

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

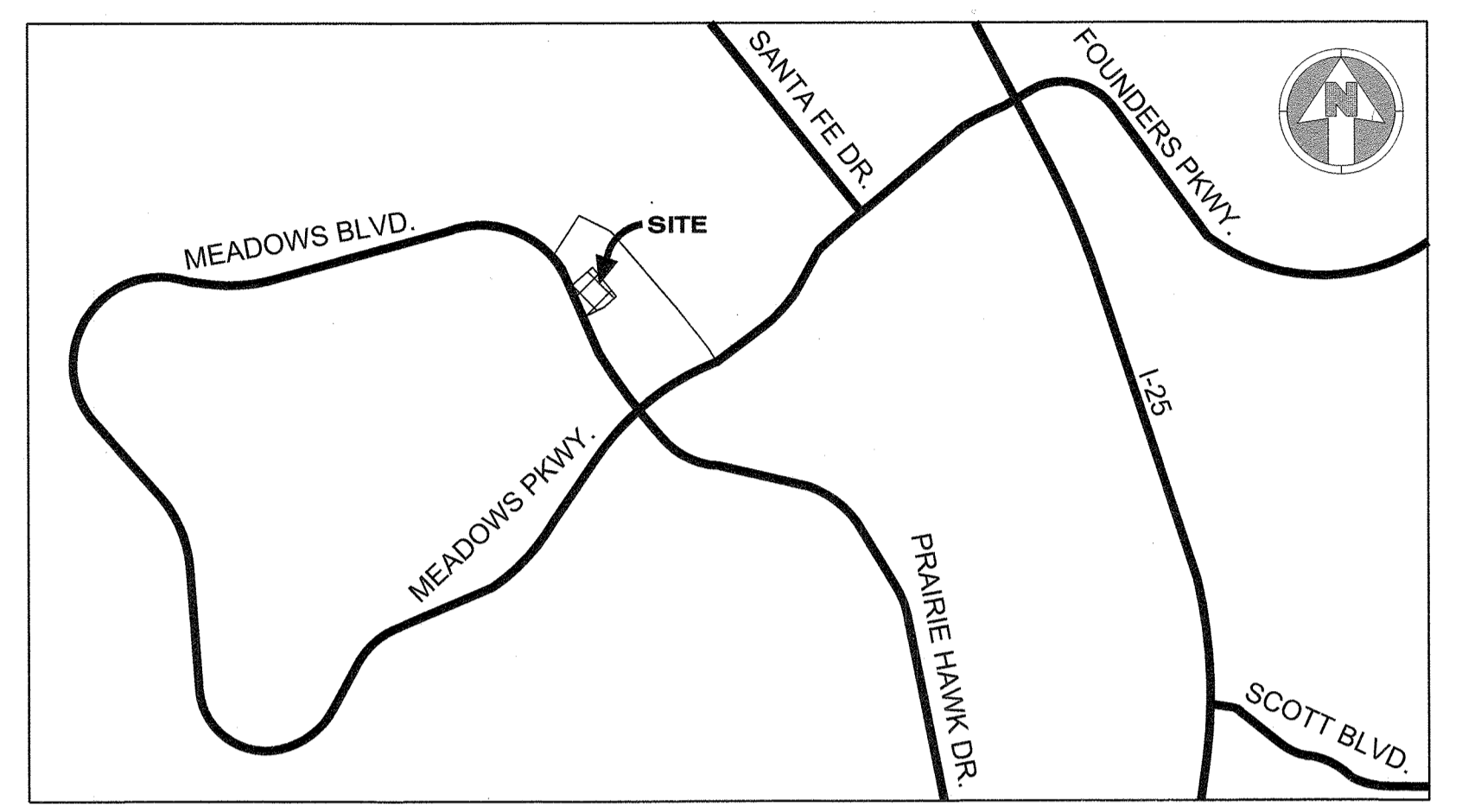
LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
6TH AMENDMENT TO THE FINAL PD SITE PLAN
QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

LEGAL DESCRIPTION:
LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

PURPOSE STATEMENT:
THE PURPOSE OF THIS SITE DEVELOPMENT PLAN AMENDMENT IS TO PROVIDE THE FIELD CHANGE ORDER UPDATES FOR THE MEDICAL OFFICE BUILDING AND ASSOCIATED PARKING AND LANDSCAPING TO THE CASTLE ROCK ADVENTIST HOSPITAL CAMPUS.

SITE DEVELOPMENT PLAN GENERAL NOTES:

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- CONFORMANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0169G & 08035C0167G DATED 03/16/2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS REVISED: 11/5/2019
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK BY SEPARATE DOCUMENT.
- THIS SITE IS ZONED COI WITHIN THE MEADOWS FOURTH AMENDMENT PD.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS DEFINED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- THIS SITE DEVELOPMENT PLAN WILL AMENDMENT TOWN OF CASTLE ROCK, PROJECT NO. SDP21-0030, RECORDED IN DOUGLAS COUNTY CLERK AND RECORDERS, UNDER RECEPTION NO. 2022007449. SEE SHEET INDEX FOR AMENDED SHEETS FROM TOWN OF CASTLE ROCK, PROJECT NO. SDP22-0059.



VICINITY MAP
SCALE: 1" = 2000'

SDP22-0059	SDP21-0030	SHEET INDEX
SHEET NO.	SHEET NO.	SHEET TITLE
1	1	COVER SHEET
-	2	OVERALL SITE PLAN
3	3	SITE PLAN
4	4	GRADING PLAN
-	5	STOCKPILE GRADING PLAN
6	6	UTILITY PLAN
-	7	LANDSCAPE PLAN
-	8	IRRIGATION MASTER PLAN
9	9	BUILDING ELEVATIONS
10	10	BUILDING ELEVATIONS
11	11	BUILDING ELEVATIONS
12	12	BUILDING ELEVATIONS
13	-	RETAINING WALL DETAILS
14	13	LIGHTING PLAN
15	14	LUMINAIRE STYLE
16	15	LUMINAIRE STYLE

FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Sherry Pittman
PORTERCARE ADVENTIST HEALTH SYSTEM
A COLORADO NON-PROFIT CORPORATION

SIGNED THIS 21 DAY OF April, 2023

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 21 DAY OF April, 2023 BY Sherry Pittman AS CEO OF PORTERCARE ADVENTIST HEALTH SYSTEM.

WITNESS MY HAND AND OFFICIAL SEAL.
Stacy E. Barber
NOTARY PUBLIC
MY COMMISSION EXPIRES 9-26-23

CIVIL ENGINEER CERTIFICATION:

I, JASON D. CARR, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



JASON D. CARR
CO# 33854
DATE 4-21-23

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICE APPROVAL:

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 26 DAY OF April, 2023.
Jason D. Carr
DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY ON THE 26 DAY OF APRIL, 2023 AT RECEPTION NO. 202301387
BY *Ally Bell*
DEPUTY

SURVEYOR'S CERTIFICATE:

I, Stewart L. Mapes, Jr., A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.
Stewart L. Mapes, Jr.
4/21/2023

STEWART MAPES
PLS# 38245
DATE 4/21/2023

WATER RIGHTS DEDICATION AGREEMENT:

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 2003102970.

ZONING COMPARISON						
MEADOWS, 4TH AMENDMENT						
COI (COMMERCIAL, OFFICE, INDUSTRIAL)						
LOT 3						
1,740,412 SF/39.954 ACRES						
PROJECT #	REQUIREMENT	FPD10-0002	FPD10-0005	FPD11-0003	FPD12-0002	SDP21-0030/SDP22-0059**** (THIS SDP)
DC RECEPTION #		2010058543	2014014183	2011054888	2012061618	2022007449/TBD
PERMITTED USE	AS PER 5.4 OF THE ZONING REGULATIONS, WHICH INCLUDES HOSPITAL, OTHER HEALTH CARE FACILITIES, OFFICES	EMERGENCY DEPARTMENT/IMAGING	MEDICAL OFFICE	HOSPITAL	MEDICAL OFFICE	AMBULATORY CARE MEDICAL OFFICE
MINIMUM LOT AREA	AS PER 4.8 OF THE ZONING REGULATION, THE DEVELOPMENT OF CRITERIA FOR MINIMUM LOT AREA TO BE ESTABLISHED AT TIME OF FINAL SITE PLAN	1,740,412 SQUARE FEET, 39.954 ACRES				
BUILDING FLOOR AREA	N/A	22,854	61,800	210,339	61,800	70,000
BUILDING FLOOR AREA TOTAL	N/A			426,793		
MAX. FLOOR AREA RATIO (FAR)	0.60			0.25 (426,793/1,740,412)		
GROSS LEASABLE AREA (GLA)		21,711	57,000	199,822	57,000	66,500 (42,600 SF OUTPATIENT + 23,900 SF MEDICAL OFFICE)
MINIMUM FRONT YARD SETBACK	AS PER 4.8 OF THE ZONING REGULATION, THE DEVELOPMENT OF CRITERIA FOR MINIMUM SETBACKS TO BE ESTABLISHED AT TIME OF FINAL SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	25'-0" 1'-1/2"
MINIMUM REAR YARD SETBACK						AS SHOWN ON FPD10-0002
MINIMUM SIDE YARD SETBACK						N/A
MINIMUM SIDE TO STREET SETBACK						AS SHOWN ON FPD10-0005
MAXIMUM BUILDING HEIGHT		35'-4"	55'	89'-8 1/2"	52'	59'
TOTAL PROVIDED = 1,123						
TOTAL REQUIRED = 1,143 - 20' = 1,123						
MINIMUM PARKING	TOCR REQ. #1 - 1 SPACE/2 BEDS	PARKING SPACES PROVIDED = 68	PARKING SPACES PROVIDED = 225**	PARKING SPACES PROVIDED = 319	PARKING SPACES PROVIDED = 309	PARKING SPACES PROVIDED = 198
	TOCR REQ. #2 - 1 SPACE/5 OUTPATIENT	PARKING SPACES REQUIRED = 35	PARKING SPACES REQUIRED = 285	PARKING SPACES REQUIRED = 349	PARKING SPACES REQUIRED = 285	PARKING SPACES REQUIRED = 189
	TOCR REQ. #3 - 1 SPACE/EMPLOY MAX.	CALC #1 - NOT APPLICABLE	CALC #1 - NOT APPLICABLE	CALC #1 - (110/2)x1 = 55 SPACES	CALC #1 - NOT APPLICABLE	CALC #1 - NOT APPLICABLE
	TOCR REQ. #4 - 5 SPACE/1,000 SF OF GROSS LEASABLE AREA	CALC #2 - (75/9)x1 = 15 SPACES CALC #3 - 20 STAFF = 20 SPACES CALC #4 - NOT APPLICABLE	CALC #2 - NOT APPLICABLE CALC #3 - NOT APPLICABLE CALC #4 - (57,000/1,000)x5 = 285 SPACES	CALC #2 - (220/5)x1 = 44 SPACES CALC #3 - 250 STAFF = 250 SPACES CALC #4 - NOT APPLICABLE	CALC #2 - NOT APPLICABLE CALC #3 - NOT APPLICABLE CALC #4 - (57,000/1,000)x5 = 285 SPACES	CALC #2 - (144/5)x1 = 29 SPACES CALC #3 - 40 STAFF = 40 SPACES CALC #4 - (23,900/1,000)x5 = 120 SPACES
MINIMUM ADA PARKING	PER MUNI. CODE:	TOTAL PROVIDED = 55				
	3 ADA SPACES FOR 51 TO 75 TOTAL SPACES; 6 ADA SPACES FOR 151 TO 200 TOTAL SPACES; 8 ADA SPACES FOR 301 TO 400 TOTAL SPACES	TOTAL REQUIRED = 31				
	ADA PARKING PROVIDED = 17	ADA PARKING PROVIDED = 9	ADA PARKING PROVIDED = 12	ADA PARKING PROVIDED = 11	ADA PARKING PROVIDED = 6	
	ADA PARKING REQUIRED = 3	ADA PARKING REQUIRED = 6	ADA PARKING REQUIRED = 8	ADA PARKING REQUIRED = 8	ADA PARKING REQUIRED = 6	

CONTACTS:

- | | | | | | | |
|---|---|--|--|---|---|---|
| OWNER/DEVELOPER
PORTERCARE ADVENTIST HEALTH SYSTEM
2525 S. DOWNING STREET
DENVER, CO 80210
PHONE: 720.455.2500
CONTACT: CHASE AALBORG - CFO | ARCHITECT
EARL SWENSSON ASSOCIATES, INC.
1003 DEMONBREUN STREET, SUITE 800,
NASHVILLE, TN 37203
PHONE: 615.329.9445
CONTACT: JERRY FANNIN, AIA, NCARB | CIVIL ENGINEER
S.A. MIRO INC.
4582 SOUTH ULSTER STREET PKWY.
SUITE 750
DENVER, CO 80237
PHONE: 303.741.3737
CONTACT: JASON CARR, P.E. | LANDSCAPE ARCHITECT
GROUND LOGIC
2038 GROVE STREET
BOULDER, CO 80305
PHONE: 720.331.0696
CONTACT: GREG GAUTHIER, PLA | MEP ENGINEER
CATOR, RUMA & ASSOCIATES, CO
896 TABOR STREET
LAKEWOOD, CO 80401
PHONE: 303.232.6200
CONTACT: GALINA PAMPALONE | CONTRACTOR
SAUNDERS CONSTRUCTION
86 INVERNESS PLACE NORTH
ENGLEWOOD, CO 80112
PHONE: 303.699.9000
CONTACT: BRIAN RANKIN | SURVEYOR
CLARK LAND SURVEYING, INC.
177 S. TIFFANY DRIVE, UNIT 1
PUEBLO WEST, CO 81007
PHONE: 719.633.8533
CONTACT: STEWART MAPES |
|---|---|--|--|---|---|---|

BENCHMARK:

DOUGLAS COUNTY CONTROL, 3-1/4" BRASS CAP STAMPED "2.011031".
ELEVATION=6089.46 (NAVD 1988)
SITE: NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP, STAMPED "PLS 38026", FLUSH WITH GRADE, AS SHOWN, ELEVATION=6104.69 (NAVD 1988)

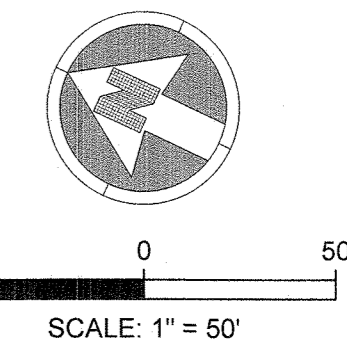
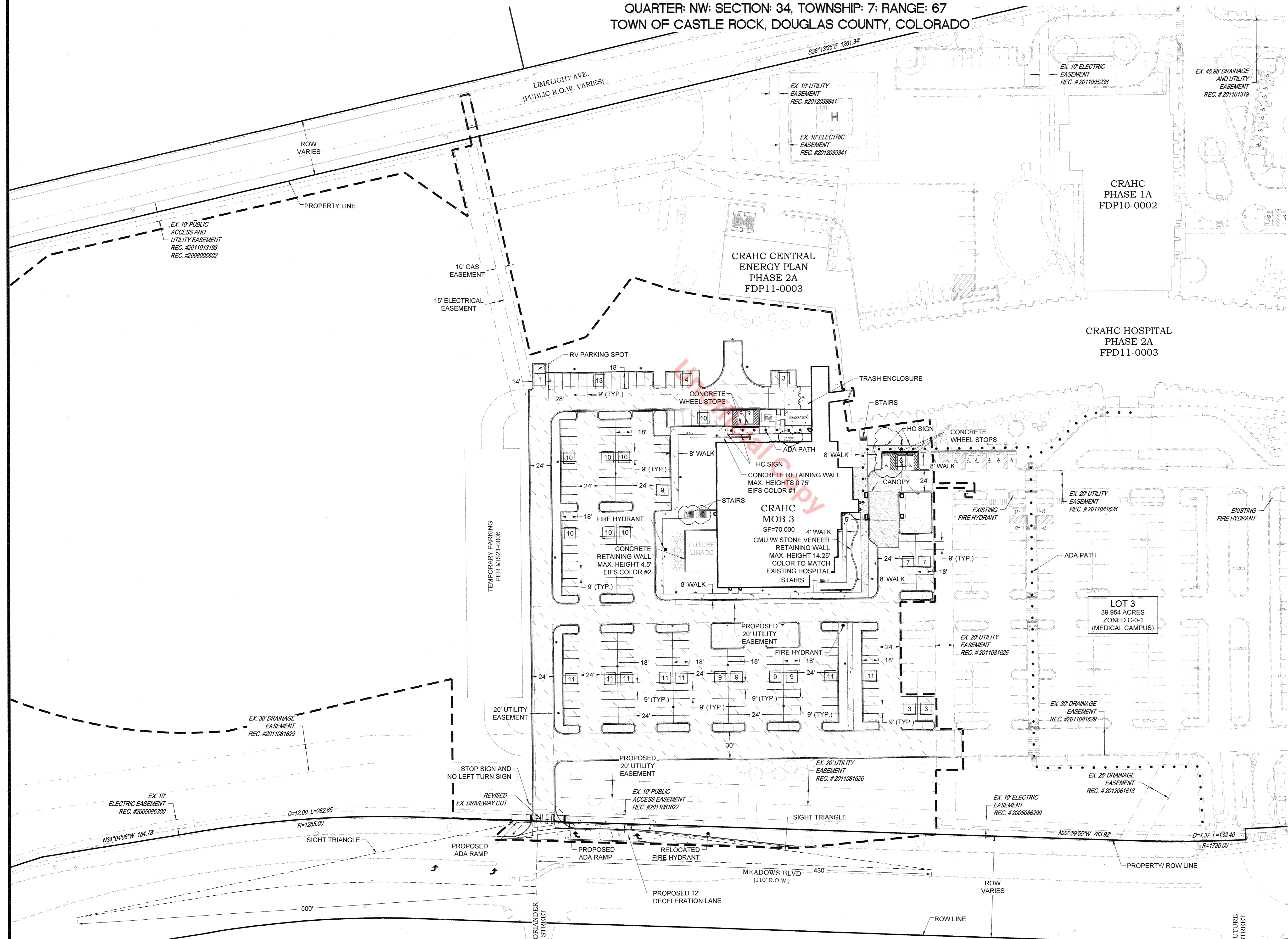
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SDP22-0059

COVER SHEET
original SHEET 1 OF 16
New sheet 1 of 12



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- NOTES:**
1. SEE LANDSCAPE PLANS FOR MATERIAL DESIGNATIONS AND SITE DETAILS.
 2. SEE ELECTRICAL PLANS FOR LIGHTING INFORMATION AND DETAILS.

LEGEND:

	PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY LINE
	EXISTING CURB AND GUTTER
	EXISTING SIDEWALK
	EXISTING WALL
	EXISTING FENCE
	EXISTING EASEMENT
	EXISTING SIGN
	EXISTING LIGHT
	EXISTING FIRE HYDRANT
	EXISTING TREE
	PROPOSED CURB AND GUTTER
	PROPOSED SIDEWALK
	PROPOSED WALL
	PROPOSED FENCE
	ADA PATH
	PROPOSED SIGN
	PROPOSED LIGHT
	PROPOSED FIRE HYDRANT
	PROPOSED TREE
	PROPOSED EASEMENT
	LIMITS OF CONSTRUCTION
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	PROPOSED CONCRETE PAVEMENT
	CRAHC
	MEDICAL OFFICE BUILDING
	PARKING STALL COUNT 9'X18' MIN. DIMENSION

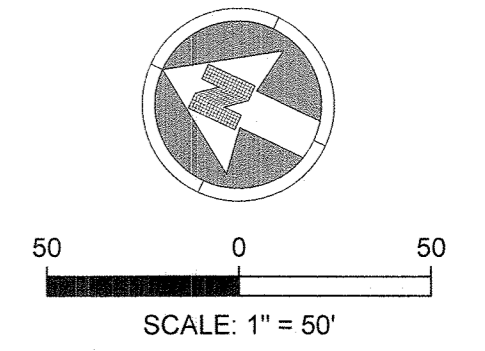
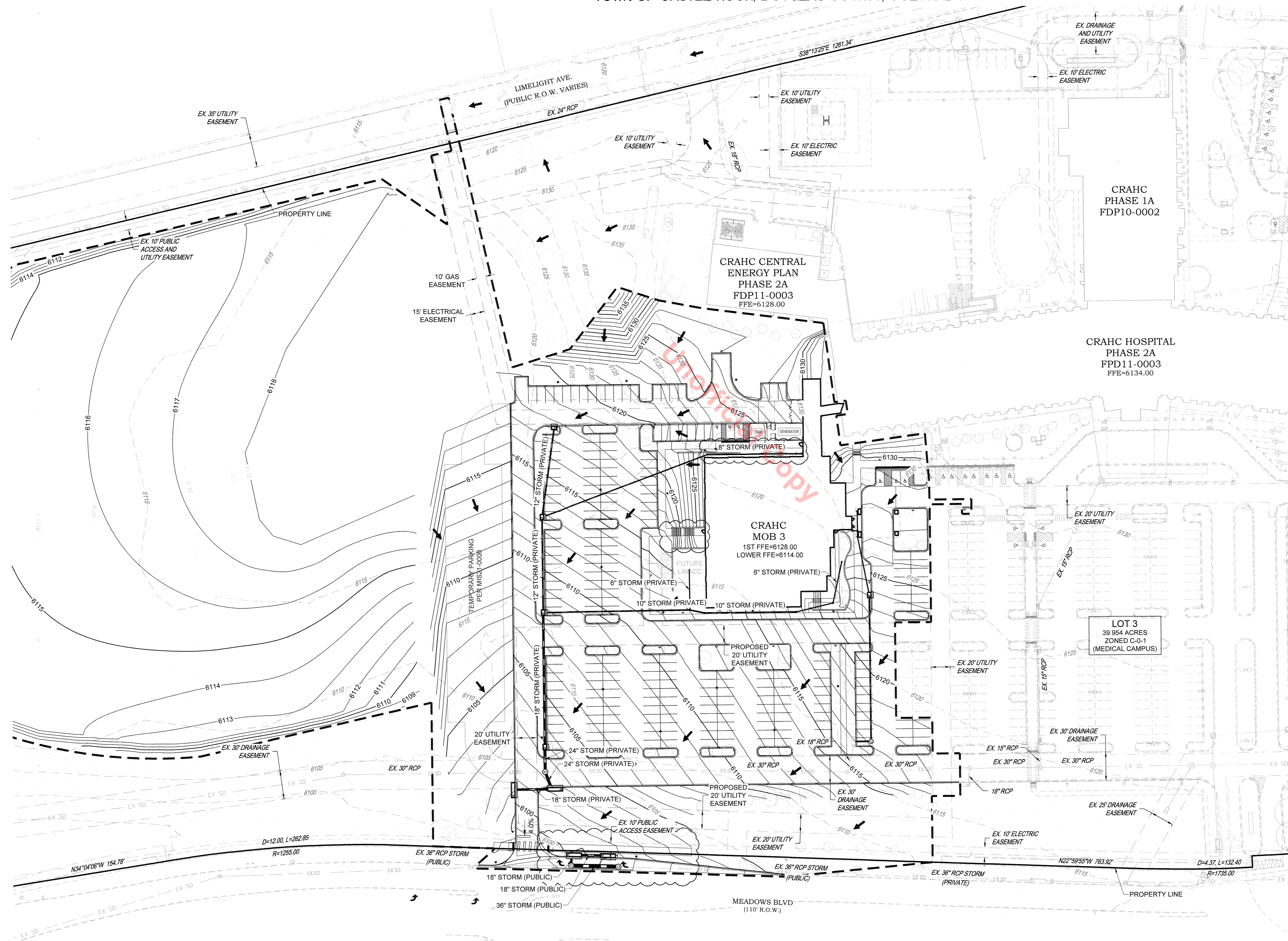
S.A. MIRO, INC.
CONSULTING ENGINEERS
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SITE PLAN
Original SHEET 3 OF 16
New sheet 2 of 12

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LEGEND:

	EXISTING MINOR CONTOURS
	EXISTING MAJOR CONTOURS
	PROPOSED MINOR CONTOURS
	PROPOSED MAJOR CONTOURS
	EXISTING STORM LINE
	EXISTING STORM INLET
	EXISTING STORM MANHOLE
	PROPOSED STORM LINE
	PROPOSED STORM INLET
	PROPOSED STORM MANHOLE
	LIMITS OF CONSTRUCTION



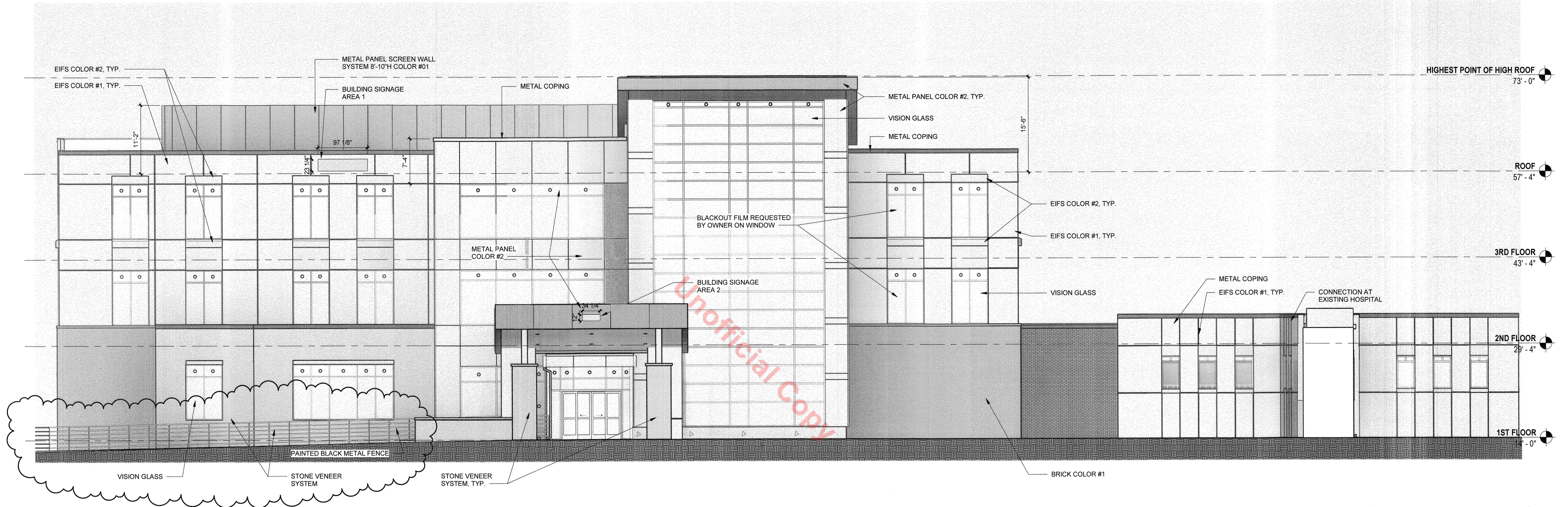
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GRADING PLAN
SHEET 4 OF 16
Original
New Sheet 3 of 12

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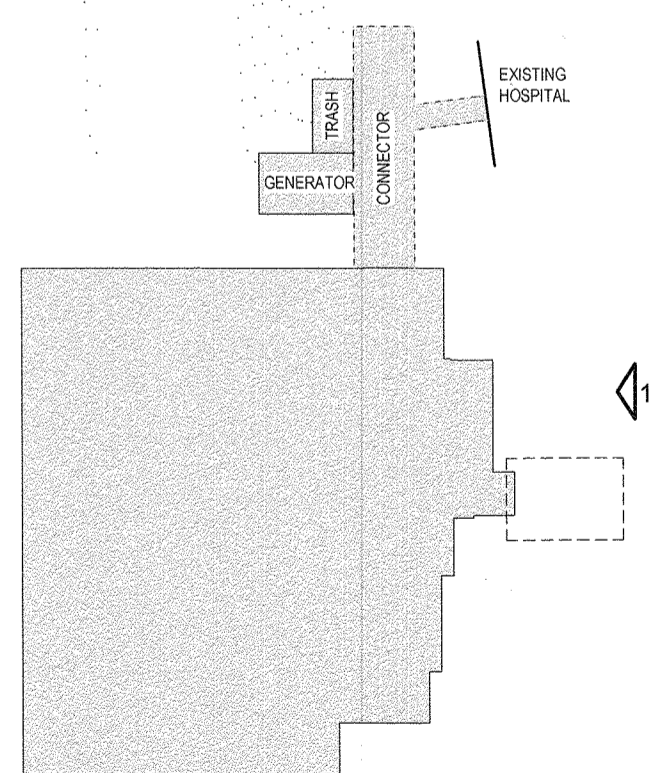
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1 SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

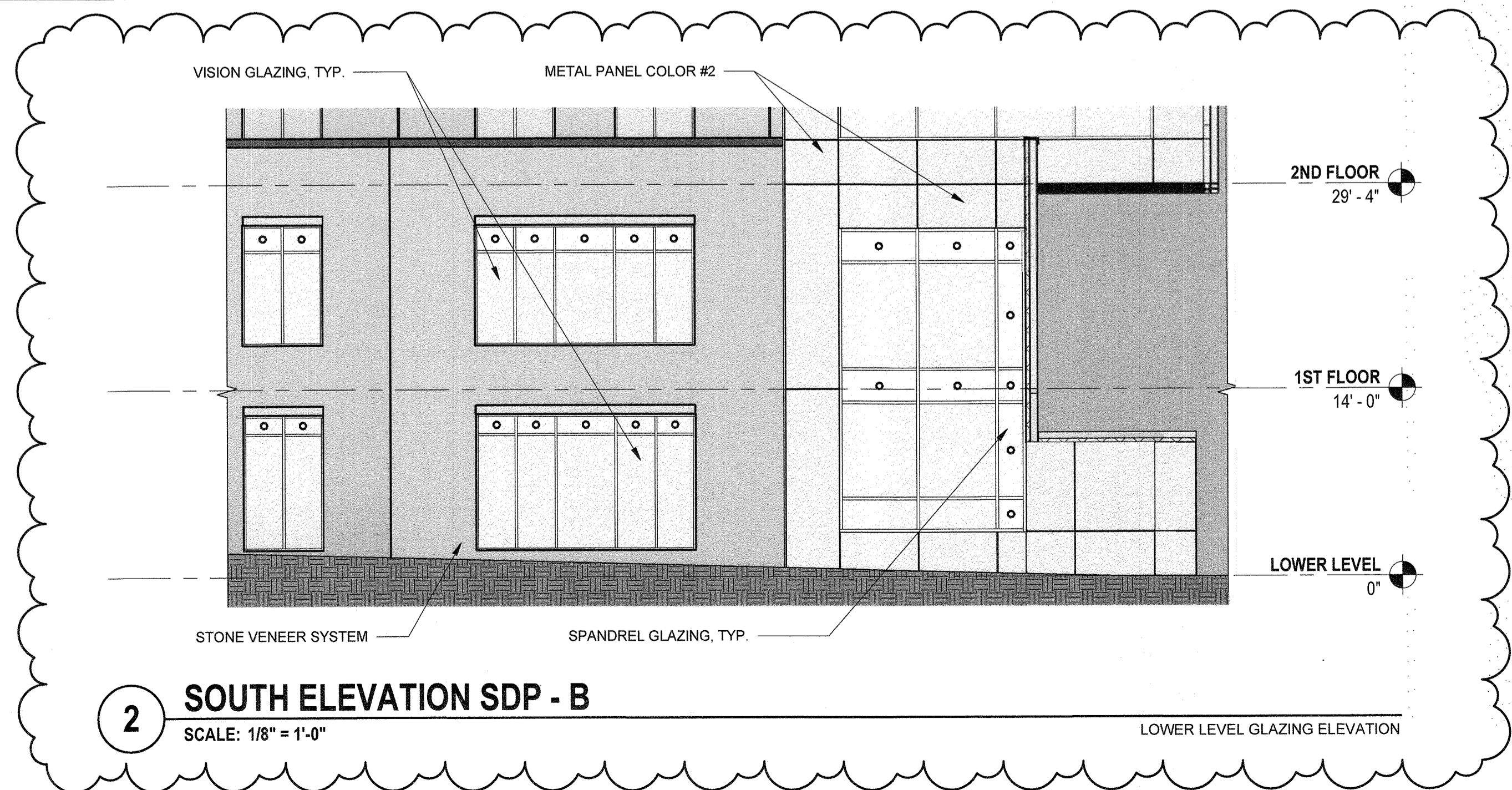
EXTERIOR MATERIAL LEGEND

- EIFS (COLOR 1) LIGHT BEIGE
 - EIFS (COLOR 2) LIGHT GREY
 - STONE VENEER SYSTEM COLOR VARIES TO MATCH EXISTING HOSPITAL COLOR VARIATION
 - BRICK (COLOR 1)
 - VISION GLASS
 - SPANDREL GLASS
 - METAL PANEL COLOR #1 SANDSTONE
 - METAL PANEL COLOR #2 CHAMPAGNE MTL/C
- *NOTE - METAL COPING COLOR TO MATCH ADJACENT FINISH COLOR

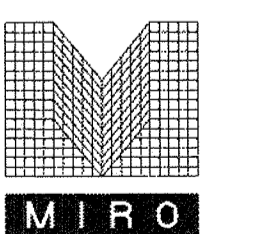


ORIENTATION KEY PLAN

ITEM	ALLOWED AREA (PER SECTION 19.94.022 OF THE CASTLE ROCK MUNICIPAL CODE)	ALLOWED AREA	PROPOSED AREA
SIGN 1	25% OF THE WALL	315 SF	15.08 SF
SIGN 2	25% OF THE WALL	32 SF	2.85 SF



2 SOUTH ELEVATION SDP - B
 SCALE: 1/8" = 1'-0"



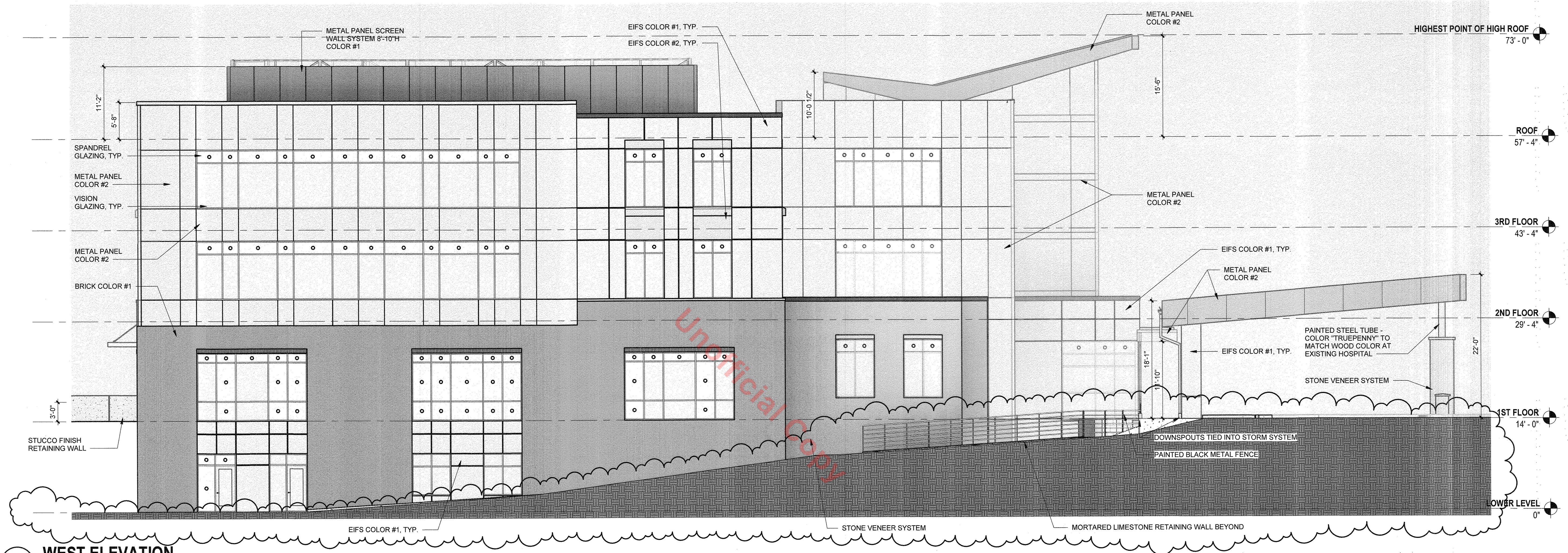
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 CONSULTING ENGINEERS
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 Pkwy.
 Suite 750 Denver, CO 80237
 ph. 303 741 3737
 fax 303 694 3134

SITE DEVELOPMENT PLAN AMENDMENT NO. 2
 LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SDP22 - 0059
BUILDING ELEVATIONS
 SHEET 9 OF 16
Original
 New Sheet 5 of 12

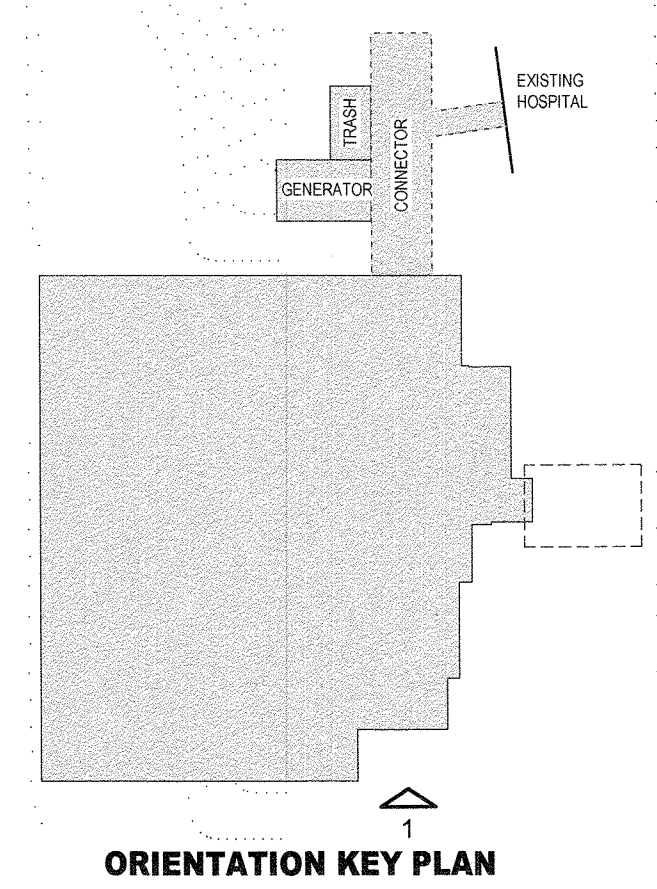
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



1 WEST ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
[Light Beige Box]	EIFS (COLOR 1) LIGHT BEIGE
[Light Grey Box]	EIFS (COLOR 2) LIGHT GREY
[Stone Veneer Box]	STONE VENEER SYSTEM COLOR VARIES TO MATCH EXISTING HOSPITAL COLOR VARIATION
[Brick Box]	BRICK (COLOR 1)
[Glass Box]	VISION GLASS
[Spandrel Glass Box]	SPANDREL GLASS
[Metal Panel Color #1 Box]	METAL PANEL COLOR #1 SANDSTONE
[Metal Panel Color #2 Box]	METAL PANEL COLOR #2 CHAMPAGNE MTL/C
*NOTE - METAL COPING COLOR TO MATCH ADJACENT FINISH COLOR	

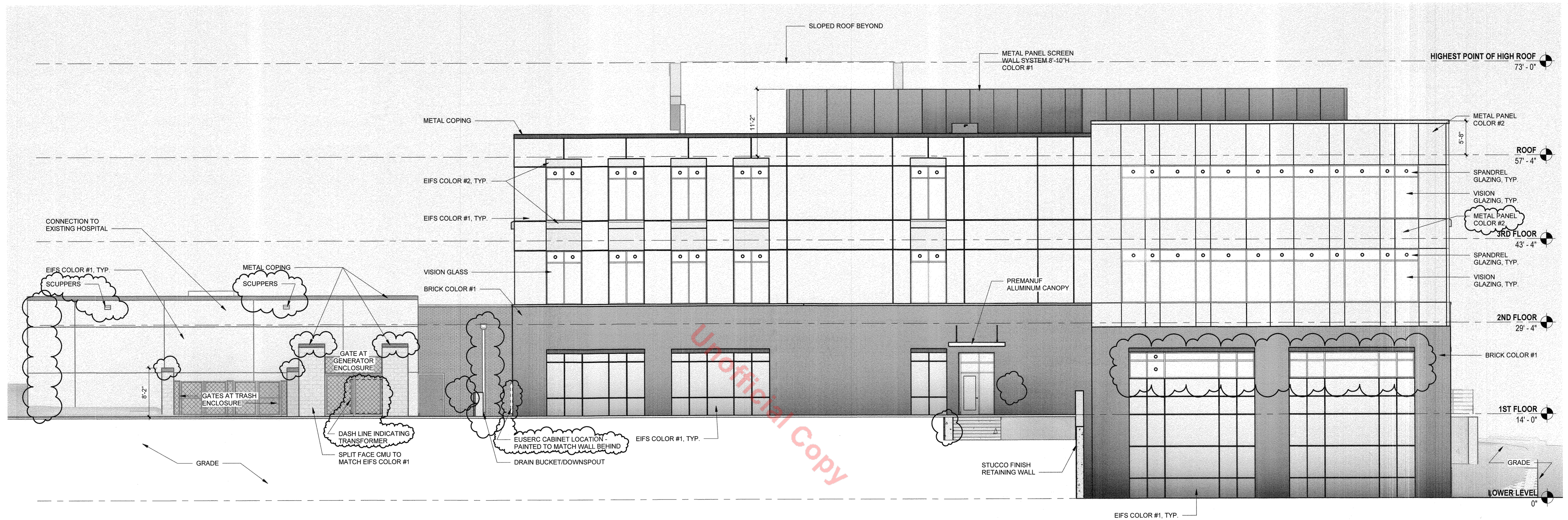


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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 SDP22 - 0059
 BUILDING ELEVATIONS
 Original SHEET 10 OF 16
 New sheet 6 of 12

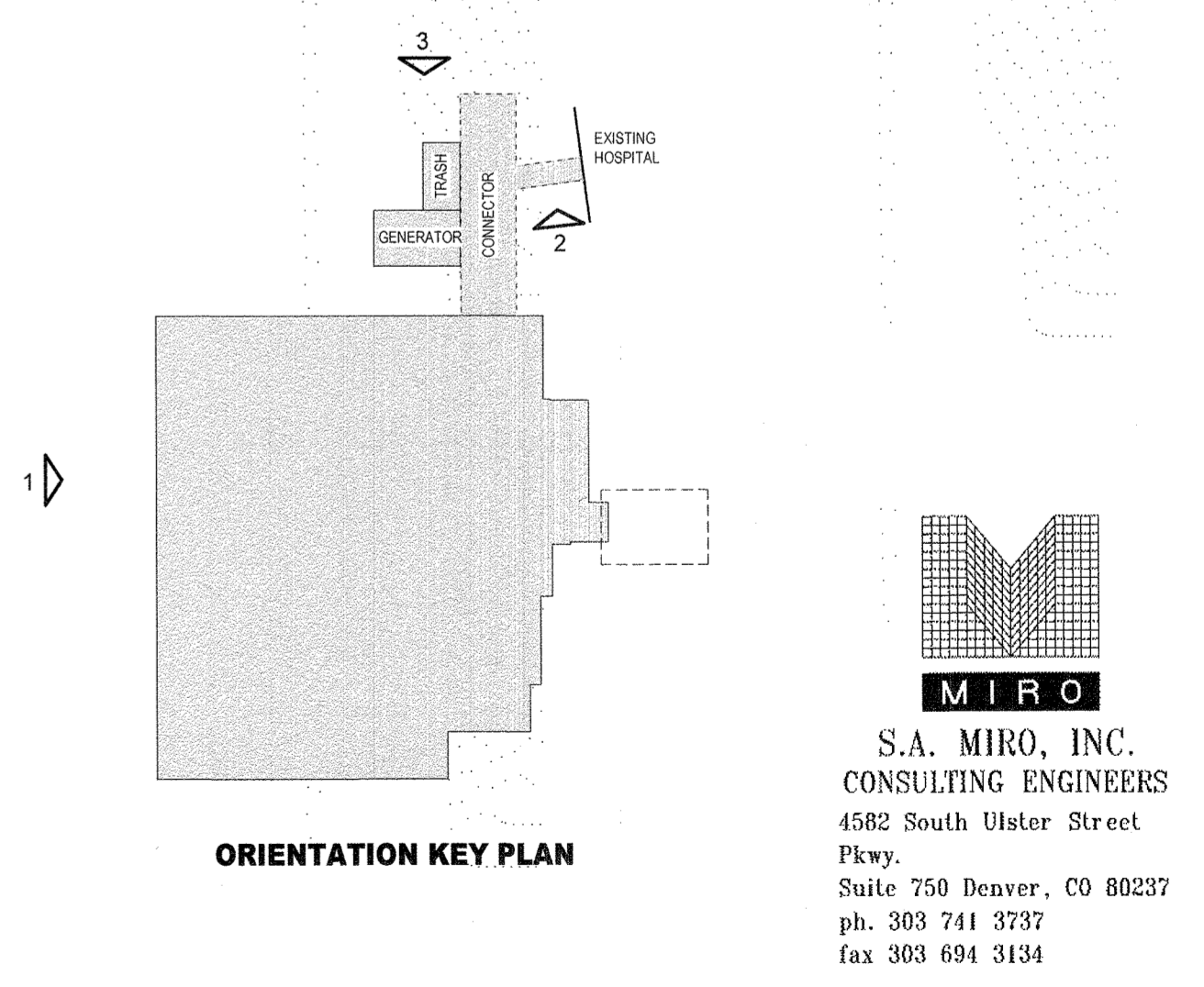
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LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



1 NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
[Light Beige Box]	EIFS (COLOR 1) LIGHT BEIGE
[Light Grey Box]	EIFS (COLOR 2) LIGHT GREY
[Patterned Box]	STONE VENEER SYSTEM COLOR VARIES TO MATCH EXISTING HOSPITAL COLOR VARIATION
[Brick Pattern Box]	BRICK (COLOR 1)
[White Box]	VISION GLASS
[White Box]	SPANDREL GLASS
[Sandstone Box]	METAL PANEL COLOR #1 SANDSTONE
[Champagne Box]	METAL PANEL COLOR #2 CHAMPAGNE METC
*NOTE: METAL COPING COLOR TO MATCH ADJACENT FINISH COLOR	

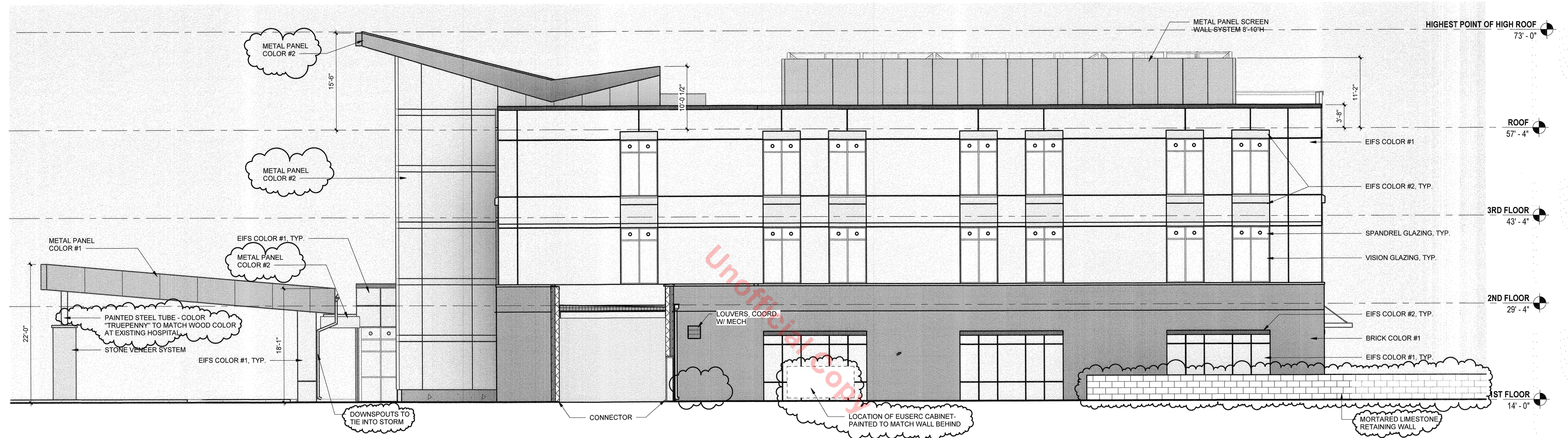


SITE DEVELOPMENT PLAN AMENDMENT NO. 2
 LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SDP22 - 0059
 BUILDING ELEVATIONS
 original SHEET 11 OF 16
New Sheet 7 of 12

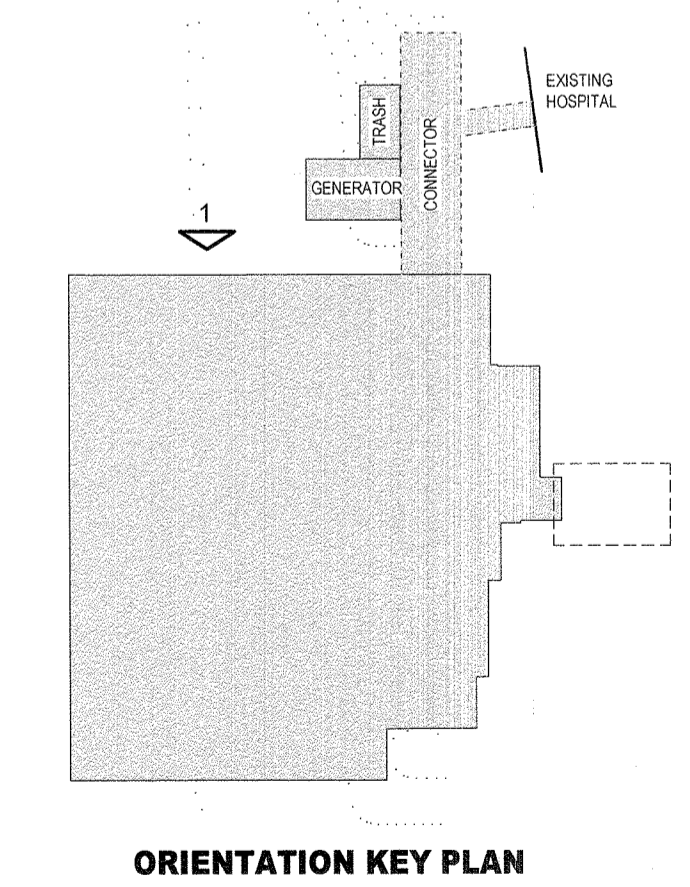
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



1 EAST ELEVATION
 SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	EIFS (COLOR 1) LIGHT BEIGE
	EIFS (COLOR 2) LIGHT GREY
	STONE VENEER SYSTEM COLOR VARIES TO MATCH EXISTING HOSPITAL COLOR VARIATION
	BRICK (COLOR 1)
	VISION GLASS
	SPANDREL GLASS
	METAL PANEL COLOR #1 SANDSTONE
	METAL PANEL COLOR #2 CHAMPAGNE MTL/C
*NOTE - METAL COPING COLOR TO MATCH ADJACENT FINISH COLOR	



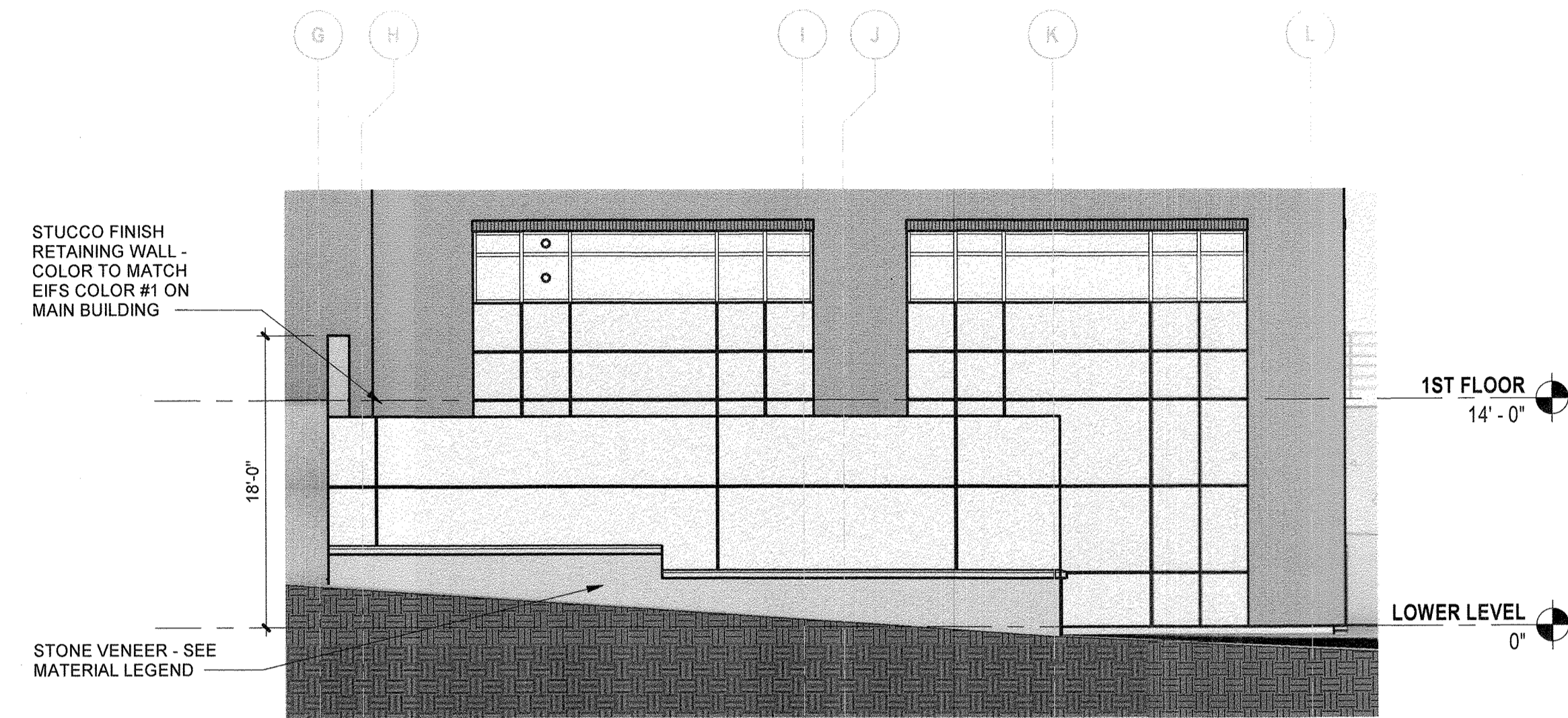
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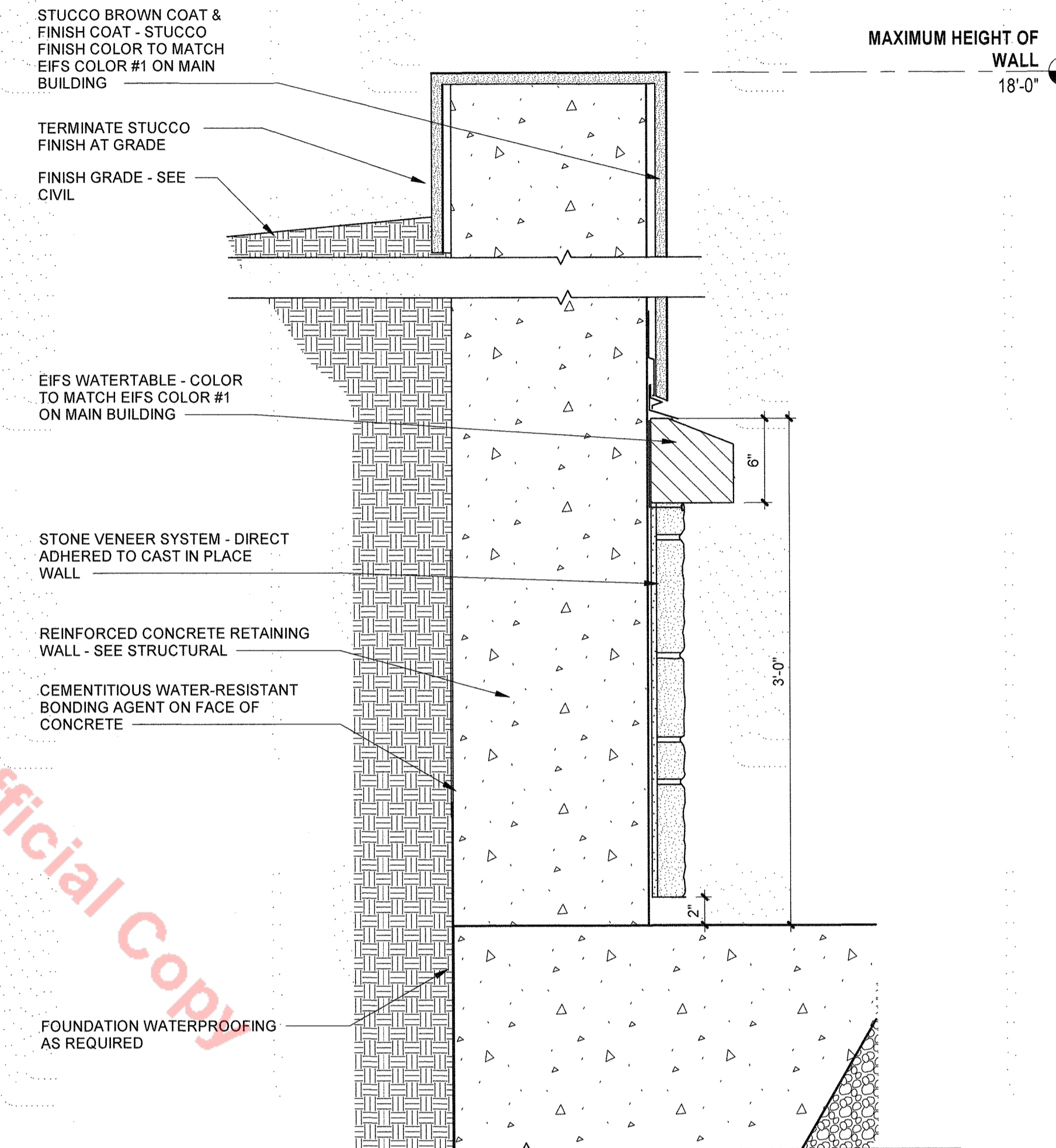
SDP22 - 0059
 BUILDING ELEVATIONS
 original SHEET 12 OF 16
 New Sheet 8 of 12

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



EAST ELEVATION - RETAINING WALL



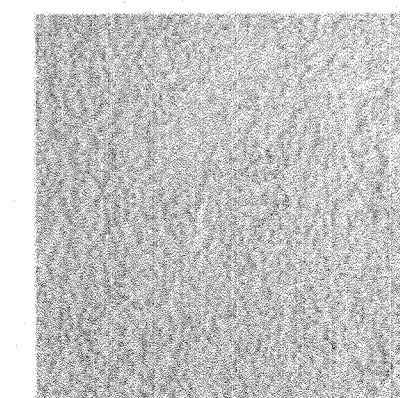
RETAINING WALL DETAIL

MATERIAL LEGEND

LOCATION:	RETAINING WALL AT FUTURE LINACC
MATERIAL:	STONE VENEER
MANUFACTURER:	(BASIS OF DESIGN) SUNSET STONE
COLOR:	"CHEYENNE LEDGE"



LOCATION:	RETAINING WALL AT FUTURE LINACC
MATERIAL:	STUCCO FINISH - EIFS COLOR #1
MANUFACTURER:	DRYVIT
COLOR:	"SANDPEBBLE"

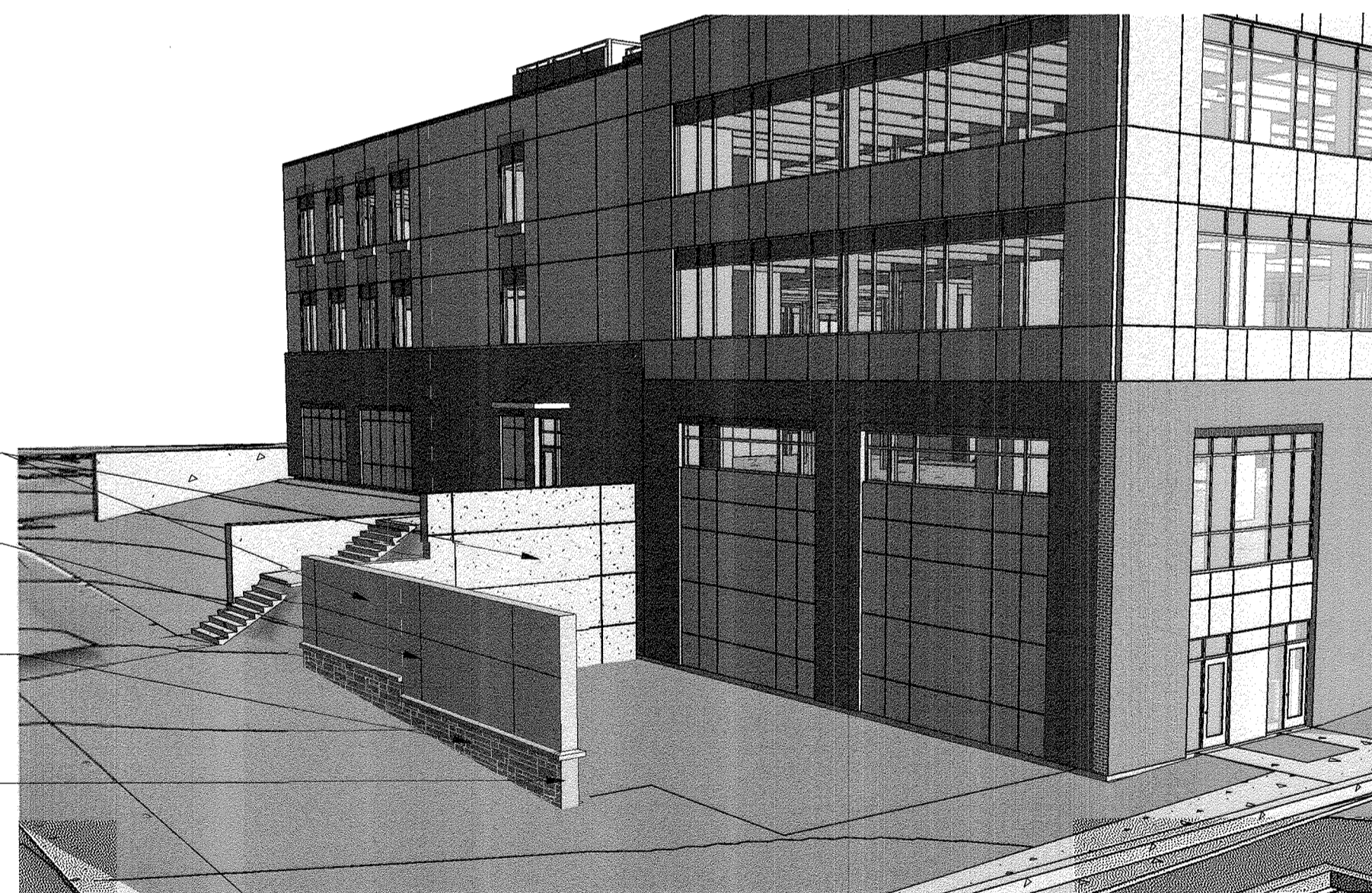


STUCCO FINISH ON CAST IN PLACE RETAINING WALL - STUCCO FINISH TO MATCH EIFS COLOR #1 ON MAIN BUILDING

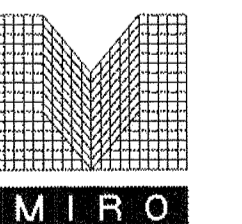
DECORATIVE CONTROL JOINTS - TYP. SAW CUT JOINTS WITH CAULK

STONE VENEER - STEP AS REQUIRED TO MAINTAIN 3'-0" AVERAGE HEIGHT

RETURN STONE AROUND FACE OF WALL 3'-0"



PERSPECTIVE VIEW AT RETAINING WALL



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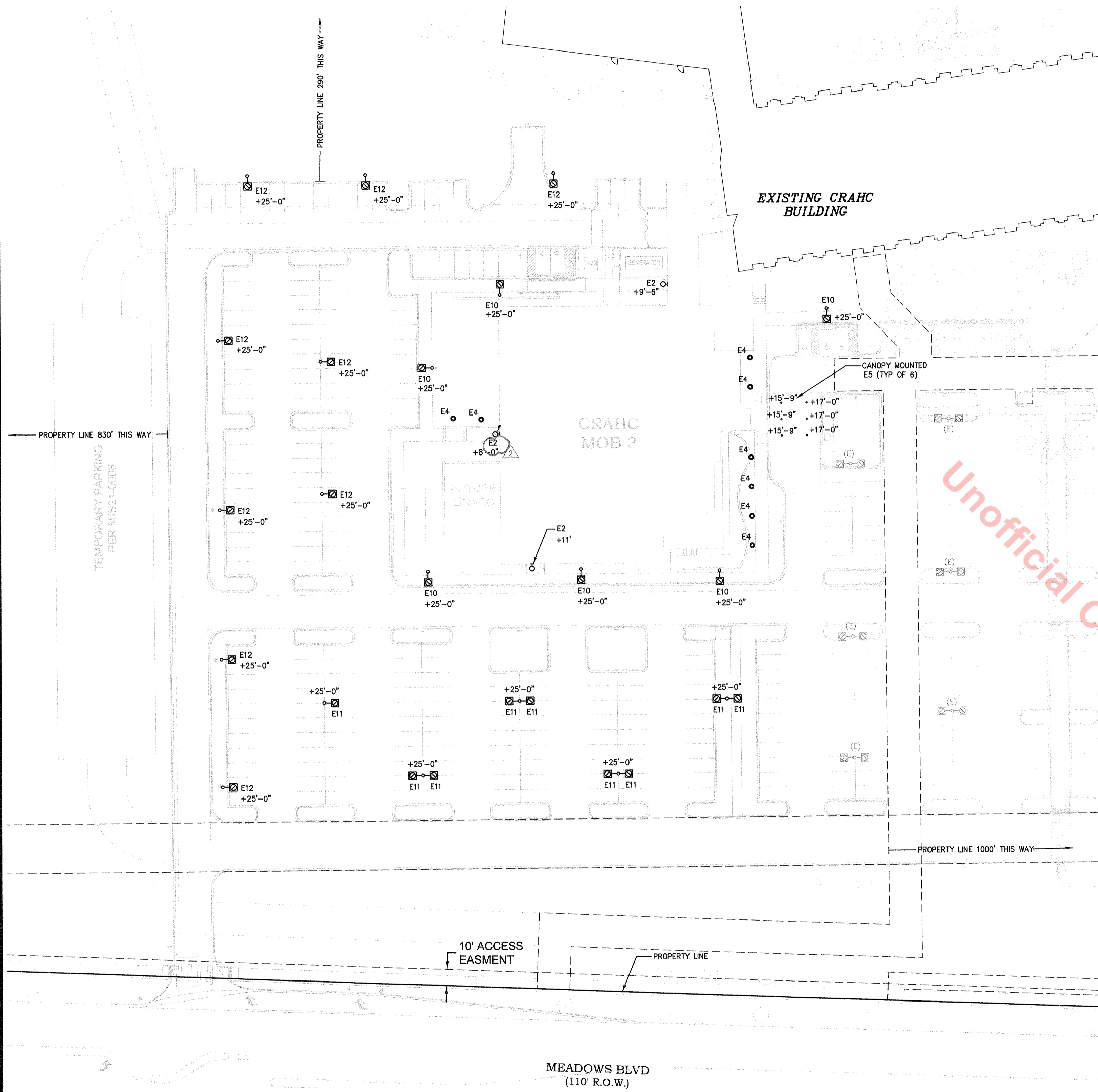
SITE DEVELOPMENT PLAN AMENDMENT NO. 2
 LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

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 BUILDING ELEVATIONS
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SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



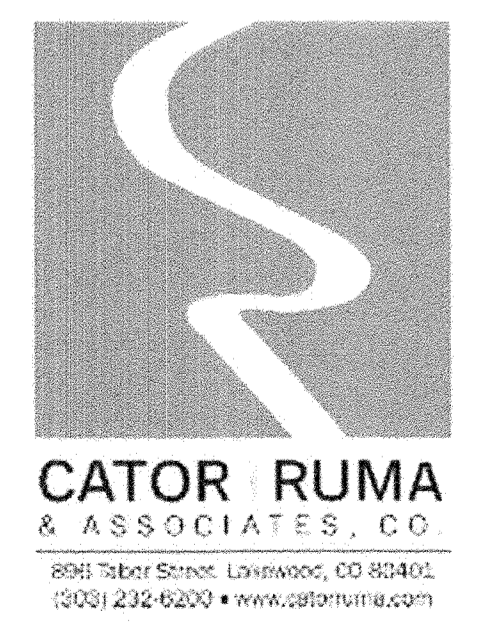
LUMINAIRE SCHEDULE

SPECIFIC NOTES:
 1. LIGHTING SHALL BE REDUCED BY 50% WITHIN ONE HOUR AFTER THE END OF BUSINESS HOURS AND BE OPERATED IN SUCH 50% REDUCED MODE UNTIL ONE HOUR PRIOR TO COMMENCEMENT OF BUSINESS HOURS.
 2. CONTROL VIA LIGHTING CONTROL PANEL AND PHOTOCELL.
 3. FINISH TO MATCH EXISTING LUMINAIRES ON ADJACENT PARKING LOT FOR CRAHC.

TYPE	DESCRIPTION	LAMPS	LOCATION	HEIGHT	COUNT	VOLT-AMPS	VOLTAGE	MANUFACTURER	CATALOG SERIES	FINISH	MOUNTING	NOTES
E10	21.87X9.72X3.33 SINGLE HEAD FULL CUTOFF LED LUMINAIRE WITH ELECTRONIC DRIVER, TYPE III DISTRIBUTION, DIMMABLE	10400 LM, 4000K, 80CRI	PARKING LOT	25'-0"	6	80	277	JAMES TRADING COMPANY LIMITED	SB-80W A1D40T3	DARK BRONZE	POLE MOUNTED	1,2,3
E11	21.87X9.72X3.33 SINGLE HEAD FULL CUTOFF LED LUMINAIRE WITH ELECTRONIC DRIVER, TYPE III DISTRIBUTION, DIMMABLE	13000 LM, 4000K, 80CRI	PARKING LOT	25'-0"	9	100	277	JAMES TRADING COMPANY LIMITED	SB-100W A1N40T3	DARK BRONZE	POLE MOUNTED	1,2,3
E12	20.79X11.58X3.43 SINGLE HEAD FULL CUTOFF LED LUMINAIRE WITH ELECTRONIC DRIVER, TYPE III DISTRIBUTION, DIMMABLE	19500 LM, 4000K, 80CRI	PARKING LOT	25'-0"	9	150	277	JAMES TRADING COMPANY LIMITED	SB-150W A2N40T3	DARK BRONZE	POLE MOUNTED	1,2,3
E2	7"X9.7"X3" LED WALL PACK, TYPE III MEDIUM DISTRIBUTION, FULL CUTOFF	1962 LM, 4000K, 70CRI	WALL MOUNTED	PER PLANS	3	14.5	277	HUBBELL	RWL1-48L-15-4K7-3	DARK BRONZE	WALL	1,2
E4	43"X8" DIA MARINE GRADE, CORROSION RESISTANT, HEAVY GAUGE EXTRUDED ALUMINUM LED LOUVERED BOLLARD, DOWNWARD DIRECT LIGHT COMPLETELY SURROUNDING THE LUMINAIRE, FULL CUTOFF	1000 LM, 4000K, 80CRI	FRONT OF THE BUILDING - WALKING PATH	43"	8	32	277	FC LIGHTING	FCP450	DARK BRONZE	GROUND	1,2
E5	WET LOCATION RATED LED 8" DIAMETER DOWNLIGHT, FULL CUTOFF	1100 LM, 4000K, 80CRI	BUILDING MOUNTED - SOFFIT	PER PLANS	7	16	277	PRESCOLITE	LF8SL86LFSL1140K9FL	CLEAR ALZAK	RECESSED	1,2

Unofficial Copy

SITE LIGHTING PLAN
 SCALE: 1"=40'



SITE DEVELOPMENT PLAN AMENDMENT NO. 2
 LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 SDP22-0059

LIGHTING PLAN
 SHEET 14 OF 16
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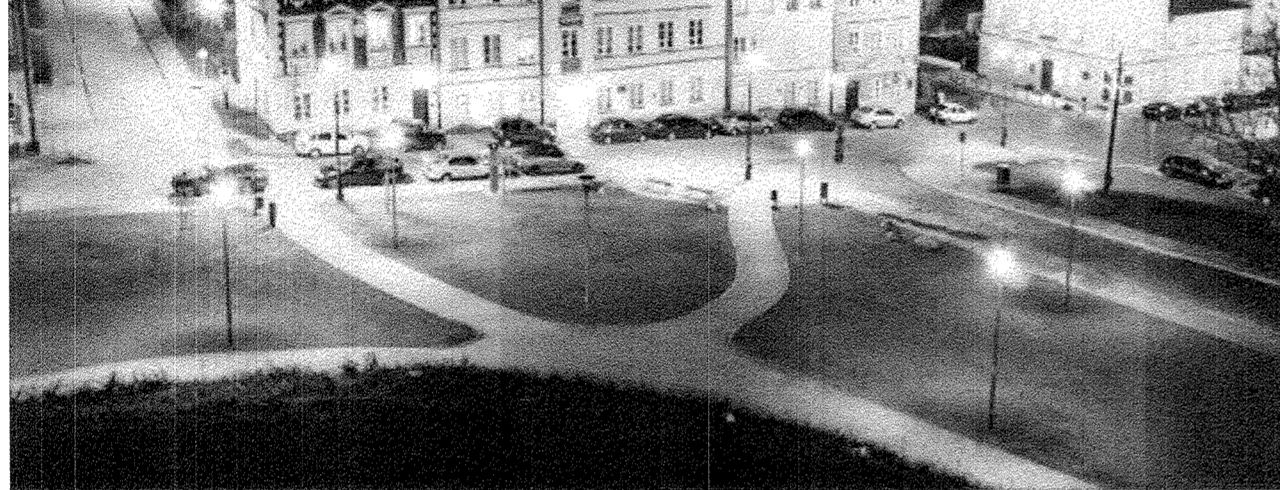
SITE DEVELOPMENT PLAN AMENDMENT NO. 1

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 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SHOE BOX LIGHT

SB-vvvW-T-X
Y
Z

Shoe Box	voltage	shell shape	Dimming of Not Dimmable	CCT	Beam Angle
80W	A1	A1	Non-dimmable	27-2700K	T2+ Type 2
110W	A2	A2	Non-dimmable	27-3000K	T3+ Type 3
120W	A3	A3	Dimmable	35-3500K	T4- Type 4
180W				40-4000K	T5+ Type 5
200W				45-4500K	
240W				50-5000K	
300W				55-5500K	
				60-6000K	

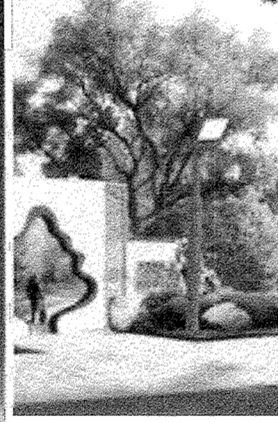


DESCRIPTION
 Shoe Box LED lights are very low maintenance and low energy consumption with a long life span. A built-in photocell sensor allows for convenient dusk-to-dawn lighting. The Shoe Box lighting is an effective way to illuminate large parking areas with ease. Despite their small size, these LED lights generate up to 80 percent energy savings. Once mounted, shoe box lamps can be easily adjusted to control light direction and shape covering an area.

PERFORMANCE INFORMATION

Model No	SB-80W A1XYZ	SB-100W A1XYZ	SB-120W A1XYZ
LED POWER (W)	80	100	120
Light efficiency	130 lm/w		
Input Voltage	AC 100-277V/277-480V		
Material	ADC12 Die-Cast Aluminum		
Lumen(lm)	10400	13000	15600
Beam Angle	TP2 / TP3 / TP4 / TP5		
CR	>70		
PF	>0.9		
CCT	2200K-6500K		
Working Life-span	>50000 hours		
Working Temperature	-40°C to 45°C		
IP Rating	WET LOCATION AND IP66		
Dimensions (inch)	21.87x9.72x3.33		
Warranty	5 years		

APPLICATIONS



Parks

Page 1

RATIO Wall

RWL1/RWL2 LED WALLPACK

FEATURES

- Low profile LED wall luminaire with a variety of IES distributors for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, Wiscap and 7-Pin with networked controls
- Battery Backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500m and 5500m configurations at 4000K

DATE: _____ LOCATION: _____

TYPE: _____ PROJECT: _____

CATALOG #: _____



RELATED PRODUCTS

Ratio Family Ratio Area Ratio Flood

CONSTRUCTION

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.
- 48 or 160 midpower LEDs
- 3000K, 4000K or 5000K (70 CRV80 CR) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations.

ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90 power factor and less than 2.0% Total Harmonic Distortion
- Driver RoHS and IP66
- Field replaceable surge protection device provides 20kA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes failure offline for protection when device is compromised
- Dimming drivers are standard and dimming leads are extended out of the luminaire to the dimming leads. Must specify if wiring leads are to be greater than 6' standard.

CONTROLS (CONTINUED)

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as anticipated depending on your application.

CERTIFICATIONS

- Listed to UL1699 and CSAC22.2#250.0-24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/29/2020. See Buy American Solutions.
- DL® Designlights Consortium Qualified, with some Premium Qualified configurations. Please refer to the DL® website for specific product qualifications at www.designlights.org

WARRANTY

- 5 year limited warranty
- See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	1,300-18,800
Wattage Range	10-155
Efficacy Range (LPW)	119-148
Fixture Projected Life (Hours)	170-50K
Weights lbs. (kg)	6.5/6.5 (2.97/5)

INSTALLATION

- Quick mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct j-box mount.
- Integral back box contains 1/2" conduit hubs
- Integral back box standard with Dual Driver, Dual Power Feed, NX Wiscap and battery versions (battery versions for RWL1 only)

ELECTRICAL

- 120V-277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 35W.

CONTROL TECHNOLOGY

NX DISTRIBUTED INTELLIGENCE™ WISCAP™

CONSTRUCTION TECHNOLOGY

SP US DLG DLG

Page 17 Rev. 11/6/21 RWLLED-SPEC

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FC LIGHTING

FCB450

DATE: _____ Approved: _____

TYPE: _____

Fixture: _____

Project: _____



DESCRIPTION

FCB450 Exterior die-cast aluminum, round 8-inch diameter and 43" tall, louvered bollard designed and built to provide downward directed light completely surrounding the luminaire or, optionally, internally shielded to 180° or 90° light pattern.

PHYSICAL

dimensions	43"H x 8"Dia.
weight	18 lbs
finishing	marine grade, corrosion resistant, heavy gauge extruded aluminum (0.131" thick)
lens	clear, heat resistant, tempered glass globe
mounting	heavy gauge base bracketing for bollard installation provides a unique mounting solution, so the lower body anchors flush to the ground without the appearance of a base plate, anchor bolts included (5-box by others)
ingress protection	IP66: dry, damp, or wet locations with extruded silicone gasket to seal out contaminants
finish	Six stage cleaning and saline pre-treatment. Super TGIC polyester powder coat finish, 18µm Min., 5000hr salt spray test (ASTM B117) compliant with Florida AAMA 2604 specification.

PERFORMANCE

	2700K	3000K	3500K	4000K
color temperature				
lumen output	1000 lm			
life cycle	> 70,000 hours / L70 or better			
color consistency	3 SDCM / 85CR			
operating temperature	-13°F to 104°F (-25°C to 40°C)			
storage temperature	73°F @ 7°-25°C			
warranty	5-Year limited warranty (refer to website for details)			

ELECTRICAL

input voltage	Universal 120-277VAC optional: 347 VAC (integral) 480 VAC (integral)		
power supply	Integral Class II, electronic, high power factor > 94% @120V		
certification	ETL/cETL Listed		
standards	UL 1598/CSA C22.2 No. 250.0, UL 8750/CSA C22.2 No. 250.13/IES LM-79/LM-80		
power consumption	32W @ 120V - 277V (maximum)		
dimming	standard: 0-10V (10%) optional: ELV (120V only)/DMX (integral)/DALI (integral)		

Due to continuous development and improvements, specifications are subject to change without notice. FC Lighting reserves the right to change its details or specifications without notice. Product use certifies agreement to FC Lighting terms and conditions.

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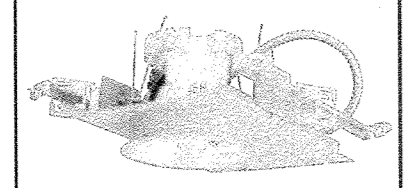
SITE DEVELOPMENT PLAN AMENDMENT NO. 2
 LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
 6TH AMENDMENT TO THE FINAL PD SITE PLAN
 TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
 SDP22-0059

LUMINAIRE STYLE
 Original SHEET 15 OF 16
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SITE DEVELOPMENT PLAN AMENDMENT NO. 1

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
6TH AMENDMENT TO THE FINAL PD SITE PLAN
QUARTER: NW: SECTION: 34, TOWNSHIP: 7: RANGE: 67
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



**6" LED Open Downlight
LF6ML**
120V - 277V
0-10V Dimming

APPLICATIONS:
LiteFrame LF6ML is a 6" specification grade LED open downlight that utilizes high efficiency LEDs to obtain color consistency, energy savings, and low maintenance costs. 50,000 hours minimum life up to 25°C (95°F) in open plenum applications.

HOUSING:
22 gauge non-corrosive steel platform. Pre-wired (box with snap-on cover for easy access. Snap-in connection from driver compartment allows easy installation of light engine/trim assembly without tools above or below the ceiling and can be upgraded to accommodate technology improvements. Approve for 8 (4 in/4 out) No. 12 AWG conductors rated for 90°C through wiring.

REFLECTOR:
High purity aluminum, Alzak, hazeless suppressed, semi-diffuse reflector. Selltrim standard. Painted white selltrim (WT) available as option.

LED LIGHT ENGINE:
The LF6ML uses the Philips Fortimo DIM LED Module. This module provides controlled color consistency (3 SDCLM) from future to future. The system is designed for optimal life and lumen maintenance (50,000 hours at 70% lumen maintenance). Both reflector and light engine assembly are mechanically retained to housing.

LED DRIVER:
The LF6ML utilizes the Philips Fortimo LED Driver specifically designed to optimize efficiency of the Fortimo DIM Module. Driver is designed to match the

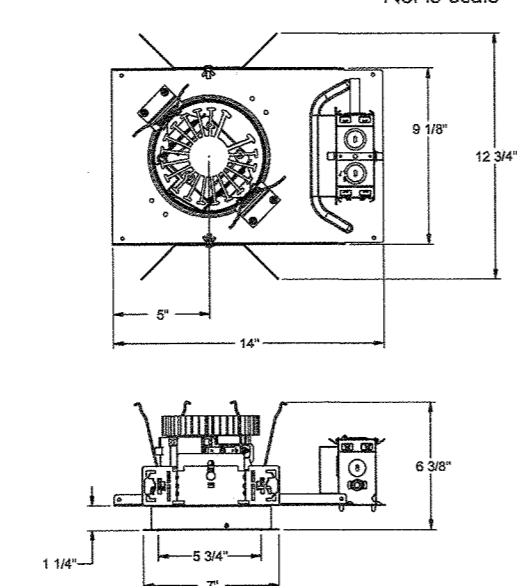
DATE: _____ TYPE: _____

FIRM NAME: _____

PROJECT: _____

LiteFrame

Ceiling Cutout: 6 1/4"
Maximum Ceiling Thickness 1 1/4"
For conversion to millimeters, multiply inches by 25.4
Not to Scale



See page 6 for EM/EMR, OP, LVEI and NXIWE line art details.

EXAMPLE: LF6ML-6LFML30L35K8WT

50,000 hours minimum life expectancy of the system. Meets UL Class 2, inherent short circuit protection, self limited, overload protected. If critical temperatures are reached on driver or LED module, integrated thermal feedback loop will gradually reduce current to protect system life. Driver is universal 120V/277V. Optional Lutron Series A driver is also available.

DIMMING:
Comes standard with 0-10V dimming capability. Flicker-free dimming to 10%. 0-10V control may consume up to 1mA. 0-10V, Lutron 2 wire and EcoSystem dimming available to 1% and DMX with RDM (remote device management) dimming to less than 0.1%.

INSTALLATION:
Adjustable Bar hangers included (not with CP option). Universal adjustable mounting brackets also accept 1/2" EMT conduit or 1 1/2" or 3/4" lifting channel (by others) or Prescolite 24" bar hangers (B24 or B6).

CERTIFICATIONS:
CSA certified to US and Canadian safety standards. Suitable for wet locations. Approved for through wiring. Non-IC rated. EM and EMI are damp rated use only. ENERGY STAR qualified with open clear Alzak reflector. UL approved for NSF2 splash zone applications.

WARRANTY:
5 year warranty. See www.prescolite.com for details.

Order housing, reflector, and accessories separately

HOUSING	DRIVER OPTION	VOLTAGE OPTION	HOUSING OPTION	REFLECTOR	ACCESORIES
<input type="checkbox"/> LF6ML Medium Lumen 120V Dimming 0-10V 10% dimming 120/277V	<input type="checkbox"/> Standard 0-10V <input type="checkbox"/> DM1* 0-10V dimming 120V <input type="checkbox"/> DM2** 0-10V dimming 277V <input type="checkbox"/> DM3*** 0-10V dimming 347V	<input type="checkbox"/> Standard 120/277V <input type="checkbox"/> 120V <input type="checkbox"/> 277V <input type="checkbox"/> 347V	<input type="checkbox"/> CP-1A* Chicago Plenum <input type="checkbox"/> LV* Lutron Viva Enabled, 0-10V, 120/277V <input type="checkbox"/> LVE (EDM Only) Lutron Viva Enabled, EcoSystem <input type="checkbox"/> NXIWE** NX Wireless Enabled <input type="checkbox"/> NXE** NX Enabled, Dual SmartPorts <input type="checkbox"/> EM-1A Emergency Battery Pack with integral test switch and indicator light <input type="checkbox"/> EMV Emergency Battery Pack with remote test switch and indicator light	<input type="checkbox"/> 6LFML30L Semi-Diffuse Clear Alzak Reflector with 3000 Lumen Module <input type="checkbox"/> FL35* Nominal 35° cut-off <input type="checkbox"/> SP Specular <input type="checkbox"/> SS Semi-Specular <input type="checkbox"/> HFC American Matte™ <input type="checkbox"/> Y Kurt Varsen Specular <input type="checkbox"/> VS Kurt Varsen SoftGloss™ <input type="checkbox"/> VSS Kurt Varsen SoftGloss™	<input type="checkbox"/> AM* Anti-microbial coating on clear Alzak reflector only <input type="checkbox"/> EM-1A Pre-wired reflector for integral switch <input type="checkbox"/> BL Black Alzak <input type="checkbox"/> WE White Alzak <input type="checkbox"/> LW Light Wheat Alzak <input type="checkbox"/> PW Pewter Alzak <input type="checkbox"/> HFC Frosted Matte White <input type="checkbox"/> TRG Trim Ring Gasket <input type="checkbox"/> WF Wide Flange <input type="checkbox"/> B24* Set of two 24" bar hangers for T-bar ceilings <input type="checkbox"/> B6* Set of two (2) bar hangers for ceiling joist up to 24" centers <input type="checkbox"/> LSC6 6" Reflector screw cover <input type="checkbox"/> SCAG Shaped ceiling adapter (see note on back page) <input type="checkbox"/> Signos6 Architectural glass elements. Refer to specification sheets ARCHSG001 and 003 <input type="checkbox"/> LiteGear* Inverter, single phase central lighting, 120V/200VA <input type="checkbox"/> LPS Series* Ballast micro-inverter, 200V, 55VA

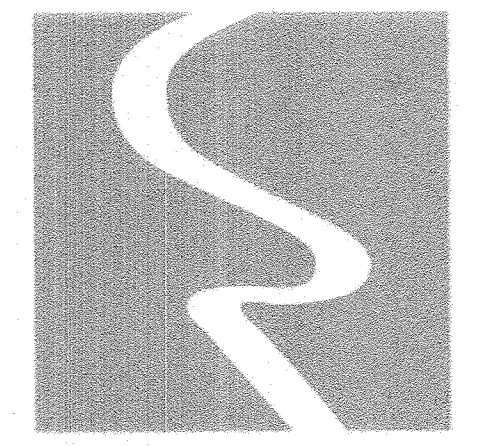
Notes:
* Not available with 347V
* Clear Alzak standard. Consult factory for other colors
* Bar hanger necessary should be ordered with CP housing, not included as standard
* Not available with EM, EMR, DMK, 3T or 8T.
* See Central Inverter compatibility note and web links on page 3
* For DM1, do not specify a voltage if 120 or 277
* Voltage must be specified with EDM, 2DM, and DMX
* 3T requires standard dimming or DM1
* Not available with CP option
* Not available with EDM, 2DM, or DMX
* Not available with EM
* EM option required on both housing and line
* Only available in 90+ CB

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In a continuing effort to offer the best product possible we reserve the right to change, without notice, specifications or materials that in our opinion will not alter the function of the product.
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LFR-LED-027

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SITE DEVELOPMENT PLAN AMENDMENT NO. 2
LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
6TH AMENDMENT TO THE FINAL PD SITE PLAN
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO
SDP22-0059

LUMINAIRE STYLE
Original SHEET 16 OF 16
New sheet 12 of 12