MINERAL AVE., STE #1 LITTLETON, CO 80122 CONTACT: ANTHONY PEALL PHONE: (303) 713-1898
ARCHITECT: INTERGROUP ARCHITECTS 2000 W. LITTLETON BLVD. LITTLETON, CO 80120 CONTACT: CHRIS SIBILIA PHONE: (303) 738-8877 csibilia@igarch.com	LANDSCAPE ARCHITECT: STACKLOT 3639 S. CURTIS ST. LITTLETON, CO 80120 CONTACT: JUSTIN HAY PHONE: (303) 883-2735	PHOTOMETRICS: AE DESIGN 1900 WAZEE ST., STE 205 DENVER, CO 80202 CONTACT: ERIC REITAN PHONE: (303) 296-4443

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	SITE PLAN
SHEET 3	GRADING PLAN
SHEET 4	UTILITY PLAN
SHEET 5	LANDSCAPE PLAN
SHEET 6	LANDSCAPE NOTES
SHEET 7	PLANT LIST & DETAILS
SHEET 8	EXTERIOR ELEVATIONS
SHEET 9	EXTERIOR ELEVATIONS
SHEET 10	PHOTOMETRIC SITE PLAN
SHEET 11	PHOTOMETRIC DETAILS
SHEET 12	SITE DETAILS

REVISIONS

BY	DATE	DESCRIPTION
CW	11-24-2021	2ND SUBMITTAL
CW	1-21-2022	3RD SUBMITTAL
CW	2-24-2022	4TH SUBMITTAL
CW	3-29-2022	5TH SUBMITTAL
CW	4-18-2022	6TH SUBMITTAL

DRAWN: CW
 CHECKED: CS
 DESIGNED: KS
 FILENAME: CS-11102A

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
 SITE DEVELOPMENT PLAN
 COVER SHEET

INTERGROUP ARCHITECTS

JOB NO. CS-11102A
 SCALE: AS SHOWN
 DATE: AS SHOWN
 SHEETS: 12 SHEET: 1

architecture
 planning
 interiors

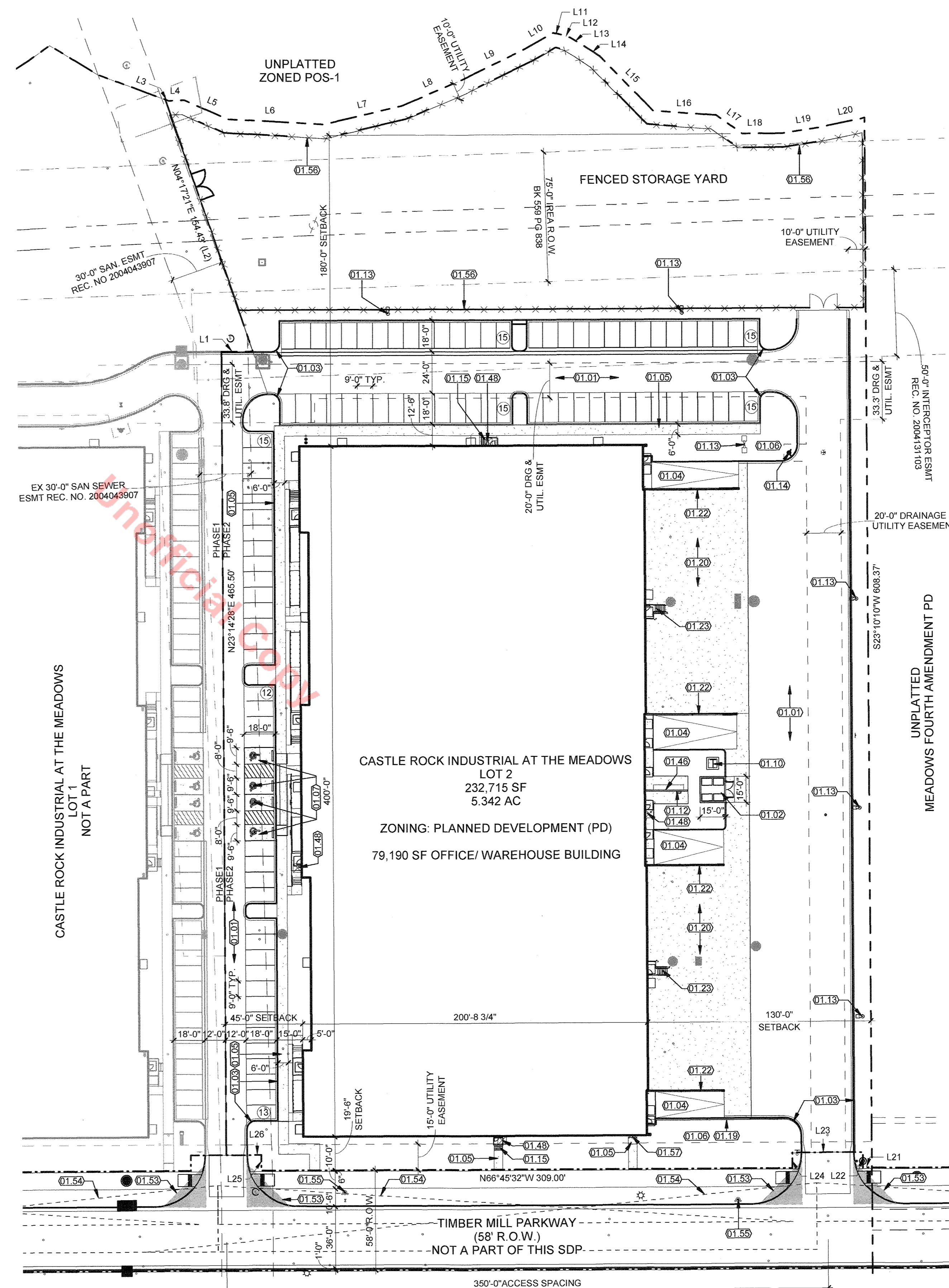
2000 West Littleton Blvd
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 www.igarch.com

SITE DEVELOPMENT PLAN

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2

THE MEADOWS FILING 19, PARCEL 2 NORTH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEYNOTES:

- 01.01 FULL DEPTH ASPHALT PAVING FOR CAR, TRUCK, AND EMERGENCY VEHICLE TRAFFIC.
- 01.02 6'-8" H. TRASH ENCLOSURE WITH PAINTED METAL GATES ON 6" REINFORCED CONCRETE SLAB. SEE ELEVATION SHEETS FOR TRASH ENCLOSURE ELEVATIONS.
- 01.03 6" VERTICAL CONCRETE CURB AND GUTTER WITH RADIUS AT ALL OUTSIDE CORNERS, TYP. SEE GRADING PLAN. ALL LANDSCAPING AT CONCRETE CURBS TO BE FLUSH WITH TOP OF CURB.
- 01.04 REINFORCED CONCRETE PAVING AT TRUCK RAMP.
- 01.05 CONCRETE SIDEWALK WITH BROOM FINISH.
- 01.06 LANDSCAPE AREA.
- 01.07 VAN ACCESSIBLE HANDICAP PARKING SPACE - 9'-6" X 18' WITH 8' AISLE. PROVIDE CURB RAMP AND STANDARD HC PARKING SIGN WITH "VAN ACCESSIBLE" PLACARD BELOW.
- 01.10 ELECTRICAL TRANSFORMER ON CONCRETE PAD.
- 01.12 GAS METER LOCATION.
- 01.13 LIGHT POLE WITH CUT-OFF STYLE FIXTURE.
- 01.14 PROPOSED FIRE HYDRANT.
- 01.15 CONCRETE STAIR WITH PAINTED STEEL HANDRAIL.
- 01.19 CONCRETE PANEL SCREEN WALL.
- 01.20 REINFORCED CONCRETE PAVING AT TRUCK APRON AND LOADING DOCKS.
- 01.22 SLOPED CONCRETE RETAINING WALL.
- 01.23 PAINTED STEEL STAIR WITH PAINTED STEEL GUARDRAIL.
- 01.46 ELECTRICAL METER AND EQUIPMENT CABINETS.
- 01.48 FIRE DEPARTMENT "KNOX BOX" LOCATION.
- 01.53 SAFETY TRIANGLE.
- 01.54 ROADWAY SIGHT DISTANCE TRIANGLE.
- 01.55 PUBLIC FIRE HYDRANT BY OTHERS.
- 01.56 8' H. GALVANIZED WIRE CHAIN LINK FENCE, GROUNDED PER CORE REQUIREMENTS.
- 01.57 PROPOSED FIRE DEPARTMENT CONNECTION (FDC) LOCATION.

GENERAL NOTES

1. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 15-FOOT UTILITY EASEMENT ALONG THE FRONT AND 10-FOOT ALONG THE REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 10-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.

LEGEND

- PROPERTY LINE BOUNDARY
- - - RIGHT OF WAY BOUNDARY
- - - EASEMENT / DEDICATION
- XXXXX FENCE

LINE TABLE

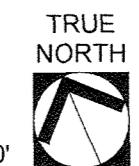
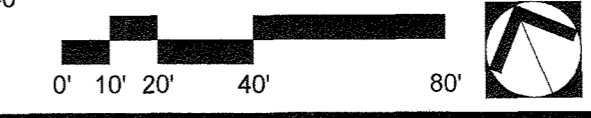
LINE	BEARING	LENGTH
L1	S66°45'32"E	18.38'
L2	N04°17'21"E	154.43'
L3	S46°03'50"E	2.04'
L4	S68°58'39"E	9.28'
L5	S42°43'54"E	27.25'
L6	S63°27'10"E	56.13'
L7	S79°47'08"E	46.56'
L8	N90°00'00"E	38.87'
L9	N87°32'21"E	40.69'
L10	N83°25'23"E	18.49'
L11	S53°23'14"E	5.11'
L12	S48°40'28"E	5.18'
L13	S35°55'51"E	8.20'

LINE TABLE

LINE	BEARING	LENGTH
L14	S32°55'32"E	11.85'
L15	S21°03'09"E	44.42'
L16	S62°22'21"E	36.83'
L17	S31°14'17"E	18.67'
L18	S67°01'33"E	23.12'
L19	S75°45'52"E	24.25'
L20	S78°27'37"E	24.59'
L21	N66°45'32"W	5.26'
L22	N23°14'28"E	9.00'
L23	N66°45'32"W	41.00'
L24	S23°14'28"W	9.00'
L25	S23°14'28"E	9.00'
L26	N66°45'32"W	20.50'

ATCHISON, TOPEKA AND SANTA FE RAILROAD
(100' R.O.W.)
BOOK 1113, PAGE 1427

1 SITE PLAN
SCALE: 1" = 40'-0"

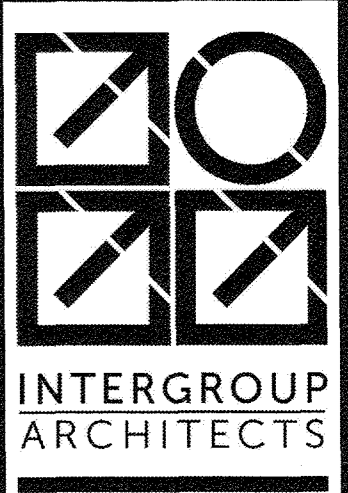


PROJECT NO. SDP21-0045

REVISIONS	DATE	DESCRIPTION
CW	11-24-2021	2ND SUBMITTAL
CW	1-21-2022	3RD SUBMITTAL
CW	2-24-2022	4TH SUBMITTAL
CW	3-29-2022	5TH SUBMITTAL
CW	4-18-2022	6TH SUBMITTAL

DRAWN	CW
CHECKED	CS
DESIGNED	KS
FILENAME	CS-11102A

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
 SITE DEVELOPMENT PLAN
SITE PLAN



architecture
planning
interiors

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www.igarch.com

JOB NO.	CS-11102A
SCALE	AS SHOWN
DATE	
SHEETS	12
SHEET	2

By: Author

4/18/2022 9:53:18 AM

SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 THE MEADOWS FILING 19, PARCEL 2 NORTH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LINETYPE LEGEND

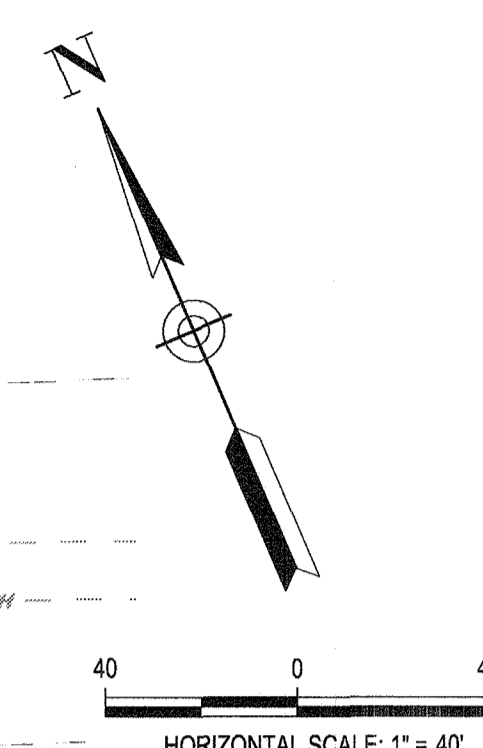
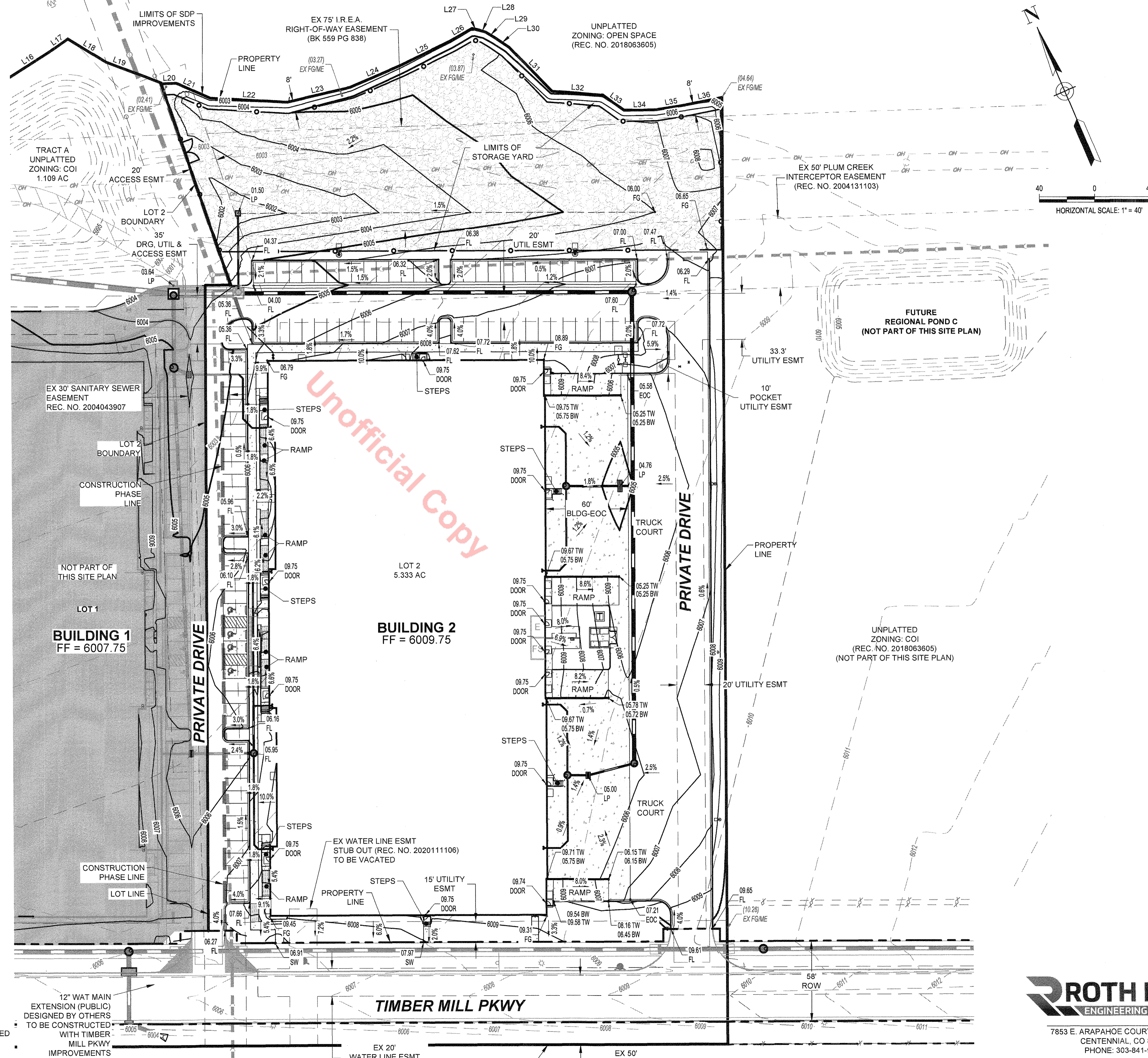
PROPOSED		EXISTING
— 5280 —	CONTOUR - MAJOR	- - - 5280 - - -
— 5279 —	CONTOUR - MINOR	- - - 5279 - - -
—>—>—>	DRAINAGE SWALE	
○ —	FENCE	
—●—●—●	HANDRAIL	
—	PROPERTY BOUNDARY	
—	RETAINING WALL	
— - -	RIGHT-OF-WAY LINE	
—	STORM SEWER	

SYMBOLS LEGEND

	DOOR		FIRE HYDRANT
	ROOF DRAIN		SLOPE
	SPOT ELEVATION		STORM INLET
	STORM MANHOLE		

HATCHING LEGEND

	ADA RAMP
	CONCRETE PAVING
	RIPRAP / GRAVEL
	TRUNCATED DOMES



PL BEARING & DISTANCE TABLE:

LINE TABLE			LINE TABLE		
LINE	LENGTH	DIRECTION	LINE	LENGTH	DIRECTION
L17	13.52	N78° 15' 32"E	L27	5.11	S53° 23' 14"E
L18	32.35	S35° 24' 57"E	L28	5.18	S48° 40' 28"E
L19	44.18	S46° 03' 50"E	L29	8.20	S35° 55' 51"E
L20	9.28	S68° 58' 39"E	L30	11.85	S32° 55' 32"E
L21	27.25	S42° 43' 54"E	L31	44.42	S21° 03' 09"E
L22	56.13	S63° 27' 10"E	L32	36.83	S62° 22' 21"E
L23	46.56	S79° 47' 08"E	L33	18.67	S31° 14' 17"E
L24	38.87	N90° 00' 00"E	L34	23.12	S67° 01' 33"E
L25	40.69	N87° 32' 21"E	L35	24.25	S75° 45' 52"E
L26	18.49	N83° 25' 23"E	L36	24.59	S78° 27' 37"E

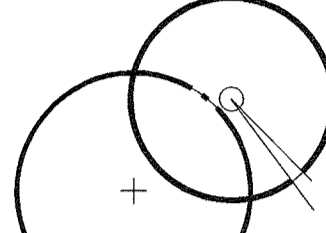










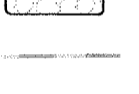
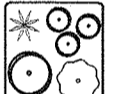
- GENERAL NOTES:**
- SITE IS NOT LOCATED WITHIN A 100-YEAR FLOODPLAIN PER FEMA FIRM MAP #08035C0167G, DATED 03/16/2016.
 - AN EXISTING DITCH AND CULVERT TRAVELING THROUGH THE SITE IS TO BE CAPTURED VIA STORM PIPE AND DISCHARGED NORTH OUTSIDE OF THE PROJECT SITE (DESIGN BY CRDC). OTHERWISE THERE ARE NO OTHER DRAINAGE-WAYS OR IRRIGATION DITCHES THAT TRAVEL THROUGH THE SITE.
 - RETAINING WALLS SHALL BE CAST-IN-PLACE CONCRETE, RE: STRUCTURAL FOR DETAILS.
 - TIMBER MILL PARKWAY DRIVE CUT AND ROW IMPROVEMENTS BY CRDC AND NOT A PART OF PROJECT IMPROVEMENTS.
 - PRIVATE REGIONAL POND DESIGN IS BY CRDC AND NOT A PART OF PROJECT IMPROVEMENTS.

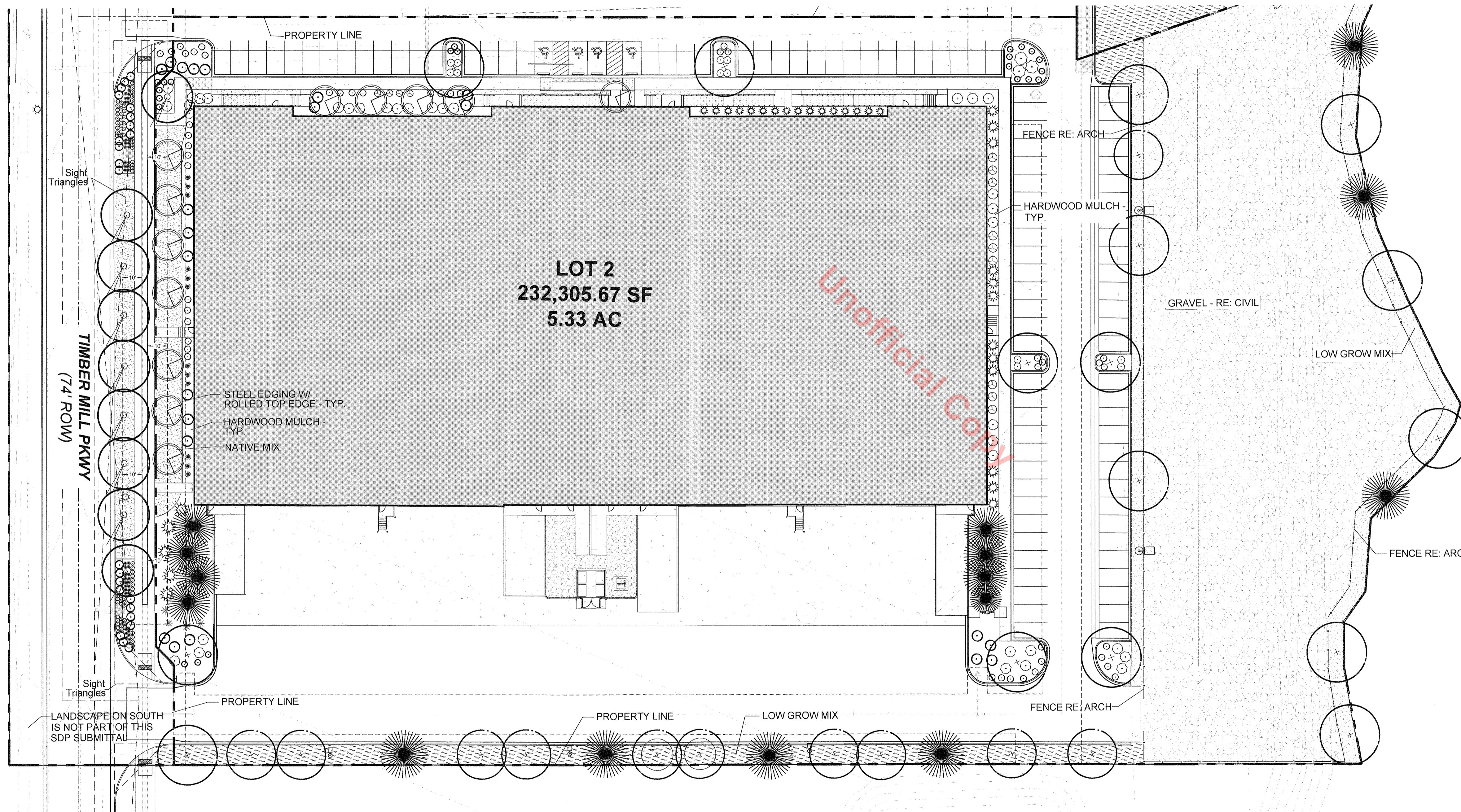
<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION							<p>DRAWN CBW</p> <p>CHECKED BS</p> <p>DESIGNED KS</p> <p>FILENAME BS - 10961</p>
NO.	DATE	DESCRIPTION								
<p>CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 SITE DEVELOPMENT PLAN</p>										
<p>GRADING PLAN</p>										
<p>INTERGROUP ARCHITECTS</p>										
<p>architecture planning interiors</p> <p>2000 West Littleton Blvd Littleton, Colorado 80120 P. 303.738.8877 F. 303.738.2294 www.igarch.com</p>										
<p>ROTH LANG ENGINEERING GROUP, LLC</p> <p>7853 E. ARAPAHOE COURT, SUITE 2500 CENTENNIAL, CO 80112 PHONE: 303-841-9365</p>										
<p>PROJECT NO. SDP21-0045</p>										
<p>JOB NO. BS - 10961</p> <p>SCALE AS SHOWN</p> <p>DATE 02/23/2022</p> <p>SHEETS 12</p>	<p>SHEET 03</p>									

SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 FILING 19, PARCEL 2 NORTH

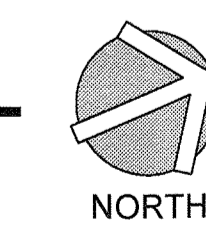
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LANDSCAPE LEGEND:

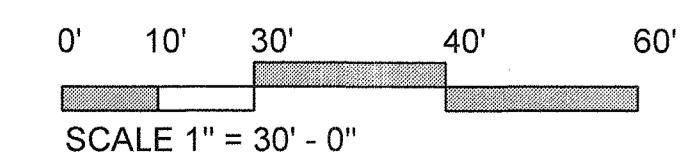
-  SHADE TREE
-  ORNAMENTAL TREE
-  EVERGREEN TREE
-  DECIDUOUS SHRUB
-  ORNAMENTAL GRASS
-  STREETScape PERENNIAL / SHRUB
-  LOW GROW MIX
-  NATIVE GRASS MIX
-  DETENTION POND GRASS MIX
-  1"-3" LOCAL RIVER ROCK
-  RE: GRAVEL YARD CIVIL
-  STEEL EDGING WITH PROTECTIVE CAP
-  SHREDDED HARDWOOD MULCH



LANDSCAPE PLAN



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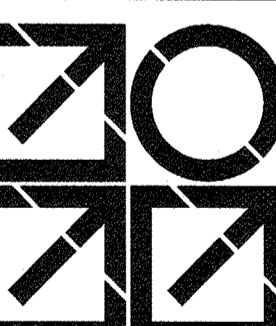


PROJECT NO. SDP21-0045

REVISIONS	DATE	DESCRIPTION
BY JH	03-28-2022	5TH SUBMITTAL
BY JH	04-22-2022	6TH SUBMITTAL

DRAWN	SW
CHECKED	JH
DESIGNED	SW
FILENAME	BS - 10961

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
SITE DEVELOPMENT PLAN



**INTERGROUP
ARCHITECTS**

architecture
planning
interiors
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www.igarch.com

JOB NO.	BS - 10961
SCALE	AS SHOWN
DATE	04/22/2022
SHEETS	12
SHEET	5

LANDSCAPE PLAN

SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 FILING 19, PARCEL 2 NORTH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL PLANTING NOTES:

- PRIOR TO BEGINNING ANY WORK ON THE SITE THE LANDSCAPE CONTRACTOR SHALL CONTACT THE OFFICE OF THE GENERAL CONTRACTOR AND LANDSCAPE ARCHITECT FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING OF WORK.
- LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICE NECESSARY TO FURNISH AND INSTALL PLANTINGS AND MATERIALS AS SPECIFIED HEREIN AND AS SHOWN ON PLANS.
- NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT THE LANDSCAPE ARCHITECTS APPROVAL IN WRITING. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED.
- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REVISE PLANT MATERIAL LIST AS DEEMED NECESSARY.
- ALL PLANT LOCATIONS ARE APPROXIMATE. ADJUST AS NECESSARY TO AVOID CONFLICTS.
- QUANTITIES OF MATERIALS SHOWN ON THE PLANTING PLAN TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT MATERIAL SCHEDULE. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFY ALL QUANTITIES ON THE PLANTING PLAN(S).
- LANDSCAPE CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE COMMENCEMENT OF WORK. VERIFY EXACT LOCATION OF ALL UTILITIES BY CONTACTING APPROPRIATE UTILITY COMPANIES. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE REPAIR / REPLACEMENT FOR ANY DAMAGE CAUSED TO UTILITIES.
- FINISH GRADE SHALL BE ADJUSTED FOR TURF THICKNESS.
- ALL PLANT MATERIALS SHALL HAVE BACKFILL, CAREFULLY PLACED AROUND BASE AND IDES OF BALL TO TWO-THIRDS (2/3) DEPTH OF BALL THEN THOROUGHLY SOAKED WITH WATER TO ALLOW SETTLEMENT. ALL WIRE, BURLAP FASTENERS, TOP TWO-THIRD (2/3) OF BURLAP AND LOOSE BURLAP SHALL BE REMOVED AT THIS TIME THE REMAINDER OF HE PIT SHALL THEN BE BACKFILLED, ALLOWING FOR THE DEPTH OF THE MULCH SAUCER AND SETTLEMENT OF BACKFILL. BACKFILL SHALL THEN BE THOROUGHLY WATERED ONCE AGAIN.

PERFORMANCE GUARANTEE:

- ALL PROPOSED LANDSCAPE IMPROVEMENTS SHALL BE GUARANTEED FOR A MINIMUM PERIOD OF TWO YEARS FROM SUBSTANTIAL COMPLETION OF THE PROJECT.

- AFTER PLANTING IS COMPLETED REPAIR INJURIES TO ALL PLANTS AS REQUIRED. LIMIT AMOUNT OF PRUNING TO A MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES. PRUNE IN SUCH A MANNER AS NOT TO CHANGE THE NATURAL GROWING HABIT OR SHAPE OF THE PLANT. MAKE ALL CUTS FLUSH, LEAVING NO STUBS. CENTRAL LEADERS SHALL NOT BE REMOVED. IF THE CENTRAL LEADER OF A PLANT IS DEAD THE PLANT SHALL BE REPLACED.
- PLANT SPECIFIED GROUND COVERS WITHIN ONE FOOT OF TRUCK OF TREES AND SHRUBS PLANTED WITHIN THE AREA. PLANTING ARRANGEMENTS SHALL BE TRIANGULAR WITH PROPER SPACING BETWEEN PLANTS.
- COMMERCIAL GRADE 3/8 INCH BY 4" POWDER COATED STEEL EDGING SHALL BE USED TO SEPARATE ALL TURF AREAS FROM PLANTING BEDS. EDGING TO HAVE A ROLLED TOP. PLACE EDGING FLUSH WITH GRADE AND STAKE TO GROUND PER MANUFACTURES RECOMMENDATIONS.
- LANDSCAPE CONTRACTOR TO PROVIDE THE LANDSCAPE CONTRACTOR A SAMPLE OF PROPOSED STEEL EDGING FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- USE SHREDDED CEDAR MULCH IN ALL PLANTING BEDS AND TREE SAUCERS. LANDSCAPE CONTRACTOR SHALL PROVIDE A 1 CUBIC FOOT SAMPLE OF PROPOSED MULCH TO LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL.
- PLACE FOUR INCHES OF MULCH IN ALL SHRUB BEDS, PLACE FOUR INCHES OF MULCH IN ALL GROUND COVER, PERENNIAL BEDS AND PLACE 4 INCHES OF MULCH AT ALL TREE SAUCERS.
- PLANTING BEDS RECEIVING MULCH ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMMERGENT HERBICIDE PRIOR TO PLANTING AND MULCH PLACEMENT. DO NOT APPLY HERBICIDE IN PERENNIAL OR ANNUAL BEDS.
- LANDSCAPE CONTRACTOR TO REMOVE TREE STAKES AND ALL DEAD WOOD ON TREES AND SHRUBS ONE YEAR AFTER SUBSTANTIAL COMPLETION IS GRANTED ON THE COMPLETE PROJECT.
- REPORT ANY DISCREPANCIES IN THE PLANTING PLAN TO THE LANDSCAPE ARCHITECT PRIOR TO STARTING CONSTRUCTION.
- IRRIGATION HEADS SHALL BE PLACED ABOVE THE 2-YEAR WATER SURFACE ELEVATION IN THE WATER QUALITY SWALE.

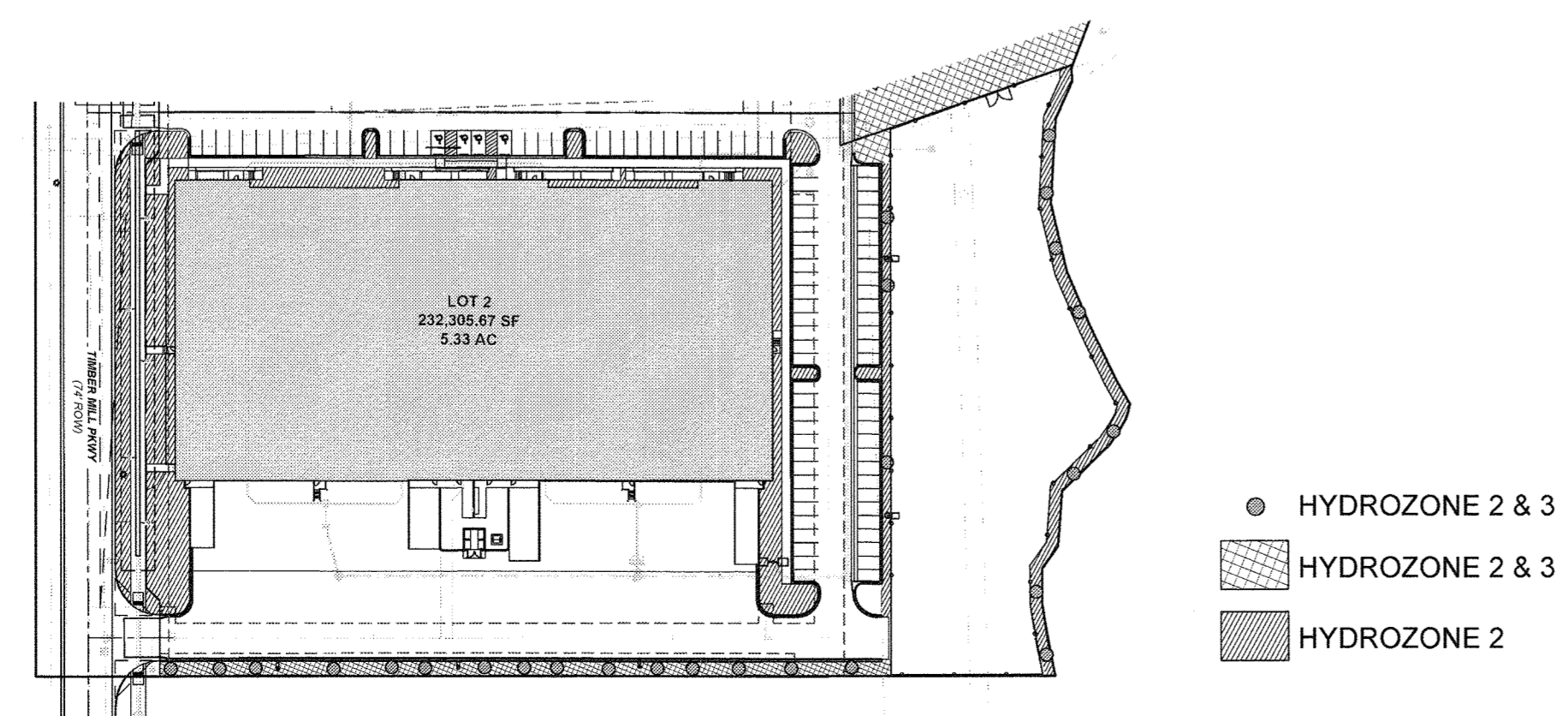
CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

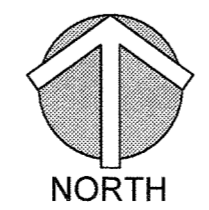
CLWUR (Composite landscape water use rating) Chart

Project Name: Castle Rock Industrial at the Meadows: PHASE 2
Site Development Plan (SDP) Number: 21-0045

Irrigation Spray or Drip?	Plant Name (Common)	Appl. Rate (inches/month)	Zone (VL,L,Mod,HW)	% of Total Area	IA Irrigated area (in sq. ft. for each zone)	LWUR Landscape Water Use Rating	TA Total Area of all Irrigated Landscape Zones	CLWUR (LWUR x IA) /TA
Rotor	Low Grow - Native Grass	0.74	L	0.80	11,130	1.5	28,362	0.59
Pop Up	Amended Nature Choice & Low Grow	1.83	VL	0.80	4,424	2	28,362	0.31
Drip	Shrub Bed	0.6	L, Mod	0.60	12,808	3	28,362	1.35
Total of the CLWUR								2.26



HYDROZONE MAP



COMMERCIAL SITE INVENTORY - LOT 2

AREA	TOTAL AREA IN SF.	REQUIRED AREA 10%	REQUIRED TREES *	PROPOSED TREES	REQUIRED SHRUBS **	PROPOSED SHRUBS
Gross Site	232,497 SF	23,250 SF	(23,250 SF / 1,000 SF) x 2 = 47	47	(23,250 SF / 1,000 SF) x 4 = 93	176
Parking	30,377.93 SF	3,037.80 SF	(3,037.80 SF / 1,000 SF) x 2 = 6	7	(3,037.80 SF / 1,000 SF) x 4 = 12	52
Street Trees*** Timber Mill Pkwy	Length: 320 L.F.	1 Tree / 40 L.F.	8 Required Trees	8	n/a	n/a

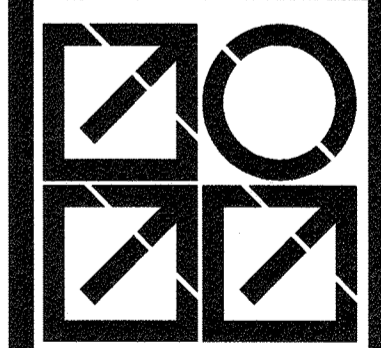
* Required Trees = 2 trees per 1,000 sf. of required area; Shade trees = 52% of all tree types.
 ** Required Shrubs = 4 shrubs per 1,000 sf. of required area
 *** Streetscape was designed to the Timber Mill Parkway Design Standards & Town Landscape Manual: Section 8

REVISIONS	DESCRIPTION	DATE	BY
		03-28-2022	JH
		04-22-2022	JH

DRAWN	SW
CHECKED	JH
DESIGNED	SW
FILENAME	BS - 10961

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
SITE DEVELOPMENT PLAN

LANDSCAPE NOTES



INTERGROUP ARCHITECTS

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planning
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Littleton, Colorado 80120
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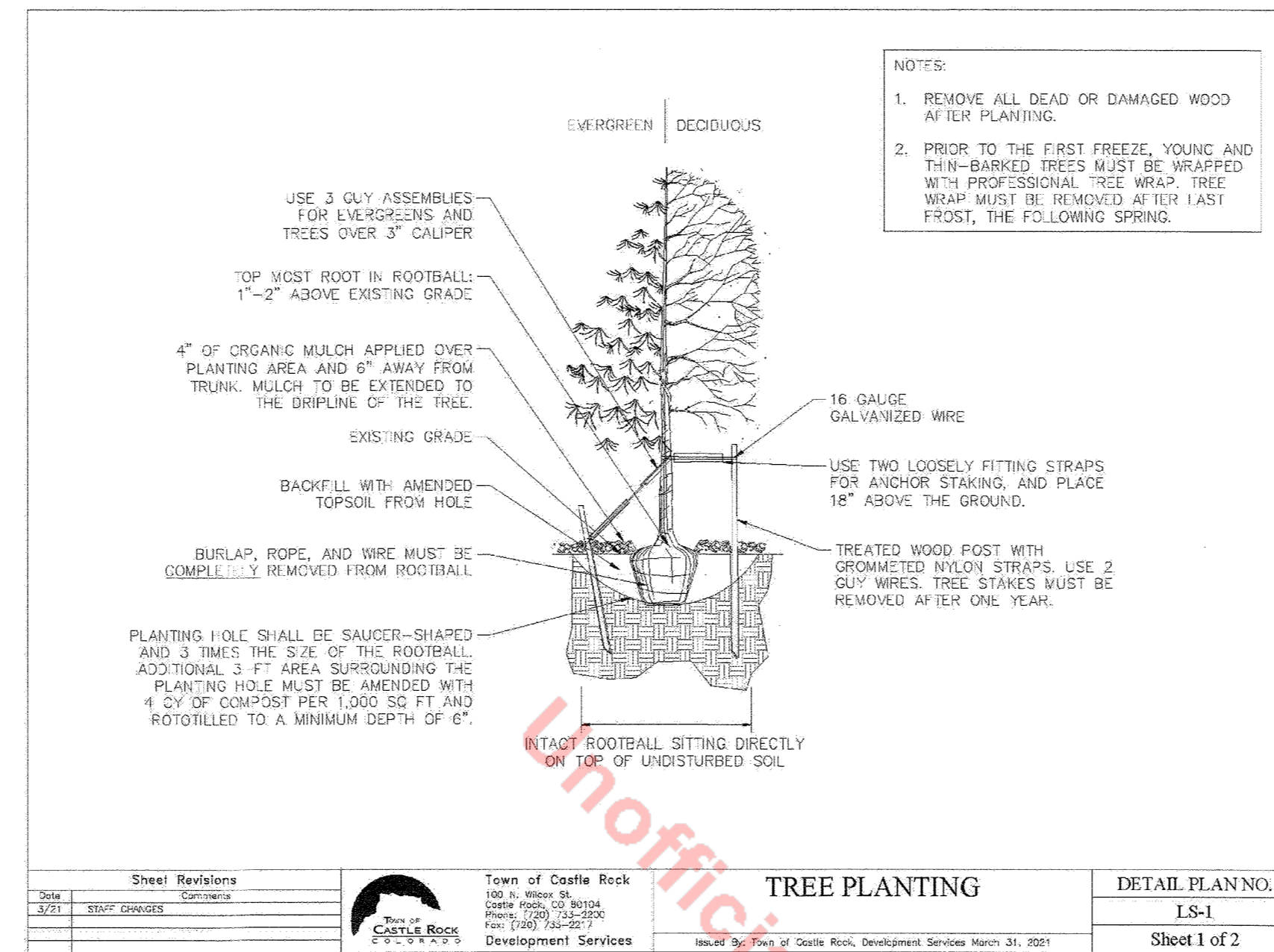
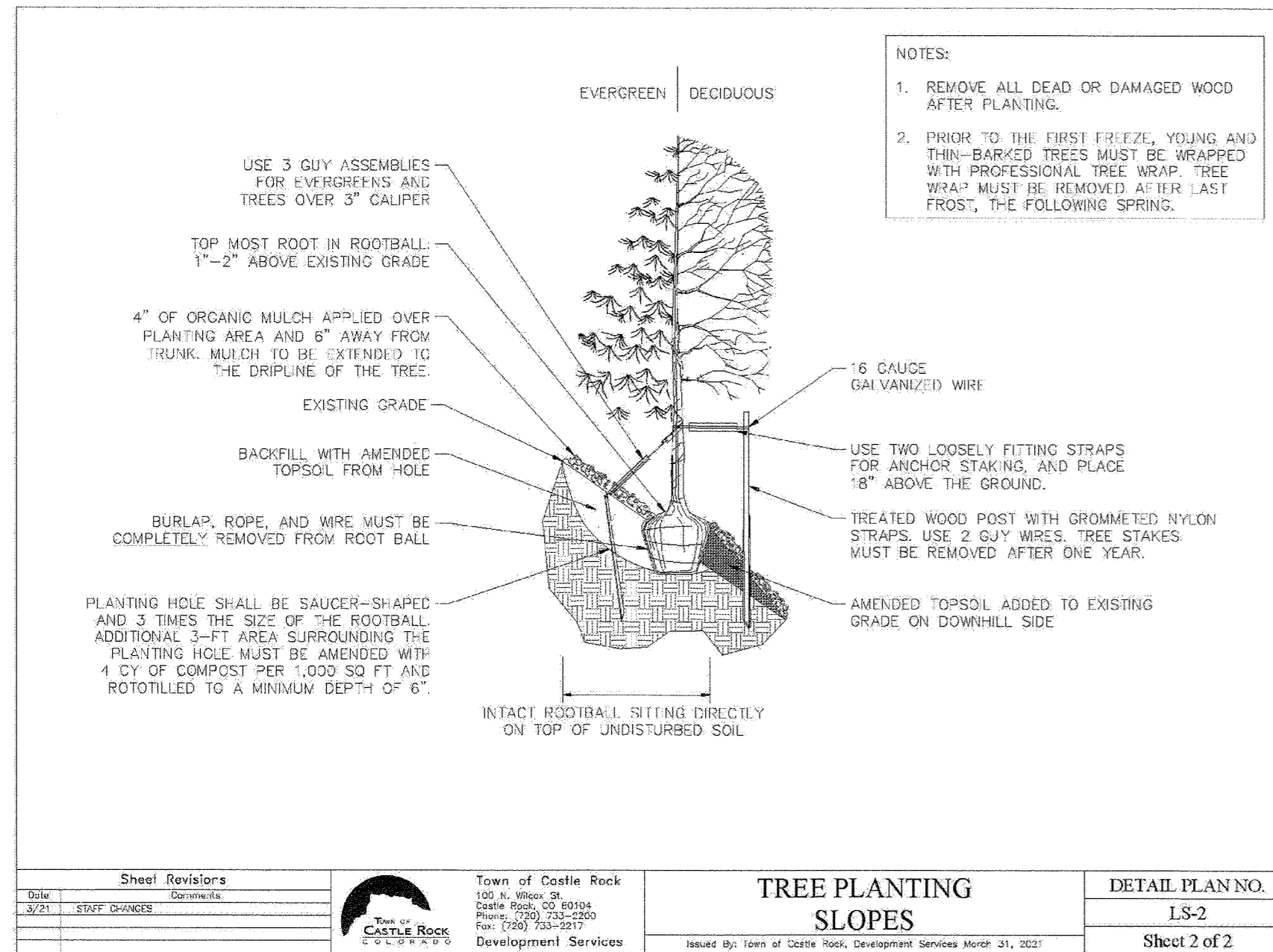
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SHEET	6

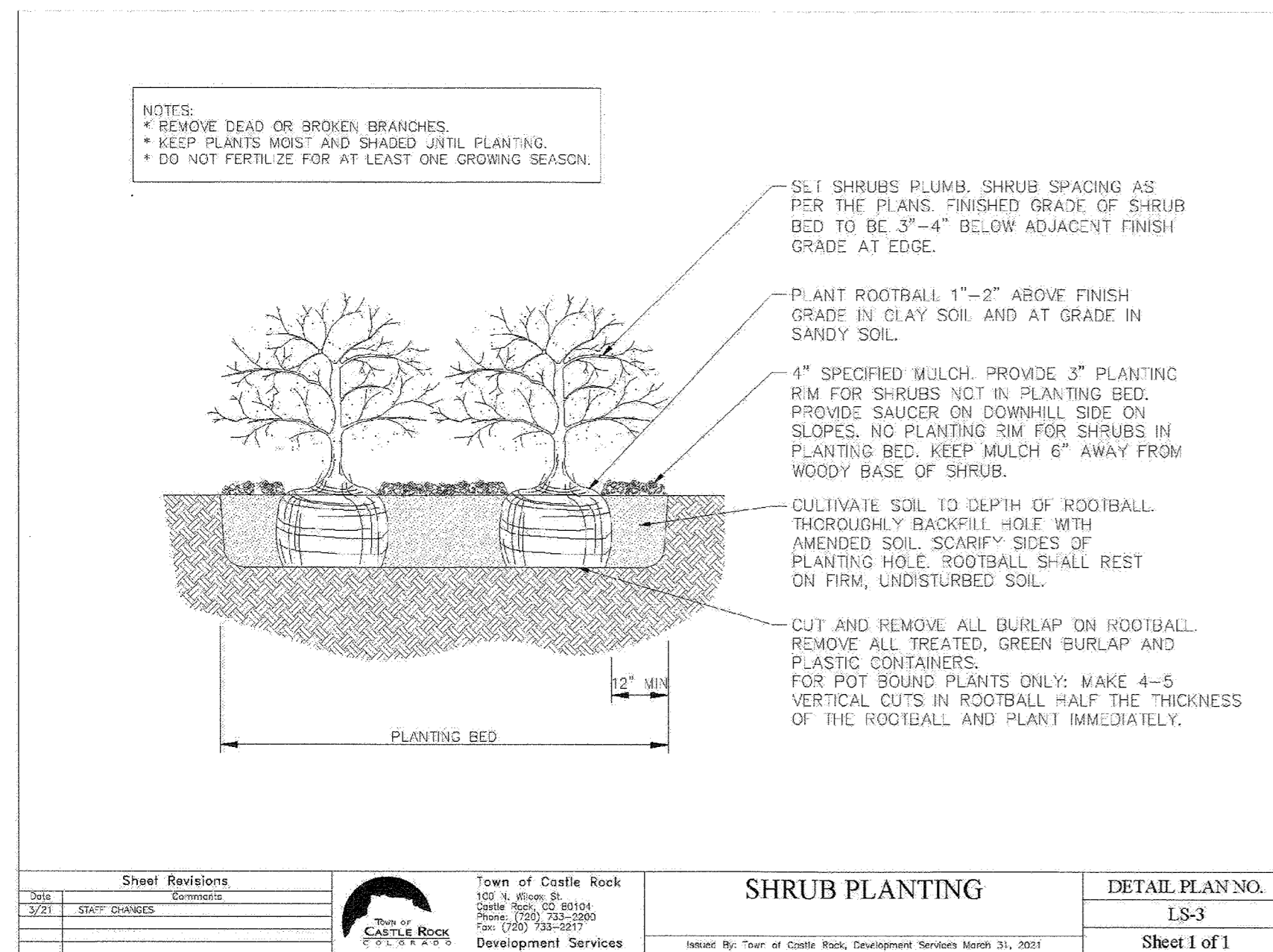
SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 FILING 19, PARCEL 2 NORTH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LOT 2 PLANT MATERIAL SCHEDULE:

BOTANICAL NAME	COMMON NAME	PLANTING SIZE	COND.	MATURE HEIGHT	HYDRO-ZONE
SHADE TREES					
CELTIS OCCIDENTALIS	COMMON HACKBERRY	2 1/2" CAL.	B & B	45'h x 45'w	4
ACER FREEMANII 'AUTUMN BLAZE'	AUTUMN BLAZE	2 1/2" CAL.	B & B	50'h x 35'w	3
GYMNOCLADUS DIOICA	KENTUCKY COFFEETREE	2 1/2" CAL.	B & B	50'h x 35'w	2
QUERCUS ROBOR	ENGLISH OAK	2 1/2" CAL.	B & B	60'h x 40'w	3
TILIA X EUCHLORA	CREMEAN LINDEN	2 1/2" CAL.	B & B	60'h x 40'w	3
GLEDITSIA TRIACANTHOS 'IMPERIAL'	IMPERIAL HONEYLOCUST	2 1/2" CAL.	B & B	45'h x 40'w	2,3
QUERCUS RUBRA	SWAMP WHITE OAK	2 1/2" CAL.	B & B	50'h x 45'w	2,3
QUERCUS BICOLOR	NORTHERN RED OAK	2 1/2" CAL.	B & B	75'h x 45'w	2,3
CORYLUS COLURNA	TURKISH FILBERT TREE	2 1/2" CAL.	B & B	50'h x 30'w	3
EVERGREEN TREES					
PINUS NIGRA	AUSTRIAN PINE	6' HT.	B & B	50'h x 30'w	2
PINUS EDULIS	PINON PINE	6' HT.	B & B	25'h x 20'w	1
ORNAMENTAL TREES					
PRUNUS VIRGINIANA 'SHUBERT'	CANADA RED CHOKEBERRY	1 1/2" CAL.	B & B	25'h x 20'w	1,2
MALUS SP. 'SPRINGSNOW'	SPRING SNOW CRABAPPLE	1 1/2" CAL.	B & B	15'h x 15'w	3
PYRUS CALLERYANA	BRADFORD PEAR	1 1/2" CAL.	B & B	30'h x 30'w	2,3
CRATAEGUS CRUS-GALLI VAR. INERMIS	COCKSPUR THORNLESS HAWTHORN	1 1/2" CAL.	B & B	15'h x 15'w	1,2
SYRINGA RETICULATA	JAPANESE TREE LILAC	1 1/2" CAL.	B & B	20'h x 20'w	3
ACER TATARICUM	TATARIAN MAPLE	1 1/2" CAL.	B & B	20'h x 20'w	3
COTONEASTER APICULATUS	CRANBERRY COTONEASTER	5 GAL.	CONT.	3'h x 6'w	3
POTENTILLA FRUTICOSA 'GOLDEN DROP'	GOLD DROP POTENTILLA	5 GAL.	CONT.	3'h x 2'w	2,3
PRUNUS BESSEYI 'WESTERN'	WESTERN SANDCHERRY	5 GAL.	CONT.	6'h x 5'w	2,3
PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	5 GAL.	CONT.	2'h x 5'w	2,3
LIGUSTRUM OBTUSIFOLIUM REGELIANUM	REGEAL PRIVET	5 GAL.	CONT.	5'h x 5'w	3
SPIREA JAPONICA 'ANTHONY WATERER'	ANTHONY WATERER SPIREA	5 GAL.	CONT.	4'h x 4'w	3
RIBES ALPINUM	ALPINE CURRANT	5 GAL.	CONT.	5'h x 5'w	3
PHYSOCARPUS MICROPHYLLUS	LITTLELEAF MOCKORANGE	5 GAL.	CONT.	4'h x 5'w	3
EUONYMUS ALTATUS 'COMPACTA'	DWARF BURNING BUSH	5 GAL.	CONT.	5'h x 4'w	3
CARYOPTERIS X CLANDONENSIS	BLUEMIST SPIREA	5 GAL.	CONT.	4'h x 4'w	2,3
PHYSOCARPUS OPULIFOLIUS 'DARTS GOLD'	NINEBARK	5 GAL.	CONT.	4'h x 4'w	2
RHUS GLABRA 'CISMONTANA'	ROCKY MOUNTAIN SUMAC	5 GAL.	CONT.	5'h x 6'w	1,2
RUBUS DELICIOSUS	BOULDER RASPBERRY	5 GAL.	CONT.	8'h x 6'w	1,2
SHEPERDIA CANADENSIS	RUSSET BUFFALOBERRY	5 GAL.	CONT.	4'h x 4'w	1,2
ARCTOSTAPHYLOS X COLORADOENSIS	PANCHITO MANZANITA	5 GAL.	CONT.	1'h x 3'w	1,2
PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SANDCHERRY	5 GAL.	CONT.	2'h x 5'w	1,2
ORNAMENTAL GRASS					
MISCANTHUS SINESIS 'YAKU JIMA'	DRARF MAIDEN GRASS 'YAKU JIMA'	1 GAL.	CONT.	10'h x 4'w	3
CALAMAGROSTIS X ACUTIFOLIUS	KARL FOERSTER REED GRASS	1 GAL.	CONT.	5'h x 2'w	2,3
ORYZOPSIS HYMENDOIDES	INDIAN RICEGRASS	1 GAL.	CONT.	2'h x 2'w	1,2
BOUTELOUA GRACILIS 'BLONDE AMBITION'	BLONDE AMBITION GRAMMA GRASS	1 GAL.	CONT.	1'h x 3'w	1,2
PERENNIALS					
LIATRIS PUNCTATA	DOTTED GAYFEATHER	1 GAL.	CONT.	5'h x 5'w	1,2
ECHINACEA PURPEA	PURPLE CONEFLOWER	1 GAL.	CONT.	3'h x 1'w	1,2
PENSTEMON MEXICALI	PIKES PEAK PENSTEMON	1 GAL.	CONT.	1.5'h x 1'w	1,2
MELAMPIDIUM LEUCANTHUM	BLACKFOOT DAISY	1 GAL.	CONT.	1.5'h x 1'w	1,2
COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM CREOPSIS	1 GAL.	CONT.	2'h x 1'w	1,2
ACHILLEA FILIPENDULINA 'MOONSHINE'	MOONSHINE YARROW	1 GAL.	CONT.	2.5'h x 2'w	1,2



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional **Justin A. Hay**

Town of Castle Rock Registration # _____ State of Colorado License Landscape Architect # **923**

Company Name **StackLot L.L.C.** Address **5639 S. Curtice Street, Littleton, CO 80120**

Phone **(303) 883-2735** Email **justinhay@stacklot.com** Date **October 6, 2021**

PROJECT NAME **CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2**

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (in cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
232,497 sf	23,250 sf	Native Grass Low Grow Mix 4,425 sf	14,099 sf	47	47	93	176	4	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscape Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
30,378 sf	4,816 sf	101	1,204 sf	8	8 feet	6	7	12	52

NOTE: TC22-0037, TREES CLOSER THAN 10' FROM STORM-WATER INFRASTRUCTURE.

SIGHT TRIANGLE PLANTING NOTE

1. ALL PROPOSED PLANT SPECIES WITHIN THE SIGHT TRIANGLE SHALL NOT EXCEED 30 INCHES OF MATURE HEIGHT AS MEASURED FROM THE ADJACENT FLOWLINE.



LITTLETON, COLORADO 80120
WWW.STACKLOT.COM
P. 303.883.2735

PROJECT NO. SDP21-0045

REVISIONS	DATE	DESCRIPTION
	03-28-2022	5TH SUBMITTAL
	04-22-2022	6TH SUBMITTAL

DRAWN	SW
CHECKED	JH
DESIGNED	SW
FILENAME	BS - 10961

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
SITE DEVELOPMENT PLAN



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JOB NO.	BS - 10961
SCALE	AS SHOWN
DATE	04/22/2022
SHEETS	12
SHEET	7

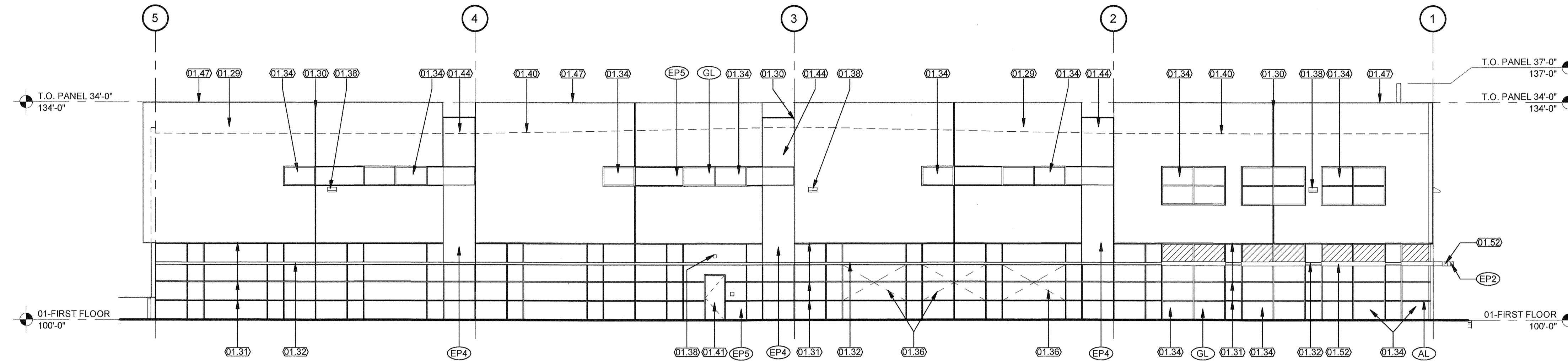
Revised April 2013

SITE DEVELOPMENT PLAN

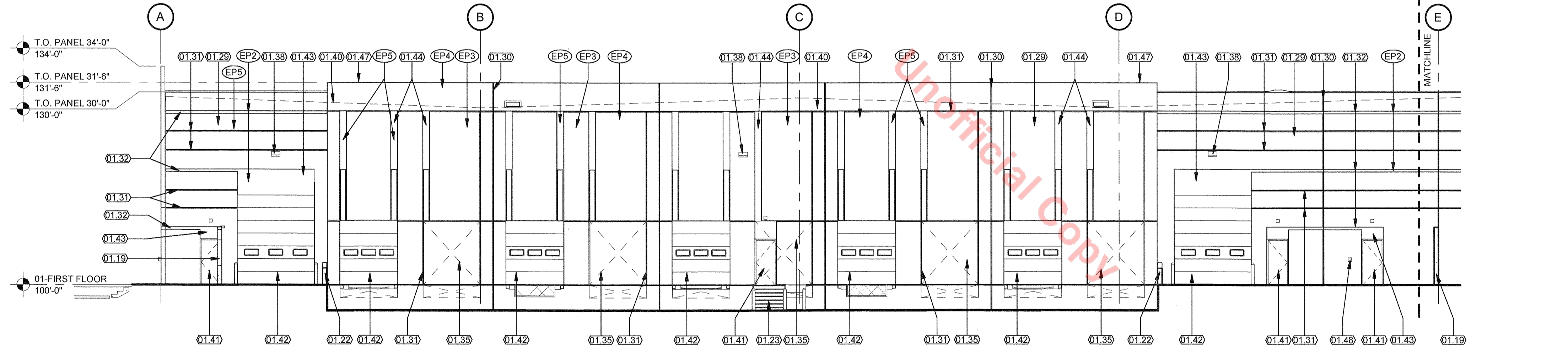
CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2

THE MEADOWS FILING 19, PARCEL 2 NORTH

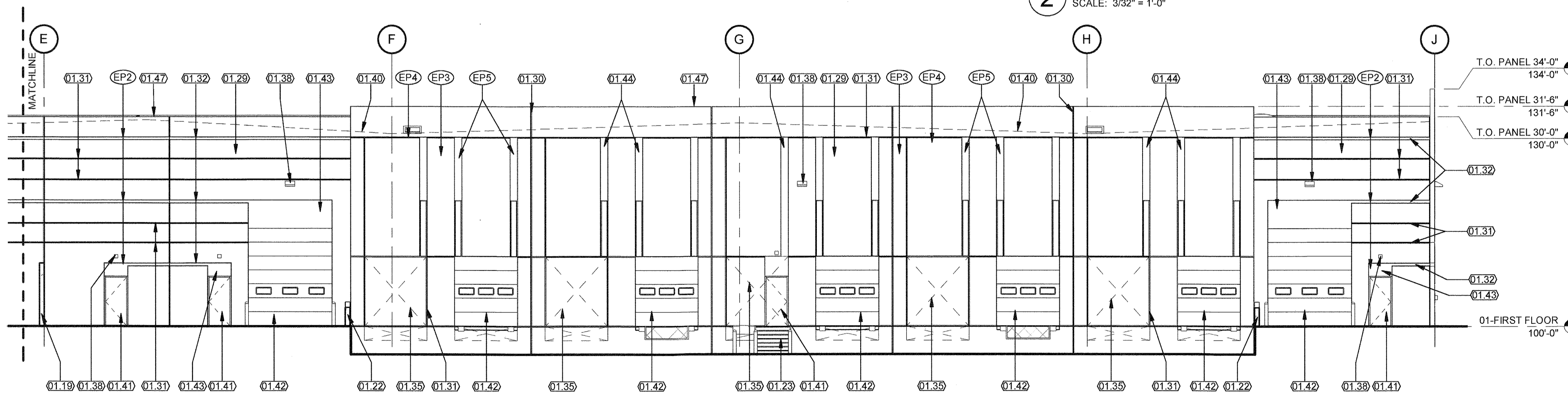
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



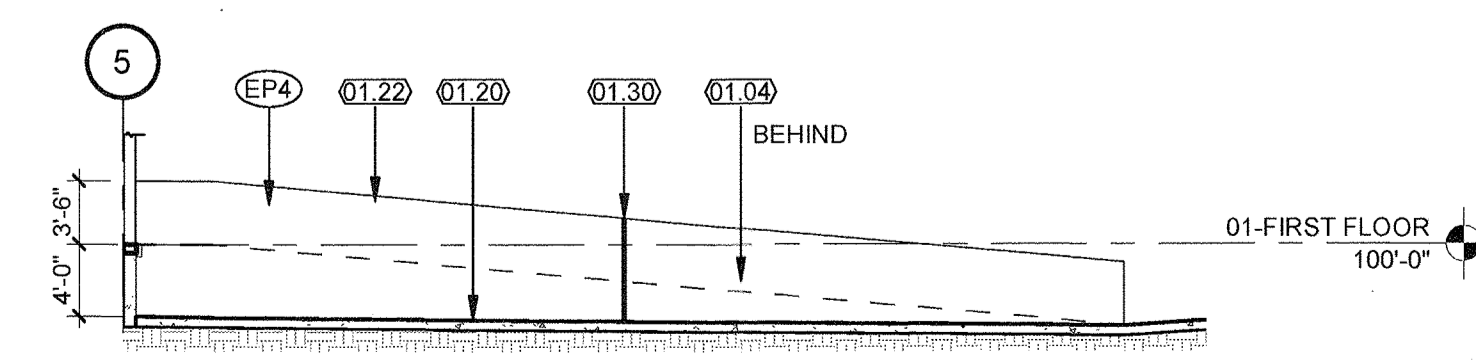
1 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION - SOUTH HALF
SCALE: 3/32" = 1'-0"



3 EAST ELEVATION - NORTH HALF
SCALE: 3/32" = 1'-0"



4 DRIVE-IN RAMP WALL, TYP.
SCALE: 3/32" = 1'-0"

KEYNOTES:

- 01.04 REINFORCED CONCRETE PAVING AT TRUCK RAMP.
- 01.19 CONCRETE PANEL SCREEN WALL.
- 01.20 REINFORCED CONCRETE PAVING AT TRUCK APRON AND LOADING DOCKS.
- 01.22 SLOPED CONCRETE RETAINING WALL.
- 01.23 PAINTED CAST TILT-UP CONCRETE PANEL, PAINTED. SEE FINISH LEGEND FOR COLORS.
- 01.29 SITE CAST TILT-UP CONCRETE PANEL, PAINTED. SEE FINISH LEGEND FOR COLORS.
- 01.30 CONCRETE PANEL JOINT.
- 01.31 3/4" D. x 2 1/4" W. REVEAL, PAINTED.
- 01.32 3/4" D. x 5 1/2" W. REVEAL, PAINTED.
- 01.34 1" INSULATED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE EXTERIOR FINISH LEGEND FOR GLAZING AND FRAME COLORS.
- 01.35 KNOCK-OUT FOR FUTURE DOCK/ DRIVE-IN DOOR.
- 01.36 KNOCK-OUT FOR FUTURE GLAZING.
- 01.38 WALL-MOUNTED LIGHT FIXTURE.
- 01.40 LINE OF ROOF BEYOND.
- 01.41 HOLLOW METAL DOOR, PAINTED.
- 01.42 OVERHEAD DOOR, PAINTED.
- 01.43 RECESS, 3/4" DEEP X EXTENT OF COLOR CHANGE, PAINTED.
- 01.44 RECESS, 1 1/2" DEEP X EXTENT OF COLOR CHANGE, PAINTED.
- 01.47 PREFINISHED METAL CAP FLASHING.
- 01.48 FIRE DEPARTMENT "KNOX BOX" LOCATION.
- 01.52 STEEL FRAMED ENTRY CANOPY.

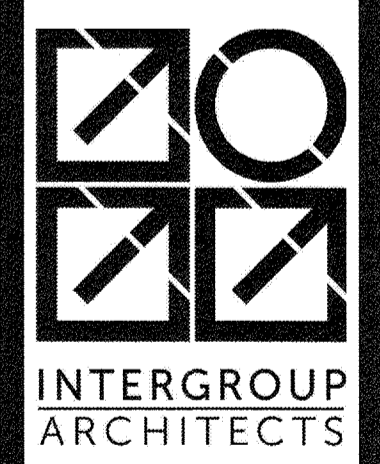
EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
EP1	PAINT		GLIDDEN #20YY 66/066 "CONTemporary WHITE"	MEDIUM TEXTURE @ CONC. WALL
EP2	PAINT		GLIDDEN #30YY 46/036 "ZEPPELIN"	MEDIUM TEXTURE @ CONC. WALL
EP3	PAINT		GLIDDEN #10YY 53/132 "BASIC KHAKI"	MEDIUM TEXTURE @ CONC. WALL
EP4	PAINT		GLIDDEN #00YY 38/123 "SAND MOTIF"	MEDIUM TEXTURE @ CONC. WALL
EP5	PAINT		GLIDDEN #00NN 16/000 "GREY TABBY"	MEDIUM TEXTURE @ CONC. WALL
AL	STOREFRONT FRAME		CLEAR ANODIZED ALUMINUM	
GL	GLAZING		SOLAR GRAY	

REVISIONS	DATE	DESCRIPTION
BY CW	11-24-2021	2ND SUBMITTAL
BY CW	1-21-2022	3RD SUBMITTAL
BY CW	2-24-2022	4TH SUBMITTAL
BY CW	3-29-2022	5TH SUBMITTAL
BY CW	4-18-2022	6TH SUBMITTAL

DRAWN	CW
CHECKED	CS
DESIGNED	KS
FILENAME	CS-11102A

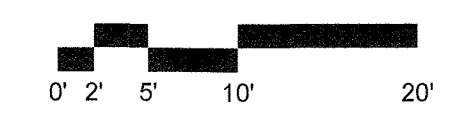
CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
 SITE DEVELOPMENT PLAN
EXTERIOR ELEVATIONS



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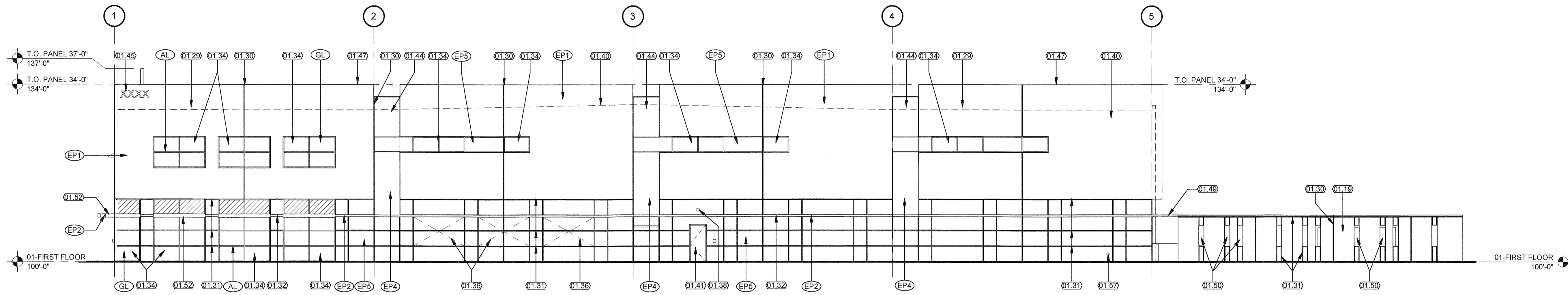
JOB NO.	CS-11102A
SCALE	AS SHOWN
DATE	
SHEETS	12
SHEET	8

PROJECT NO. SDP21-0045

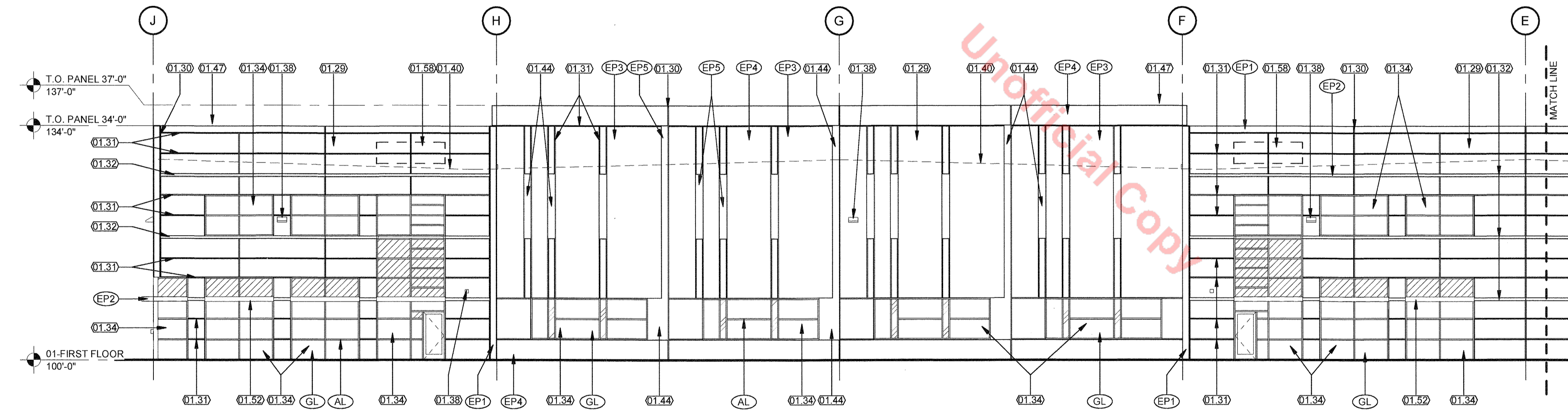


SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 THE MEADOWS FILING 19, PARCEL 2 NORTH

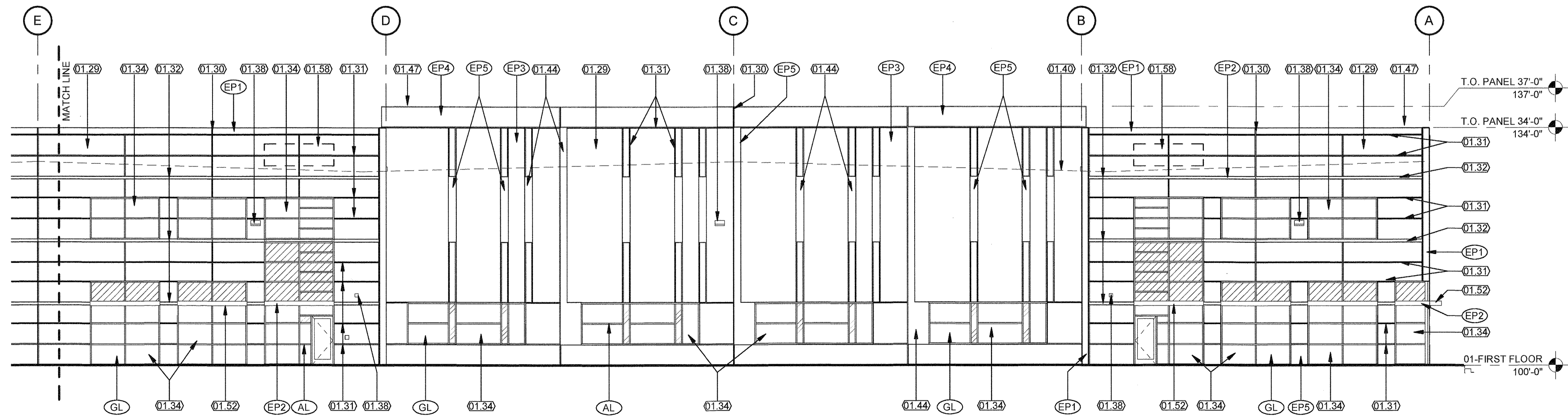
LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



2 WEST ELEVATION - NORTH HALF
SCALE: 3/32" = 1'-0"



3 WEST ELEVATION - SOUTH HALF
SCALE: 3/32" = 1'-0"

KEYNOTES:

- 01.19 CONCRETE PANEL SCREEN WALL.
- 01.29 SITE CAST TILT-UP CONCRETE PANEL, PAINTED. SEE FINISH LEGEND FOR COLORS.
- 01.30 CONCRETE PANEL JOINT.
- 01.31 3/4" D. x 2 1/4" W. REVEAL, PAINTED.
- 01.32 3/4" D. x 5 1/2" W. REVEAL, PAINTED.
- 01.34 1" INSULATED GLAZING IN ANODIZED ALUMINUM STOREFRONT SYSTEM. SEE EXTERIOR FINISH LEGEND FOR GLAZING AND FRAME COLORS.
- 01.36 KNOCK-OUT FOR FUTURE GLAZING.
- 01.38 WALL-MOUNTED LIGHT FIXTURE.
- 01.40 LINE OF ROOF BEYOND.
- 01.41 HOLLOW METAL DOOR, PAINTED.
- 01.44 RECESS, 1 1/2" DEEP X EXTENT OF COLOR CHANGE, PAINTED.
- 01.45 18" H. PIN-MOUNTED CHANNELUME ADDRESS NUMBERS.
- 01.47 PREFINISHED METAL CAP FLASHING.
- 01.49 TUBE STEEL FRAMING, PAINTED.
- 01.50 OPENING IN PANEL.
- 01.52 STEEL FRAMED ENTRY CANOPY.
- 01.57 PROPOSED FIRE DEPARTMENT CONNECTION (FDC) LOCATION.
- 01.58 POTENTIAL FUTURE TENANT SIGNAGE LOCATION.

EXTERIOR FINISH LEGEND

KEY	DESCRIPTION	IMAGE	MANUFACTURER	REMARKS / COMMENTS
EP1	PAINT		GLIDDEN #20YY 85/069 "CONTEMPORARY WHITE"	MEDIUM TEXTURE @ CONC. WALL
EP2	PAINT		GLIDDEN #30YY 46/038 "ZEPPELIN"	MEDIUM TEXTURE @ CONC. WALL
EP3	PAINT		GLIDDEN #10YY 53/132 "BASIC KHAKI"	MEDIUM TEXTURE @ CONC. WALL
EP4	PAINT		GLIDDEN #00YY 38/123 "SAND MOTIF"	MEDIUM TEXTURE @ CONC. WALL
EP5	PAINT		GLIDDEN #00NN 16/000 "GREY TABB"	MEDIUM TEXTURE @ CONC. WALL
AL	STOREFRONT FRAME		CLEAR ANODIZED ALUMINUM	
GL	GLAZING		SOLAR GRAY	



PROJECT NO. SDP21-0045

REVISIONS	DATE	DESCRIPTION
BY CW	11-24-2021	2ND SUBMITTAL
BY CW	1-21-2022	3RD SUBMITTAL
BY CW	2-24-2022	4TH SUBMITTAL
BY CW	3-29-2022	5TH SUBMITTAL
BY CW	4-18-2022	6TH SUBMITTAL

DRAWN	CW
CHECKED	CS
DESIGNED	KS
FILENAME	CS-11102A

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
 SITE DEVELOPMENT PLAN
EXTERIOR ELEVATIONS



architecture planning interiors	2000 West Littleton Blvd Littleton, Colorado 80120 P. 303.738.8877 F. 303.738.2294 www.igarch.com
JOB NO.	CS-11102A
SCALE	AS SHOWN
DATE	
SHEETS	12
SHEET	9

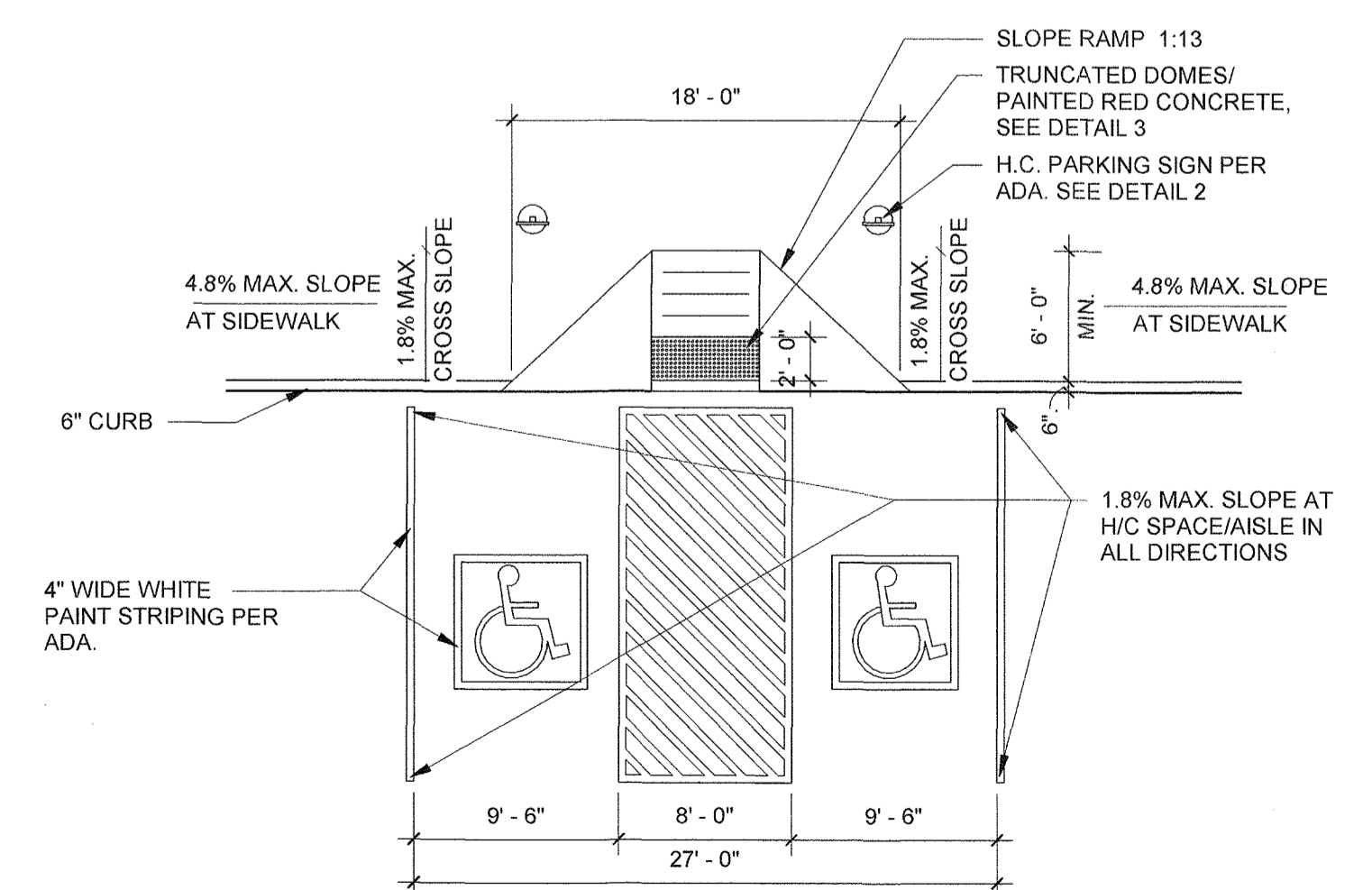
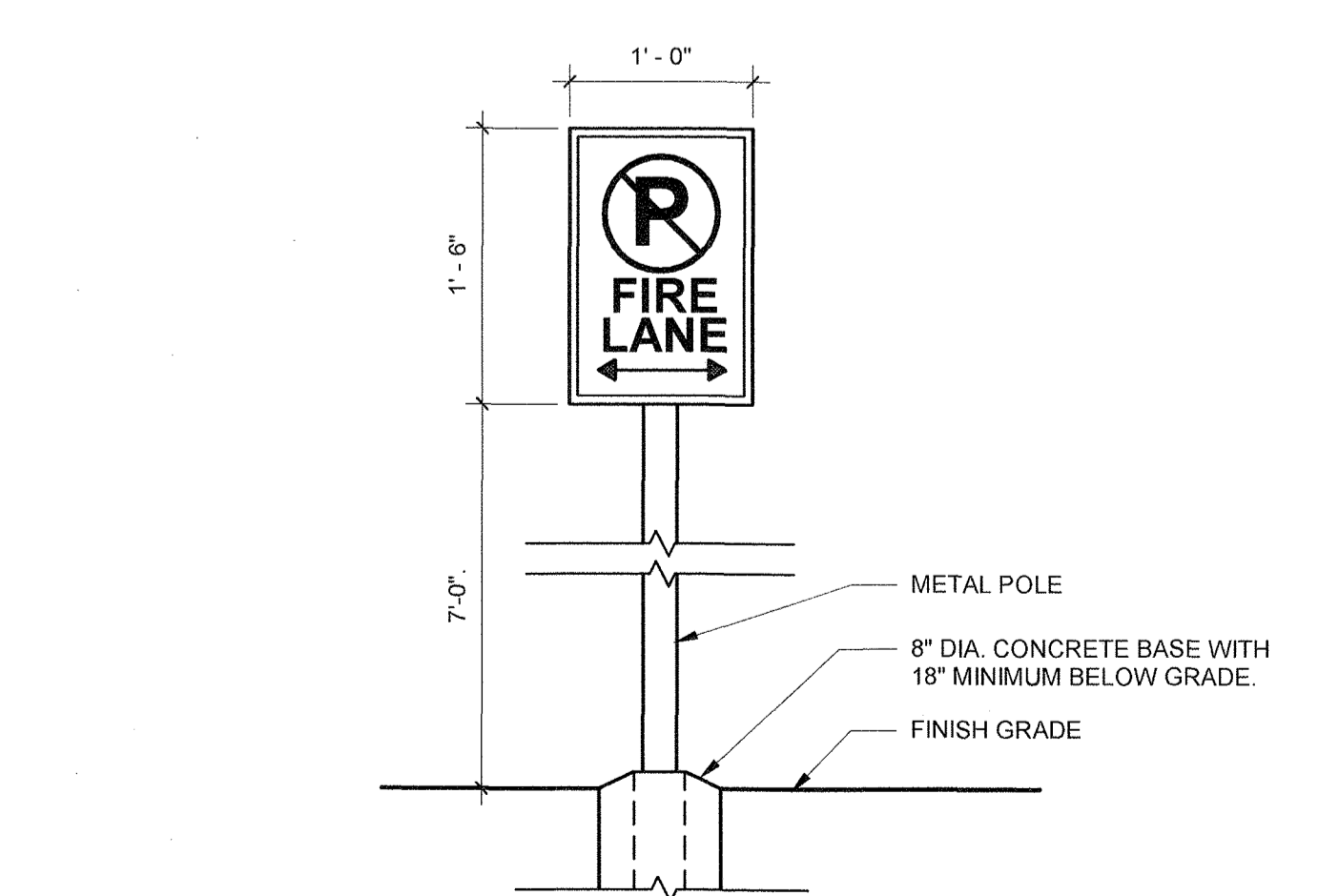
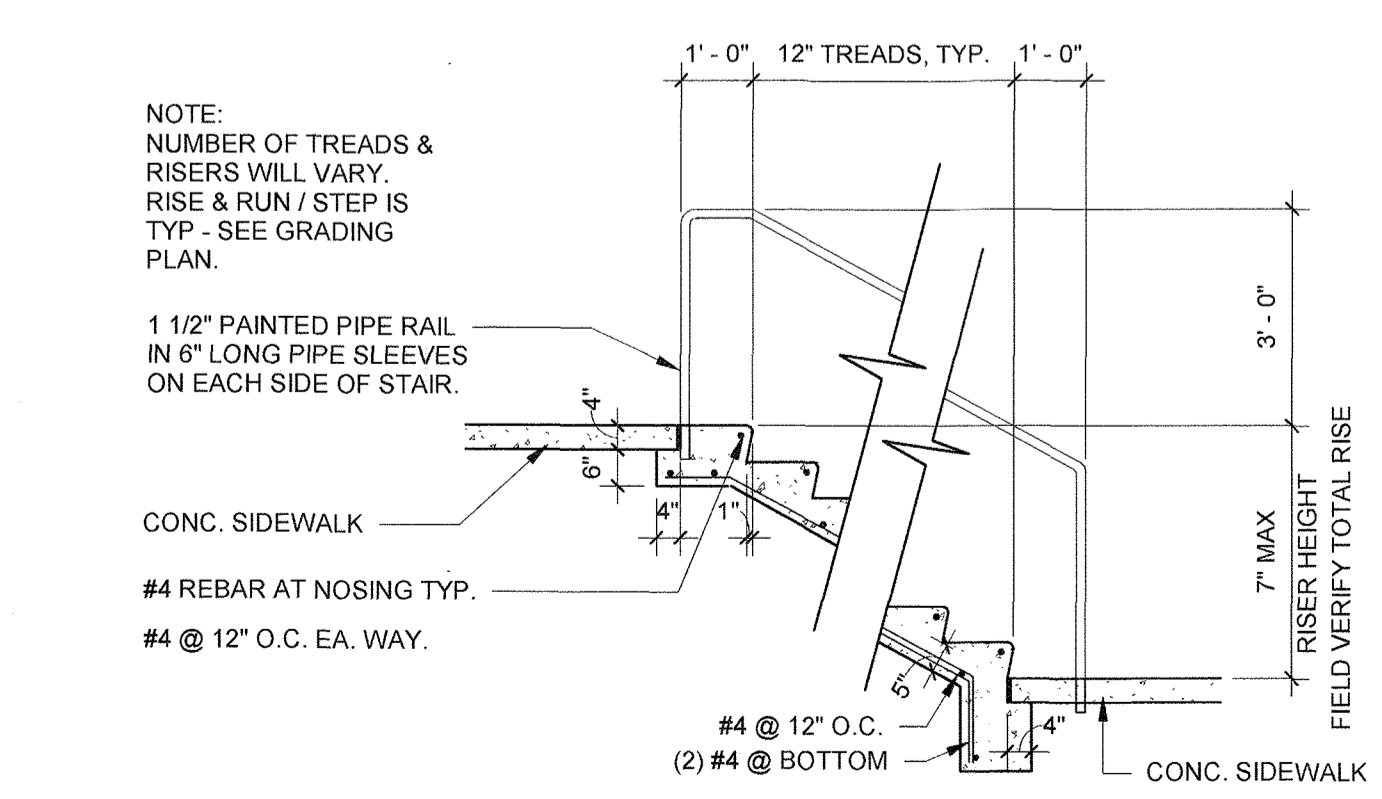
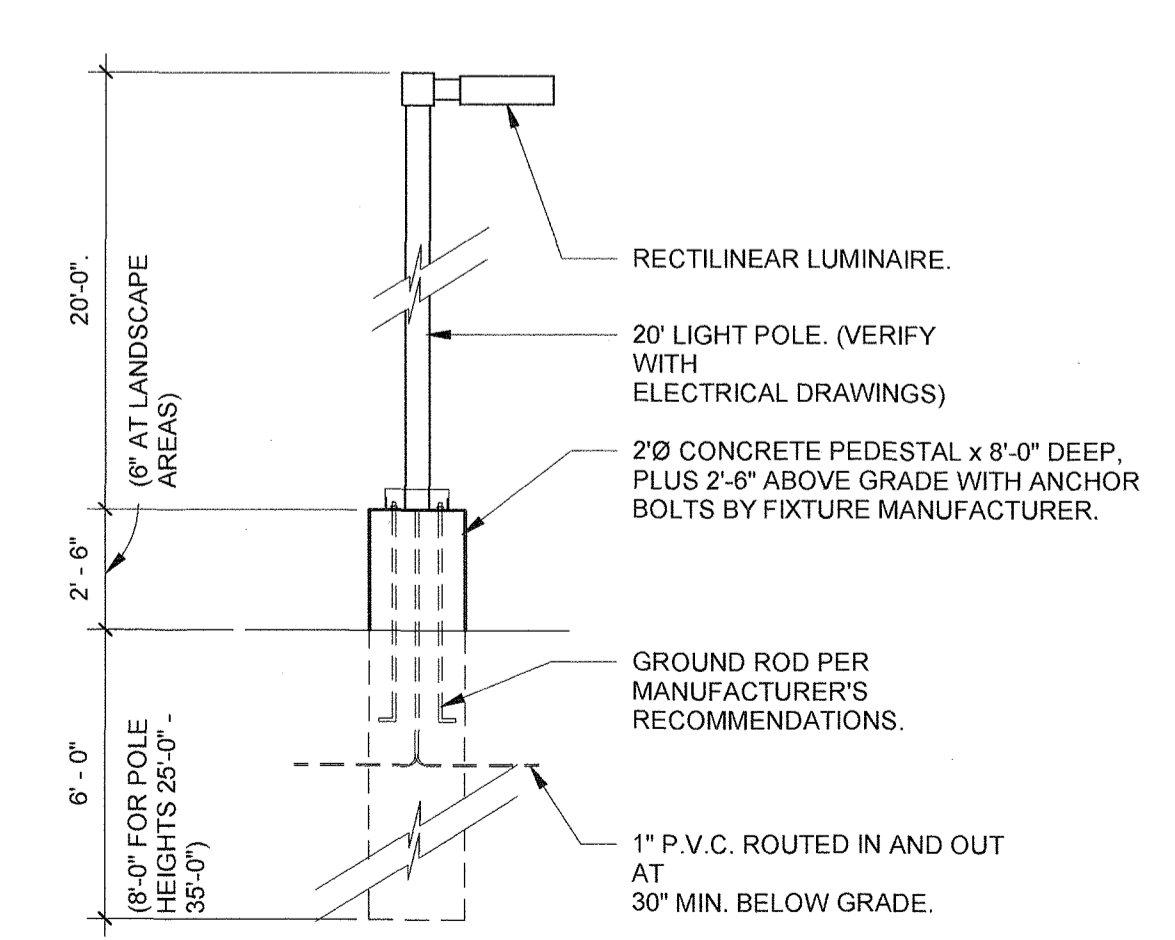
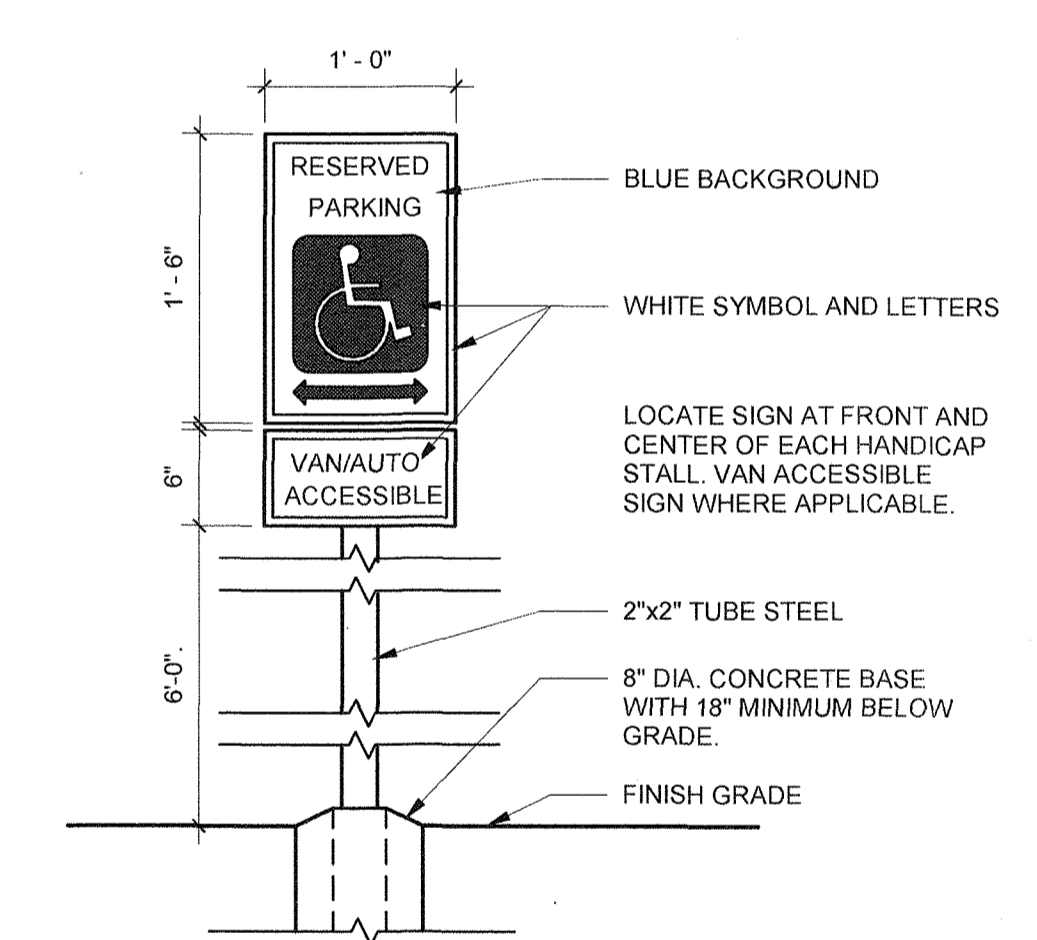
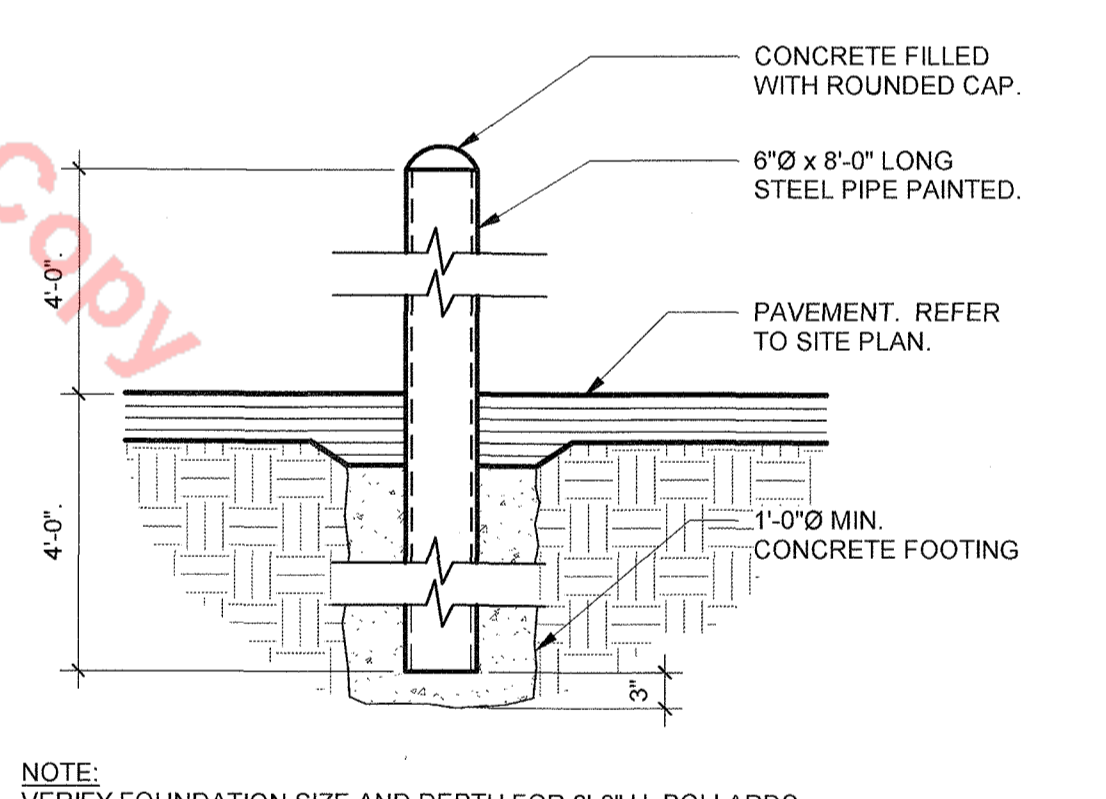
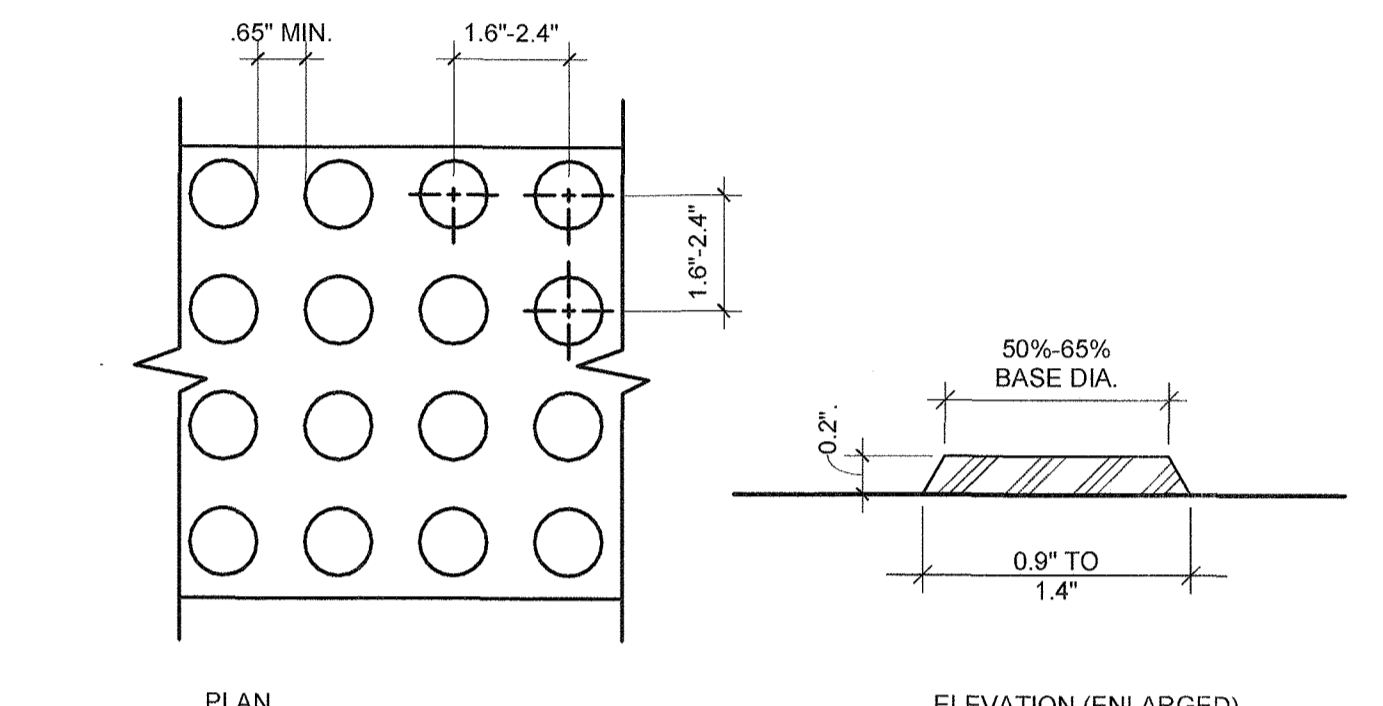
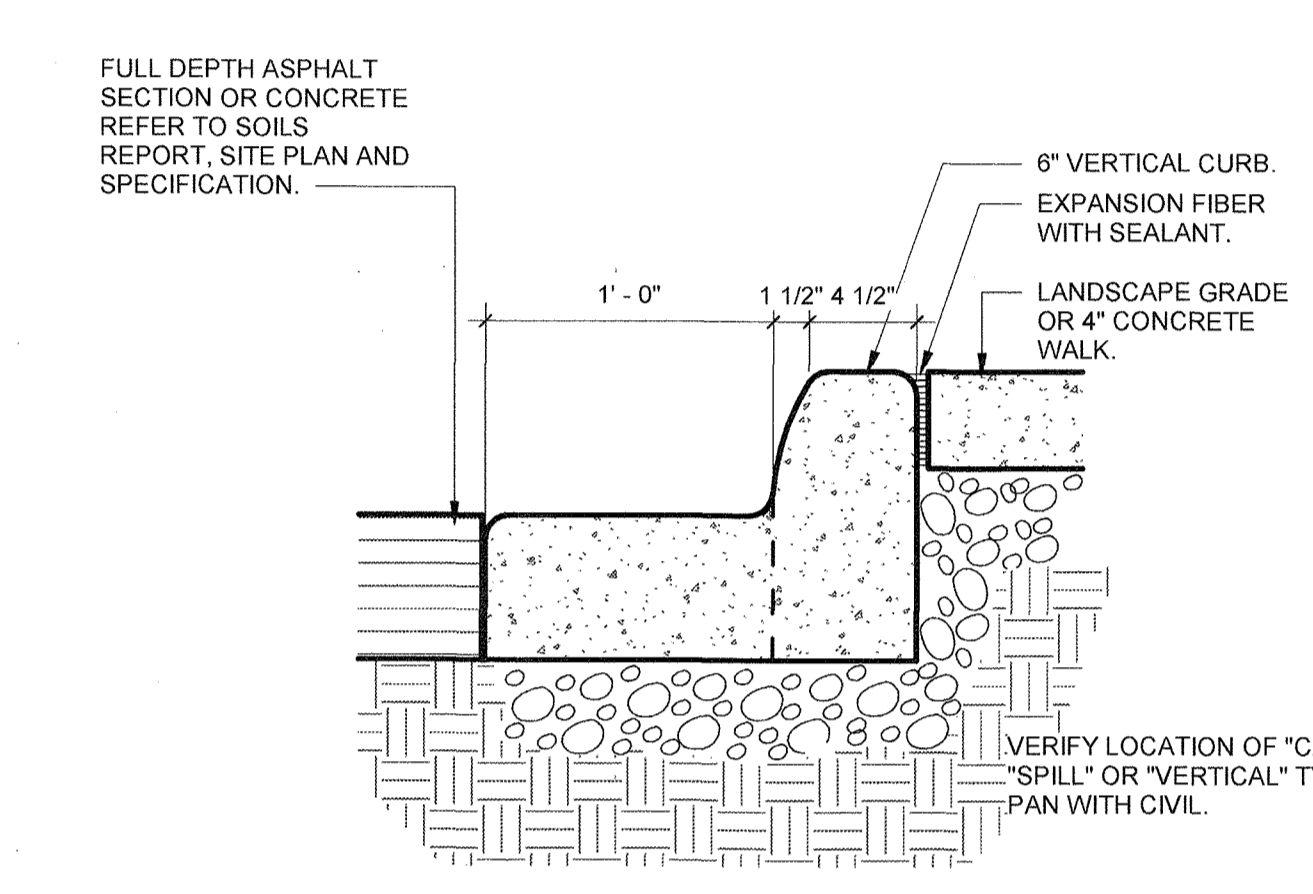
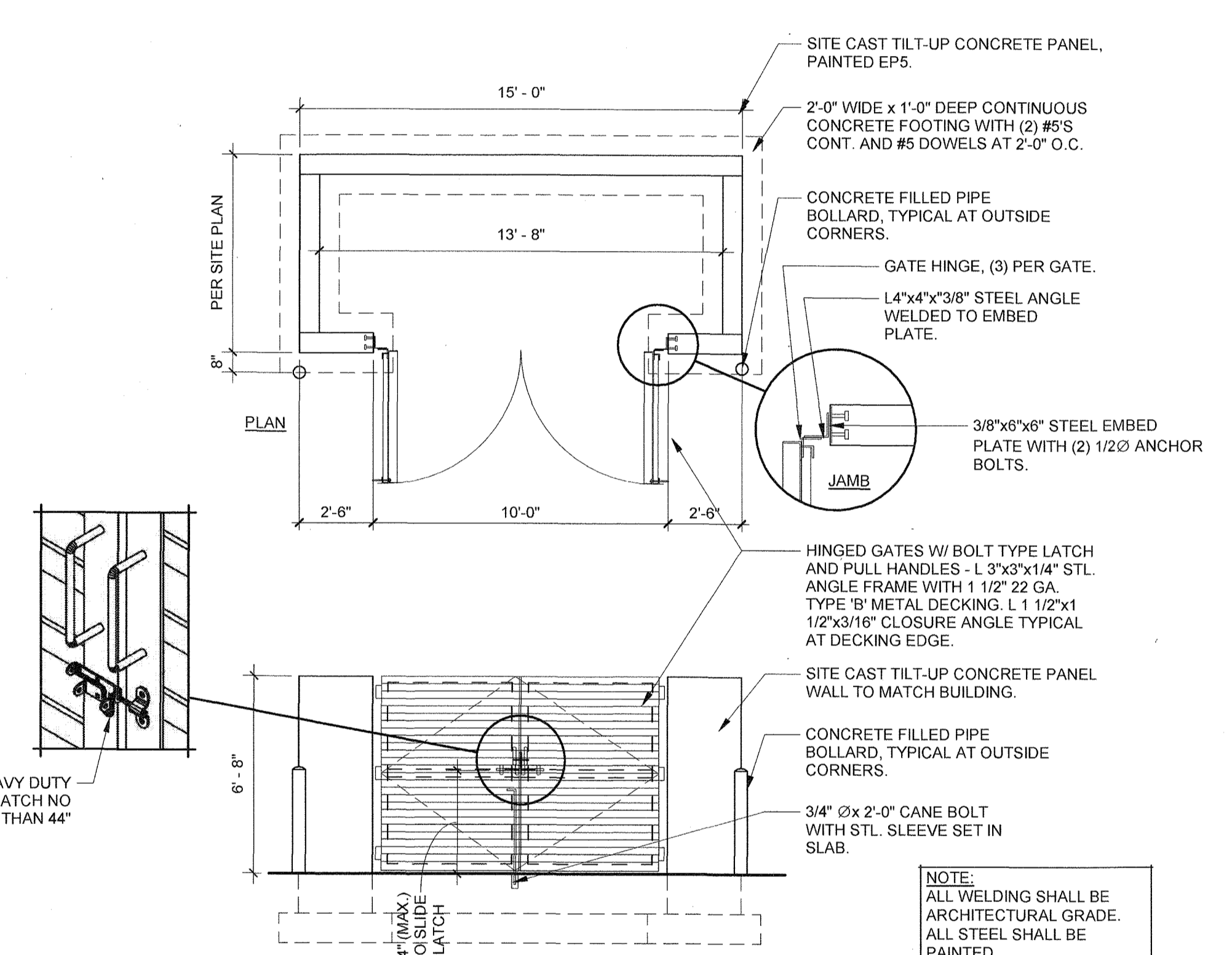
SITE DEVELOPMENT PLAN CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2 THE MEADOWS FILING 19, PARCEL 2 NORTH

LOCATED IN THE SOUTHWEST 1/4 OF SECTION 21 AND THE NORTHWEST 1/4 OF SECTION 28, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

REVISIONS	DESCRIPTION
BY CW	DATE 11-24-2021
CW	2ND SUBMITTAL
CW	1-21-2022
CW	3RD SUBMITTAL
CW	2-24-2022
CW	4TH SUBMITTAL
CW	3-29-2022
CW	5TH SUBMITTAL
CW	4-18-2022
CW	6TH SUBMITTAL

DRAWN	CW
CHECKED	CS
DESIGNED	KS
FILENAME	CS-11102A

CASTLE ROCK INDUSTRIAL AT THE MEADOWS, LOT 2
SITE DEVELOPMENT PLAN
SITE DETAILS



By: Author
4/18/2022 9:53:28 AM

INTERGROUP ARCHITECTS

architecture
planning
interiors

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JOB NO. CS-11102A
SCALE AS SHOWN
DATE
SHEETS 12 SHEET 12