

# SITE DEVELOPMENT PLAN AMENDMENT NO. 1

## LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 42

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
1.41 ACRES

### LEGAL DESCRIPTION:

LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 42 ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

SAID PARCEL OF LAND CONTAINING 1.41 ACRES MORE OR LESS.

### OWNERSHIP CERTIFICATION

VIPER HOLDINGS, LLC, A COLORADO LIMITED LIABILITY COMPANY  
BY: Tyler Breitman AS  
Manager OF VIPER HOLDINGS, LLC

SIGNED THIS 26th DAY OF January, 2023

### NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF January, 2023 by Tyler Breitman as manager of Viper Holdings, LLC, A Colorado Limited Liability Company  
WITNESS MY HAND AND OFFICIAL SEAL.

ANGELINA RUMSEY  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 2018404217  
My Commission Expires: November 22, 2025

### TITLE CERTIFICATION

I, Brenda Becker, AN AUTHORIZED REPRESENTATIVE OF Lord Title Guarantee Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

Brenda Becker  
AUTHORIZED REPRESENTATIVE

Lord Title Guarantee Company  
TITLE COMPANY

SIGNED THIS 26th DAY OF January, 2023

### NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF January, 2023 BY Brenda Becker AS AUTHORIZED REPRESENTATIVE OF Lord Title Guarantee Company.

Brenda Becker  
AS AUTHORIZED REPRESENTATIVE OF Lord Title Guarantee Company

WITNESS MY HAND AND OFFICIAL SEAL.

ANGELINA RUMSEY  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 2018404217  
My Commission Expires: November 22, 2025

MY COMMISSION EXPIRES: 11/22/2025

### WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE FOUNDERS MARKETPLACE FILING NO. 1 SUBDIVISION IMPROVEMENTS AGREEMENT, RECORDED ON THE 5TH DAY OF AUGUST, 2004 AT RECEPTION NO 200408106.

### SURVEYOR'S CERTIFICATE

I, VLADISLAV SREBETA REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS REVIEWED BY ME, THE MONUMENTS SHOWN THEREON WERE SET ON JUNE 21, 2022, AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

VLADISLAV SREBETA  
REGISTERED LAND SURVEYOR

07/14/2022  
DATE

### CIVIL ENGINEER'S STATEMENT

I, Chelle BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Chelle  
REGISTERED PROFESSIONAL ENGINEER

07/15/2022  
DATE

### STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 6th DAY OF February, 2023.

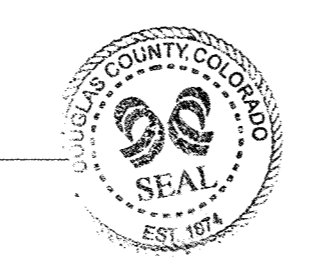
Shoni  
DIRECTOR OF DEVELOPMENT SERVICES

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 1:31 PM ON THE 6th DAY OF 2023 AT RECEPTION NO. 2023005222

DOUGLAS COUNTY CLERK AND RECORDER

BY: Simone K. Boluna  
DEPUTY



### SITE DEVELOPMENT PLAN GENERAL NOTES

1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.

2. PURSUANT TO SECTION 4.3 AND 8.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.

3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.

4. THIS PROPERTY IS LOCATED WITHIN ZONE "AREA OF MINIMAL FLOOD HAZARD ZONE X" AS PER FEMA FIRM PANEL NO. 08035C 0189G DATED 3/16/2016.

5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.

6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.

7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.

8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.  
REVISED: 11/5/2019

10. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT. (MODIFY AS APPROPRIATE.)

11. THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR "THIS SITE IS ZONED PLANNED DEVELOPMENT."

12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.

13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.

14. THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES.

16. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

19. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.  
REVISED: 11/5/2019

### FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.

2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.

3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.

4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.

Zoning Comparison			
Zoning	Mail and Office Center Infill PD		
	Requirement	SDP17-0046	SDP21-0024
Permitted Uses	As per Section IIE of the PD Zoning Regulations	Car Wash	Car Wash
Minimum Lot Size	1 acre	1.41 Acres	1.41 Acres
Maximum Building Coverage	35%	7.57%	7.57%
Minimum front yard setback*	20 feet	47.8 feet	47.8 feet
Minimum rear yard setback*	10 feet	79.5 feet	79.5 feet
Minimum side yard setback*	10 feet	15.0 feet	15.0 feet
Minimum side to street setback*	20 feet	155.0 feet	155.0 feet
Maximum building height	25-foot (Moderate skyline) 35-foot (Minor skyline)	25 feet	25 feet
Maximum buildable slope	33.33%	5.6%	5.6%
Minimum Parking	Car wash and detail requires: 1 space per employee plus 1 space per bay or stall plus adequate space for pull-out and drive aisles	Provided = 7 spaces	Provided = 7 spaces
		Total required = 6 Employees = 5 Tunnel Bay = 1	Total required = 6 Employees = 5 Tunnel Bay = 1
Minimum ADA Parking	Per Muni. Code 1 ADA space required for 1 to 25 total lot spaces	Provided = 1	Provided = 1
		Total Required = 1 Total lot spaces = 7	Total Required = 1 Total lot spaces = 7
Vacuum Stations	0	24	24
Site Utilization			
	S.F.	% of Total	% of Total
Building Coverage	4,660	7.57%	7.57%
Parking Coverage	21,756	35.35%	35.35%
Other Coverage: Site Drive Aisles	9,186	14.93%	14.93%
Other Coverage: Sidewalk	2,338	3.80%	3.80%
Shared Drive	6,957	11.30%	11.30%
Landscape/Open Space Coverage	16,645	27.05%	27.05%
Total	61,542	100%	100%

### PURPOSE OF AMENDMENT

THE PURPOSE OF THIS AMENDMENT TO SDP17-0046 IS TO MODIFY THE BARREL ROOF DESIGN, MODIFY LIGHTING, REMOVE THE WINDOW CANOPY, CHANGE THE SIZE OF WINDOWS AND DOORS, ADD A HAND RAIL TO THE RETAINING WALL, REALIGN ADA PATH AND PARKING SPACE, ADD A RETAINING WALL WITH GUARDRAIL AS DIRECTED BY IREA/CORE, CORRECT THE "SAFETY TRIANGLE" SIZE CALLED OUT AT INTERSECTION OF ALOHA TO MATCH CITY STANDARDS, AND TO REMOVE LANDSCAPING AT THE DIRECTION OF CASTLE ROCK WATER ALONG THE NORTH OF THE BUILDING AND NEAR RETAINING WALLS TO NOT IMPACT GEOGRID AND WALL STABILITY.

5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.

6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.

7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.

8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

### BASIS OF BEARING

THE BASIS OF BEARING IS THE WEST LINE SW 1/4 SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST AND BEARS N 01 DEG. 18 MIN. 43SEC WEST, 2,647.44'.

### BENCHMARK STATEMENT

WEST 1/4 CORNER, SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST - 5 FT. WC FOUND 3.25 ALUM. CAP "LPI PLS 23561".

### LIENHOLDER SUBORDINATION CERTIFICATE

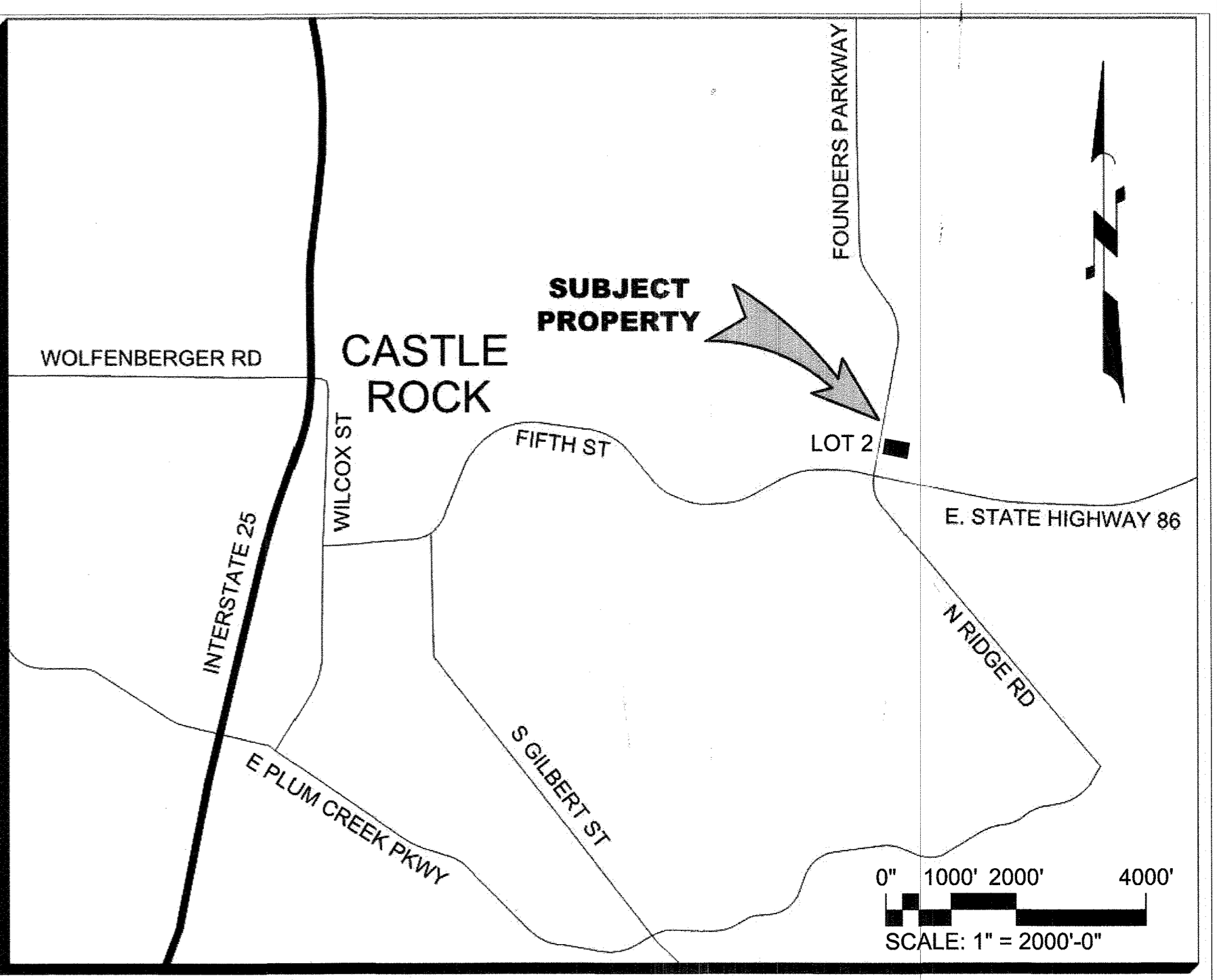
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED NOVEMBER 16, 2020 AT RECEPTION NO. 2020112022, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

Brad Woods  
FRONTIER BANK

SIGNED THIS 26th DAY OF January, 2023  
NOTARY BLOCK SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF January, 2023 BY Brad Woods  
WITNESS MY HAND AND OFFICIAL SEAL.

Wendy Lujan  
NOTARY PUBLIC

WENDY L. LUJAN  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 2014006727  
MY COMMISSION EXPIRES MARCH 01, 2028



VICINITY MAP  
SCALE: 1" = 2,000'

OWNER  
VIPER HOLDINGS, LLC  
1295 SILVERHEELS DR  
LARKSPUR, CO 80118

DEVELOPER:  
PARK LAND COMPANY  
9800 MT. PYRAMID COURT,  
SUITE 340  
ENGLEWOOD, CO 80112

CIVIL ENGINEER:  
HCI ENGINEERING  
621 SOUTHPARK DR.,  
SUITE 1600  
LITTLETON, CO 80120  
PHONE: 303-979-3900 EXT. 201  
CONTACT: COLE HABERER

SURVEYOR OF RECORD:  
ATWELL, LLC  
143 UNION BLVD, SUITE 700  
LAKEWOOD, CO 80228  
PHONE: 720-462-1100  
CONTACT: SHAWN CLARKE

LANDSCAPE & IRRIGATION CONSULTANTS:  
KIRBY SMITH & ASSOCIATES, INC.  
6201 S. HUDSON COURT  
CENTENNIAL, CO 80121  
PHONE: 303-694-9484  
CONTACT: KIRBY SMITH

For Sheets 3, 4 and 9, refer to original SDP recorded under Reception No. 2019021219.

SDP21-0024	SDP17-0046	SHEET INDEX
SHEET NUMBER	SHEET NUMBER	SHEET TITLE
1	1	COVER SHEET
2	2	SITE PLAN
-	3	GENERAL GRADING PLAN
-	4	GENERAL UTILITY PLAN
5	5	CONCEPTUAL LANDSCAPE PLAN
6	6	BUILDING ELEVATIONS
7	7	BUILDING ELEVATIONS
8	8	GENERAL LIGHTING PLAN
-	9	SITE DETAIL / FIXTURES

SITE DEVELOPMENT PLAN AMENDMENT NO. 1  
LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 42

PROJECT NUMBER: SDP21-0024 COVER SHEET

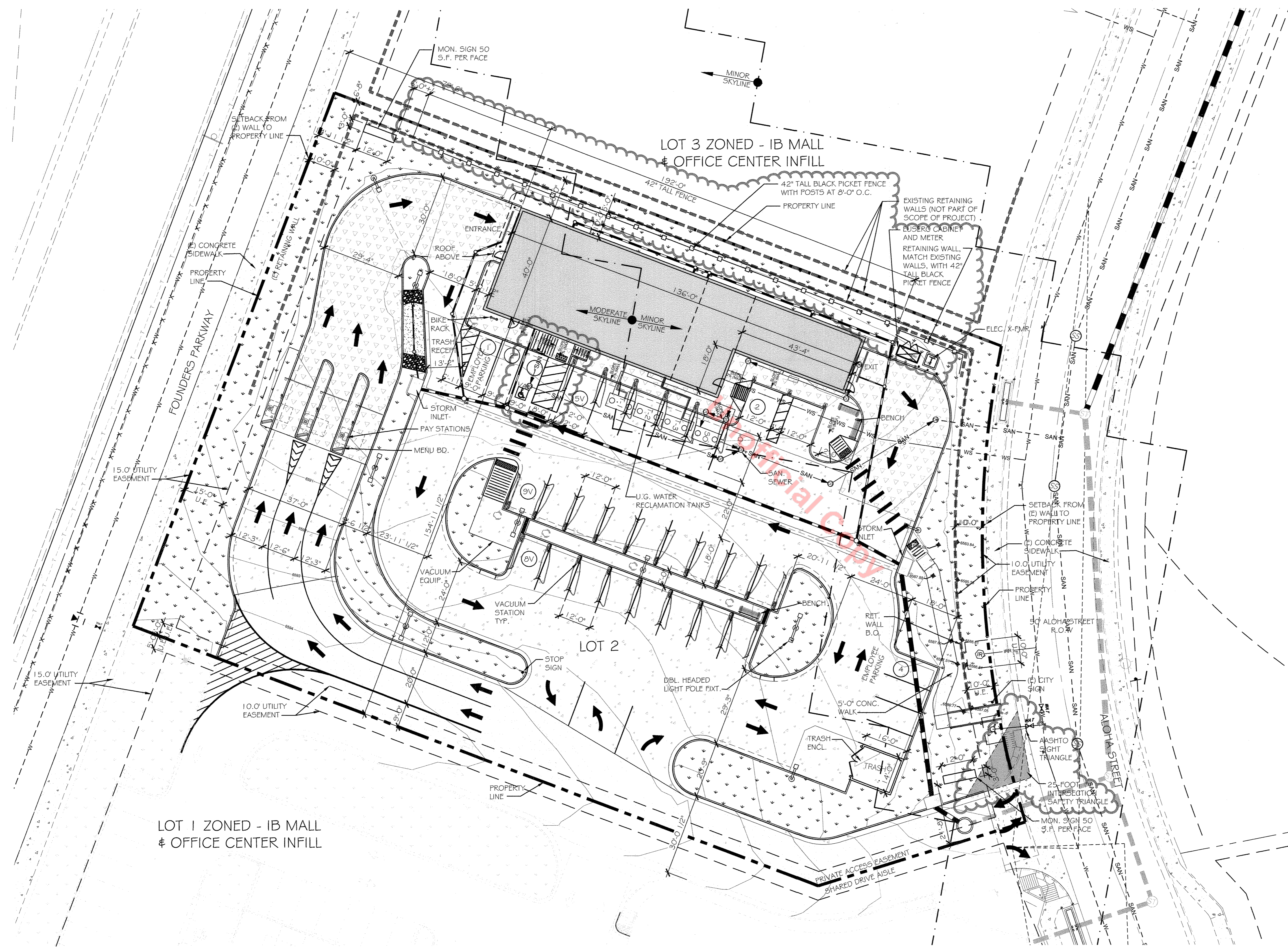
DATE: APRIL 21, 2017  
REV: MAY 18, 2022  
SCALE: AS SHOWN  
JOB NO: 17007  
SHEET 1 OF 8

7000 E. Bellevue Avenue, Suite 355  
Greenwood Village, Colorado 80111  
CAHEN ARCHITECTURAL GROUP P.C.  
www.CAHEN-ARCH.com

# SITE DEVELOPMENT PLAN AMENDMENT NO. 1

## LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
1.41 ACRES



### LEGEND

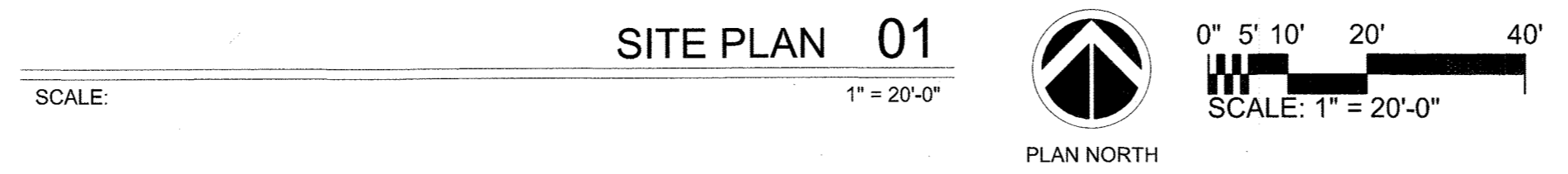
- PROPERTY BOUNDARY / LOC
- ROW
- EASEMENT/ UTILITIES
- SKYLINE BOUNDARY
- EXISTING RETAINING WALL (NOT PART OF SCOPE OF THIS PROJECT)
- CONCRETE PAVEMENT
- HEATED CONCRETE PAVEMENT
- ASPHALT DRIVE
- LANDSCAPE
- WATER SERVICES
- SEWER LINE
- STM
- LIGHT POLES
- TRENCH DRAIN
- VACUUM STATION
- TRASH RECEPTACLE
- BIKE RACK
- BENCH
- V - VACUUM STATIONS  
# - NUMBER OF VACUUM STATIONS
- REGULAR PARKING SPOT  
# - NUMBER OF PARKINGS

LOT 1 ZONED - IB MALL  
& OFFICE CENTER INFILL

LOT 3 ZONED - IB MALL  
& OFFICE CENTER INFILL

LOT 2

SITE PLAN 01



SITE DEVELOPMENT PLAN AMENDMENT NO. 1  
LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2

PROJECT NUMBER: SDP21-0024

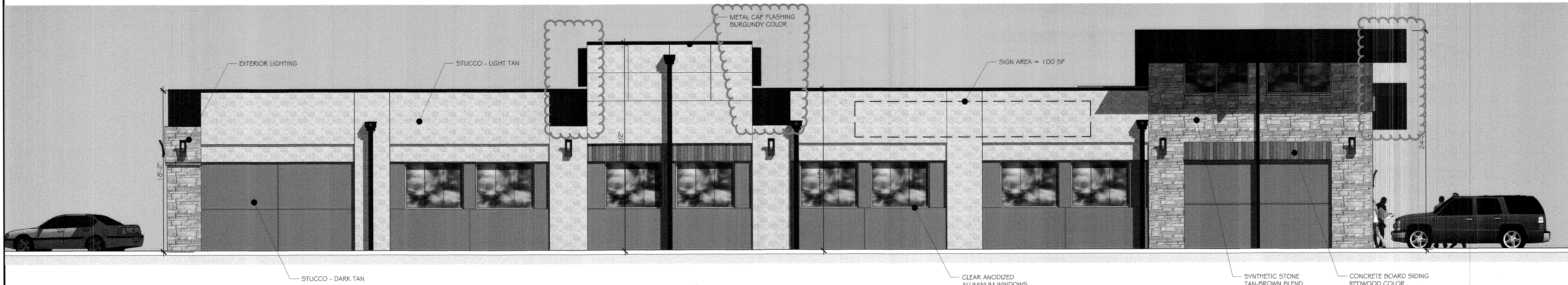
SITE PLAN

**CAHEN ARCHITECTURAL GROUP P.C.**  
7000 E. Bellevue Avenue, Suite 305  
Greenwood Village, Colorado 80111  
www.CAHEN-ARCH.com

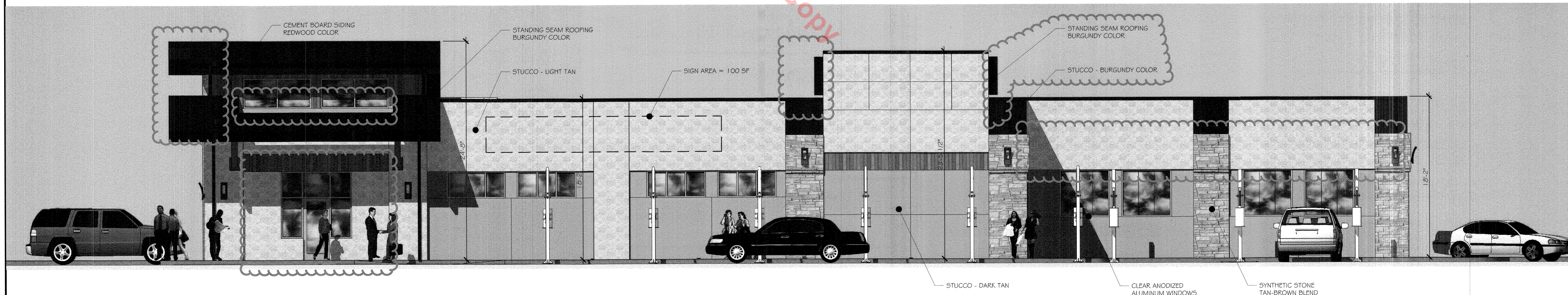
DATE: APRIL 21, 2017
REV: JANUARY 26, 2023
SCALE: AS SHOWN
JOB NO: 17007
SHEET 2 OF 6



**SITE DEVELOPMENT PLAN AMENDMENT NO. 1**  
**LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2**  
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 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
 1.41 ACRES



**NORTH ELEVATION 02**  
 SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION 01**  
 SCALE: 3/16" = 1'-0"

SITE DEVELOPMENT PLAN AMENDMENT NO. 1  
 LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2

PROJECT NUMBER: SDP21-0024

**BUILDING ELEVATIONS**

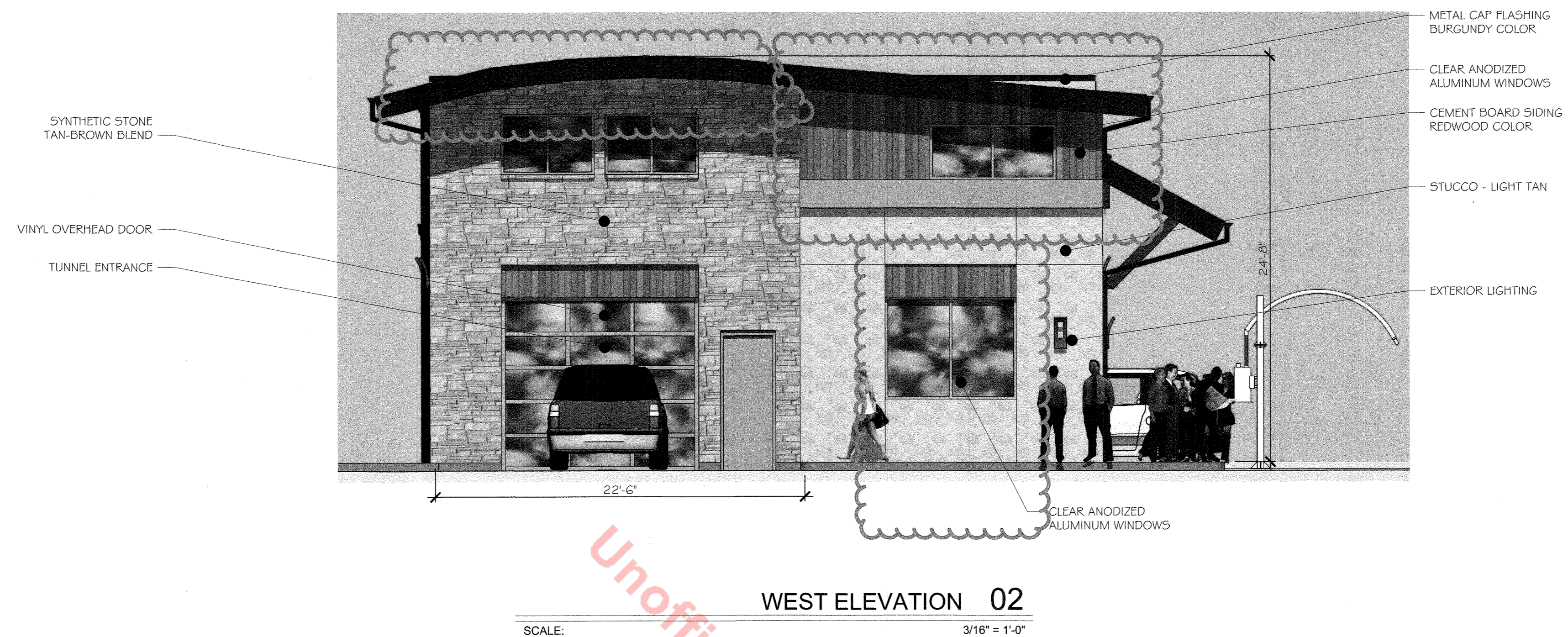
**REALIZE YOUR VISION**  
 7000 E. Belleview Avenue, Suite 305  
 Greenwood Village, Colorado 80111  
 www.CAHEN-ARCH.com

DATE: APRIL 21, 2017  
 REV: JANUARY 26, 2023  
 SCALE: AS SHOWN  
 JOB NO: 17007  
**SHEET 4 OF 8**

# SITE DEVELOPMENT PLAN AMENDMENT NO. 1

## LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2

LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN,  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
1.41 ACRES



SITE DEVELOPMENT PLAN AMENDMENT NO. 1  
LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2

PROJECT NUMBER: SDP21-0024

### BUILDING ELEVATIONS

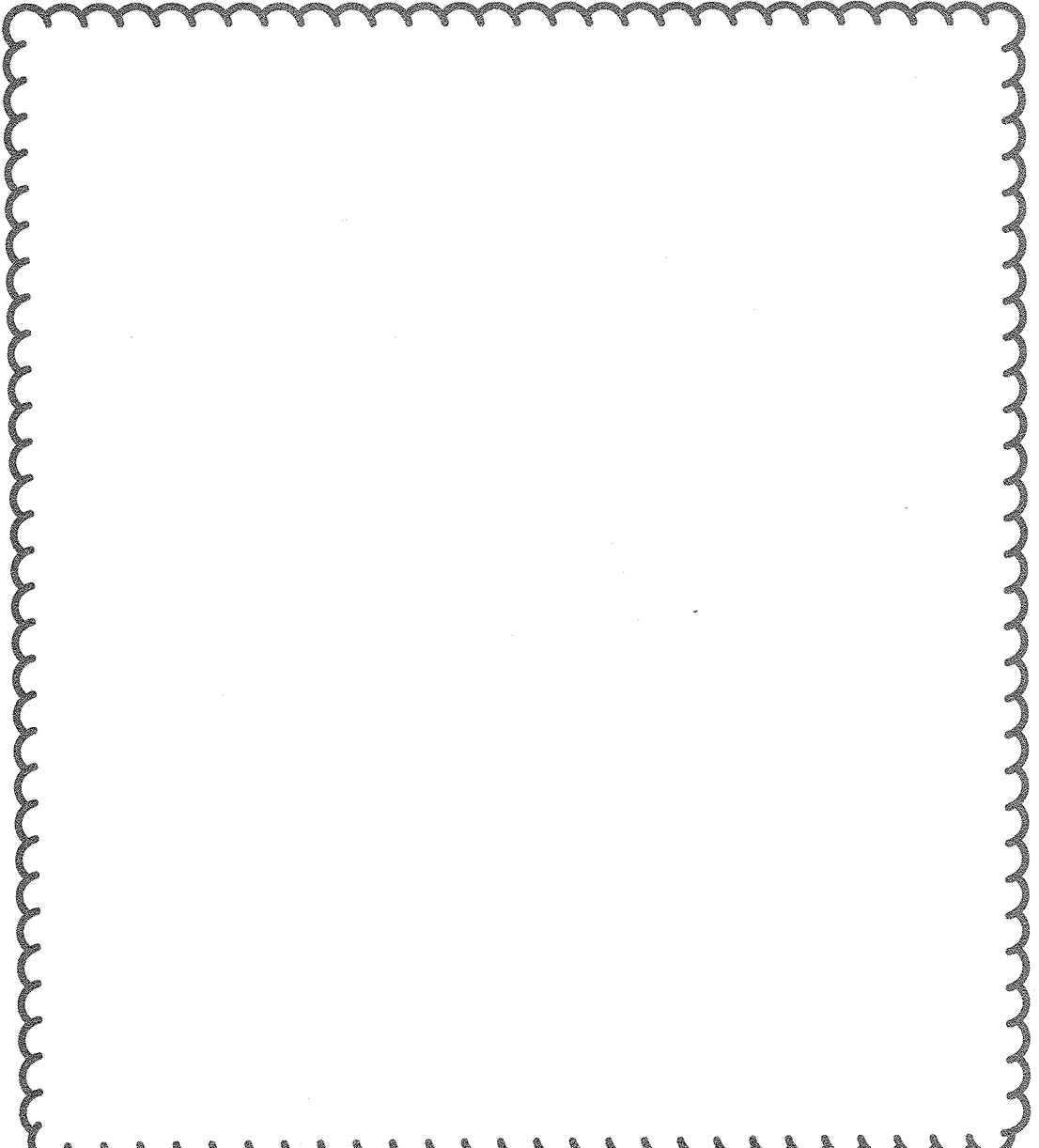
7000 E. Bellevue Avenue, Suite 355  
Greenwood Village, Colorado 80111  
www.CAHEN-ARCH.com

DATE: APRIL 21, 2017  
REV: JANUARY 26, 2023  
SCALE: AS SHOWN  
JOB NO: 17007  
SHEET 5 OF 8

# SITE DEVELOPMENT PLAN AMENDMENT NO. 1

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LOCATED IN THE SOUTHWEST ONE- QUARTER OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 66 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO  
1.41 ACRES



LABEL = W

**DAWN** Exterior Science  
WS-W2216 / WS-W2223

**MODERN FORMS**

Fixture Type: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_  
Project: \_\_\_\_\_  
Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**  
From dusk to dawn, there's no better expression of modern architecture than this modern, angular, curved, geometric form with a bold, curved window. Powered by energy-efficient LEDs, bright indirect light is perfect for creating architectural accents and illuminated pathways. Available in weather-resistant black, bronze and graphite.

**FEATURES**  
• Indirect and downward illumination  
• No transformer or driver needed  
• 277V available as a special order  
• Dimmer: ELV  
• CRI: 95  
• Rated Life: 50,000 hours

**ORDER NUMBER**

Model	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish	Height
WS-W2216	100	277V	3600	3600	Black	27"
WS-W2223	237	480V	1200	1200	Bronze	27"
Example WS-W2223-02					Graphite	

Headquarters Distribution Center  
1000 Arapahoe Rd., Suite 200  
Castle Rock, CO 80108

**Specifications**  
Construction: Aluminum hardware, glass diffuser  
Light Source: High output LED  
Finish: Black, Bronze, Graphite  
Standard: ETL & cUL listed, Wet Location, IP65

**Product Dimensions**

**Electrical**  
• High performance driver features over-voltage, under-voltage, short-circuit and over temperature protection  
• 0-10V dimming (0% - 100%) standard  
• Standard Universal Voltage (120-277 VAC) input 50/60 Hz or optional High Voltage (240-480 VAC)  
• L80 (calculated L70) Hours (See Lumen Maintenance on Page 2)  
• Heat Sinking: Superior  
• Operating temperature: -40°C to +50°C (-40°F to +122°F), 40L lumen package rated to +60°C  
• Power factor: > 0.95  
• Input power stays constant over life  
• Field replaceable cover (patented design) meets a minimum Category C Low operation per ANSI/IES C92-41.23  
• High efficiency LEDs required to meet energy class (must be maximum heat dissipation)  
• Thermal shock provided (accepts up to 10pa shock)  
• Components are fully exposed in potting material for moisture resistance. Items compatible with CO2 lasers. Other key electronic components can only be accessed.

LABELS = AA B2B, BB, CC & DD

**DAWN** Exterior Science  
WS-W2216 / WS-W2223

**MODERN FORMS**

Fixture Type: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_  
Project: \_\_\_\_\_  
Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**  
From dusk to dawn, there's no better expression of modern architecture than this modern, angular, curved, geometric form with a bold, curved window. Powered by energy-efficient LEDs, bright indirect light is perfect for creating architectural accents and illuminated pathways. Available in weather-resistant black, bronze and graphite.

**FEATURES**  
• Indirect and downward illumination  
• No transformer or driver needed  
• 277V available as a special order  
• Dimmer: ELV  
• CRI: 95  
• Rated Life: 50,000 hours

**ORDER NUMBER**

Model	Wattage	Voltage	LED Lumens	Delivered Lumens	Finish	Height
WS-W2216	100	277V	3600	3600	Black	27"
WS-W2223	237	480V	1200	1200	Bronze	27"
Example WS-W2223-02					Graphite	

Headquarters Distribution Center  
1000 Arapahoe Rd., Suite 200  
Castle Rock, CO 80108

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LABEL = FF

**QFIGIN** Features & Specifications

Optical System  
• Custom parabolic recessed design provides superior lumen output with maximum visual comfort (does not require an optical model)  
• Achieves uniform appearance eliminating problems  
• Available in 4000K and 5000K color temperatures per ANSI C78-377  
• Minimum CRI of 95

**Electrical**  
• Meets all applicable standards for use in areas with high humidity, corrosion, and dust  
• California Title 24 High Efficiency Requirements  
• ETL and cUL listed technology, the driver is fully integrated into the module, LEDs and heat sink covering an optimized thermal management system  
• 100% - 100% standard flux dimming for most leading and trailing edge dimming and low-voltage dimming  
• Standard 120 VAC input 50/60 Hz  
• L70 (calculated L70) Hours projected @ 20°C per IESNA TM-21-11  
• Total harmonic distortion: < 20%  
• Power factor: > 0.95  
• Input power stays constant over life

**6" PDL6K**  
LED Retrofit Recessed Downlights

The PDL6K is a complete LED in-line lighting fixture with an integrated LED module and heat sink with your choice of baffles, reflectors or no baffle. This is a complete LED in-line lighting fixture with an integrated LED module and heat sink with your choice of baffles, reflectors or no baffle. This is a complete LED in-line lighting fixture with an integrated LED module and heat sink with your choice of baffles, reflectors or no baffle.

**Performance (Cont.)**  
All published luminaire photometric testing performed to IESNA LM-79 standards. ISO footcandle plots below demonstrate the Slice (SLM) light patterns only. Not for total fixture output. For complete specifications and IES files, see website.

**Ordering Guide**  
TYPICAL ORDER EXAMPLE: SLM LED SBL SIL FIA UHW DIM 50 70CRI ALSCS84 BRZ IL

Label	Color Temp	Beam Angle	Height	Mounting	Finish	Options
AA	4000K	30°	22"	Recessed	Black	None
B2B	5000K	30°	22"	Recessed	Bronze	None
BB	4000K	30°	22"	Recessed	Black	None
CC	4000K	30°	22"	Recessed	Black	None
DD	4000K	30°	22"	Recessed	Black	None
W	4000K	30°	22"	Recessed	Black	None

LABELS = AA B2B, BB, CC & DD

**DAWN** Exterior Science  
WS-W2216 / WS-W2223

**MODERN FORMS**

Fixture Type: \_\_\_\_\_  
Catalog Number: \_\_\_\_\_  
Project: \_\_\_\_\_  
Location: \_\_\_\_\_

**PRODUCT DESCRIPTION**  
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**ORDER NUMBER**

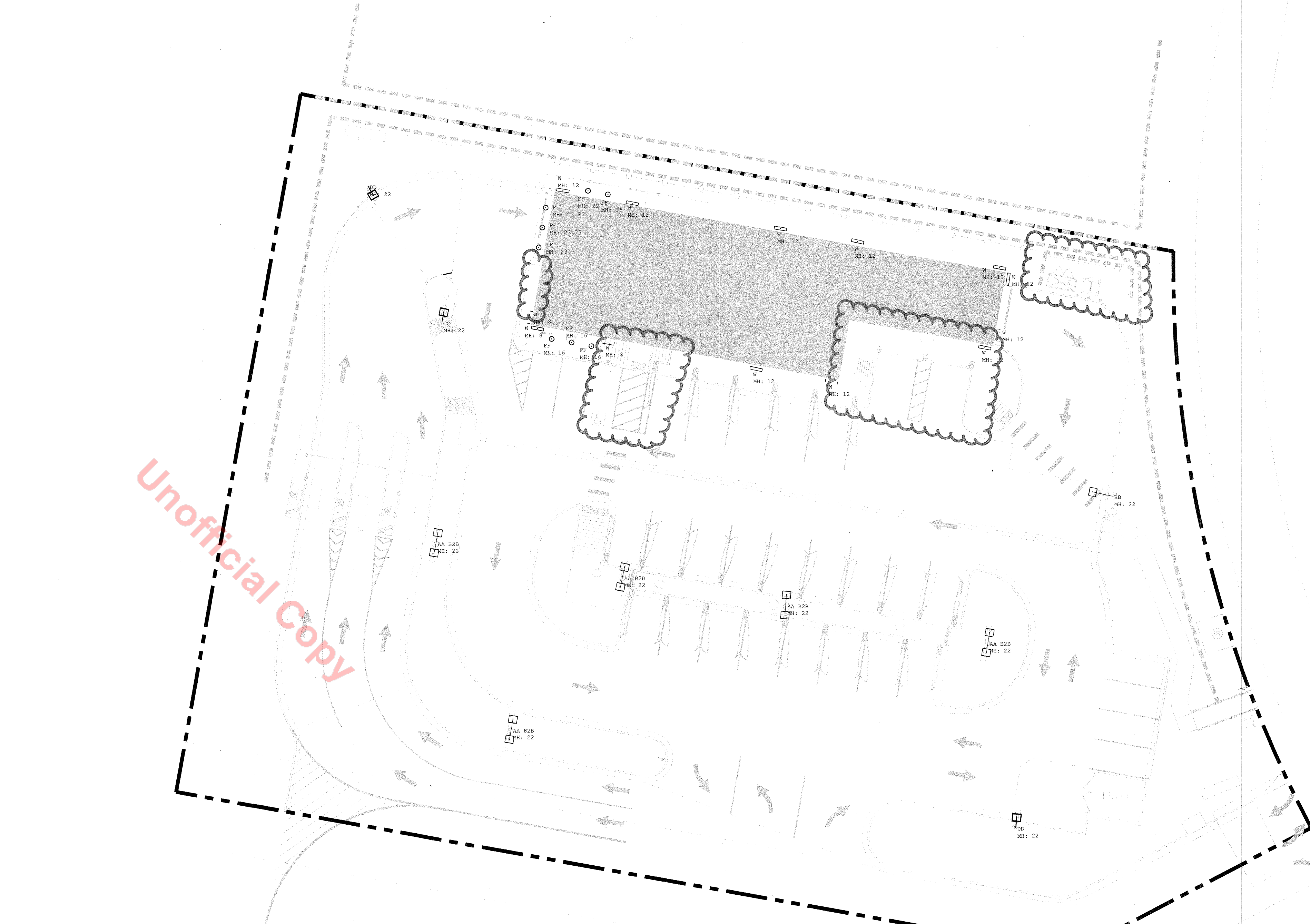
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**GENERAL LIGHTING NOTES.**

- Objectives for lighting in different areas of the site.
  - To provide safe and secure lighting for the patrons and carwash needs.
- Hours of light operation.
  - Photocell on, time clock off at 10pm.
- Mitigation to neighborhoods/adjacent properties.
  - All fixtures will be cut off fixtures.
- The following lighting types are prohibited: Forward Throw (Type IV) distribution, pole-mounted lights aimed at a building's façade, and unshielded wall packs.

POLE HEIGHT = 22'-0" TO TOP OF FIXTURE.

**Luminaire Schedule**

Symbol	Label	Arrangement	Total Lamp Lumens	Description
⊙	FF	SINGLE	N.A.	PDL6K-LED-08L-30-WH
⊙	DD	SINGLE	N.A.	SLM-LED-09L-SIL-FT-40-70CRI-IL
⊙	BB	SINGLE	N.A.	SLM-LED-18L-SIL-3-40-70CRI-IL
⊙	AA B2B	D180	N.A.	SLM-LED-09L-SIL-5W-40-70CRI
⊙	CC	SINGLE	N.A.	SLM-LED-09L-SIL-5W-40-70CRI
⊙	W	SINGLE	N.A.	XLCW-S-LED-SS-NW-UE

**Calculation Summary**

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Grounds Planar	Illuminance	Fc	1.53	12.3	0.0	N.A.	N.A.

PHOTOMETRIC PLAN 01



SITE DEVELOPMENT PLAN AMENDMENT NO. 1  
LOT 2, FOUNDERS MARKETPLACE FILING NO. 1, AMENDMENT NO. 2

PROJECT NUMBER: SDP21-0024

**PHOTOMETRIC PLAN**

REALIZE YOUR VISION

7020 E. Ballwin Avenue, Suite 205  
Greenwood Village, Colorado 80111

CAHEN ARCHITECTURAL GROUP P.C.

www.CAHEN-ARCH.com

DATE: APRIL 21, 2017  
REV: JANUARY 26, 2023  
SCALE: AS SHOWN  
JOB NO: 17007  
SHEET 6 OF 8