

SITE DEVELOPMENT PLAN AMENDMENT NO. 1 CRYSTAL VALLEY RANCH FILING NO.18

A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



WSB PROJECT NO.:
015171-000

SCALE: AS SHOWN
PLAN BY: LCW

DESIGN BY: LCW
CHECK BY: JJM

PURPOSE:
THE PURPOSE OF THIS SITE DEVELOPMENT PLAN AMENDMENT IS TO ROTATE THE COMMUNITY CENTER BUILDING AND ADD ADDITIONAL SIDEWALKS AND ADA RAMPS IN THE AREA OF THE COMMUNITY CENTER.

DEVELOPER:
RHYOLITE RANCH, LLC
16810 AVENUE OF THE FOUNTAINS SUITE 110
FOUNTAIN HILLS, AZ 85268
CONTACT: DAN KAUFFMAN
PHONE: 602.361.3607

ENGINEER:
WSB & ASSOCIATES
5660 GREENWOOD PLAZA BLVD
SUITE 111
GREENWOOD VILLAGE, CO 80111
CONTACT: JAMES J. MILL
PHONE: 720.318.8862

PLANNER:
WSB & ASSOCIATES
5660 GREENWOOD PLAZA BLVD
SUITE 111
GREENWOOD VILLAGE, CO 80111
CONTACT: JAMES J. MILL
PHONE: 720.318.8862

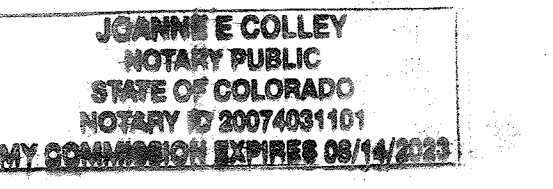
SURVEYOR:
WSB & ASSOCIATES
5660 GREENWOOD PLAZA BLVD
SUITE 111
GREENWOOD VILLAGE, CO 80111
CONTACT: BRAD OSWALD
PHONE: 248.686.4745

LANDSCAPE ARCHITECT:
WSB & ASSOCIATES
5660 GREENWOOD PLAZA BLVD
SUITE 111
GREENWOOD VILLAGE, CO 80111
CONTACT: ROBERT SLIPKA
PHONE: 763.231.4844

OWNERSHIP CERTIFICATION:
THE UNDERSIGNED ARE ALL THE OWNERS OF THE PROPERTY DESCRIBED HEREON IN THE TOWN OF CASTLE ROCK.

RHYOLITE RANCH, LLC
A COLORADO LIMITED LIABILITY COMPANY
BY: *Gregory W Brown*
GREGORY W BROWN, AGENT

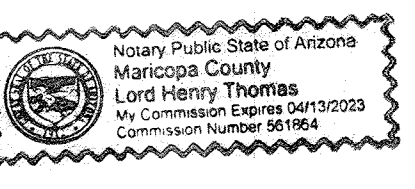
SUBSCRIBED AND SWORN BEFORE ME THIS 10 DAY OF AUGUST 2022
BY GREGORY W BROWN AS AN AGENT OF RHYOLITE RANCH, LLC
WITNESS MY HAND AND OFFICIAL SEAL.
Jeanne E. Colley
NOTARY PUBLIC
MY COMMISSION EXPIRES: AUGUST 14, 2023



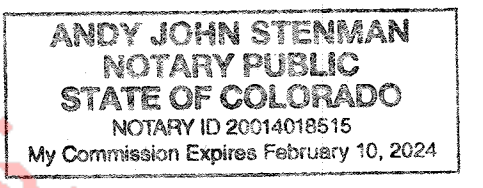
STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 24 DAY OF Aug 22 2022.
John A. ...
DIRECTOR OF DEVELOPMENT SERVICES

SDP21-0038	SDP18-0060	INDEX
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9	17	REC CTR PAVILION ELEVATIONS
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LIENHOLDER SUBORDINATION CERTIFICATE
THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIENS CREATED BY THE INSTRUMENTS RECORDED ON FEBRUARY 18, 2020 AT RECEPTION NO. 2020011435, DOUGLAS COUNTY, COLORADO, HEREBY SUBORDINATES THE SUBJECT LIENS TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.
[Signature]
M & T BANK
SUBSCRIBED AND SWORN TO BEFORE ME THIS 8 DAY OF August 2022
BY *Thomas Daly* AS *Sr. Vice President*
OF M & T BANK
WITNESS MY HAND AND OFFICIAL SEAL.
Andy John Stenman
NOTARY PUBLIC
MY COMMISSION EXPIRES: 4/13/23



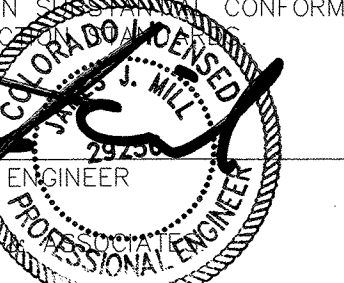
TITLE CERTIFICATION:
I, *Scott Bennett*, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
SIGNED THIS 13th DAY OF July, 2022
[Signature]
AUTHORIZED REPRESENTATIVE
Scott Bennett
LAND TITLE GUARANTEE COMPANY
WITNESS MY HAND AND SEAL.
NOTARY PUBLIC
MY COMMISSION EXPIRES: FEBRUARY 10, 2024



SURVEYOR'S CERTIFICATE:
I, L. BRAD OSWALD, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION.
[Signature]
L. BRAD OSWALD, PLS
COLORADO P.L.S. NO. 38510
FOR AND ON BEHALF OF WSB & ASSOCIATES
DATE: 7/19/2022



CIVIL ENGINEER'S STATEMENT:
I, JAMES J. MILL, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT PROPOSED ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH THE TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.
[Signature]
JAMES J. MILL, PROFESSIONAL ENGINEER
COLORADO P.E. NO. 29256
FOR AND ON BEHALF OF WSB & ASSOCIATES
DATE: July 15th 2022



PROJECT BENCHMARKS (NAVD 88):
BM "A" (TBM 950): CHISELED "X" ON TOP OF INLET; EAST SIDE OF LOOP ROAD @ CL STATION 37+75 (APPROX.) EL = 6569.94 FEET
BM "B" (TBM 951): CHISELED "X" ON TOP OF CURB; EAST SIDE OF LOOP ROAD @ CL STATION 91+12 (APPROX.) EL = 6533.10 FEET

DOUGLAS COUNTY CLERK AND RECORDERS CERTIFICATE:
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 3:17 pm ON THE 24th DAY OF August, 2022 AT RECEPTION NO. 202208240001
DOUGLAS COUNTY CLERK AND RECORDER
BY: *[Signature]*
DEPUTY



LEGAL DESCRIPTION
TRACT D, CRYSTAL VALLEY RANCH FILING NO. 18, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN - GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.7 AND 9.3.2 OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0304G, DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAN.
- THIS SITE IS ZONED PD PER THE CRYSTAL VALLEY RANCH PD, 4TH AMENDMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, STREET SIGNS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS 4-FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK PRIOR TO THE ISSUANCE OF THE PUBLIC WORKS PERMIT. ALL RETAINING WALLS ADJACENT TO PUBLIC STREET RIGHT OF WAY AND VISIBLE SHALL BE CONSTRUCTED OF GREY GRANITE (OR EQUAL), MATCHING THE EXISTING WALLS LOCATED THROUGHOUT CRYSTAL VALLEY RANCH. ALL MATERIALS TO BE APPROVED BY DEVELOPER PRIOR TO CONSTRUCTION.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

NO.	DATE	DESCRIPTION
1	02.11.2020	SDP APPROVAL
2	07.11.2022	SDP AMENDMENT 1

SITE DEVELOPMENT PLAN
CRYSTAL VALLEY RANCH FILING NO. 18
TOWN OF CASTLE ROCK

COVER SHEET

SHEET
1
of
10

SITE DEVELOPMENT PLAN AMENDMENT NO. 1
CRYSTAL VALLEY RANCH FILING NO.18
SDP21-0038

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SITE DEVELOPMENT PLAN AMENDMENT NO. 1 CRYSTAL VALLEY RANCH FILING NO.18

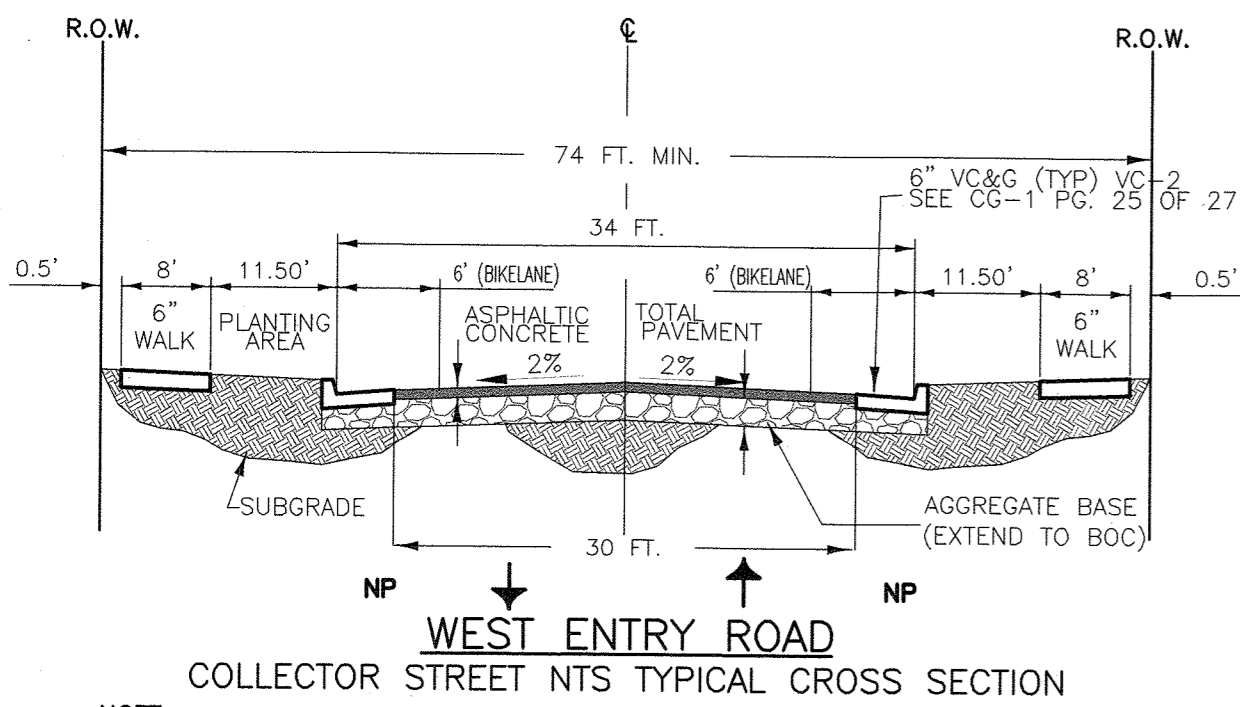
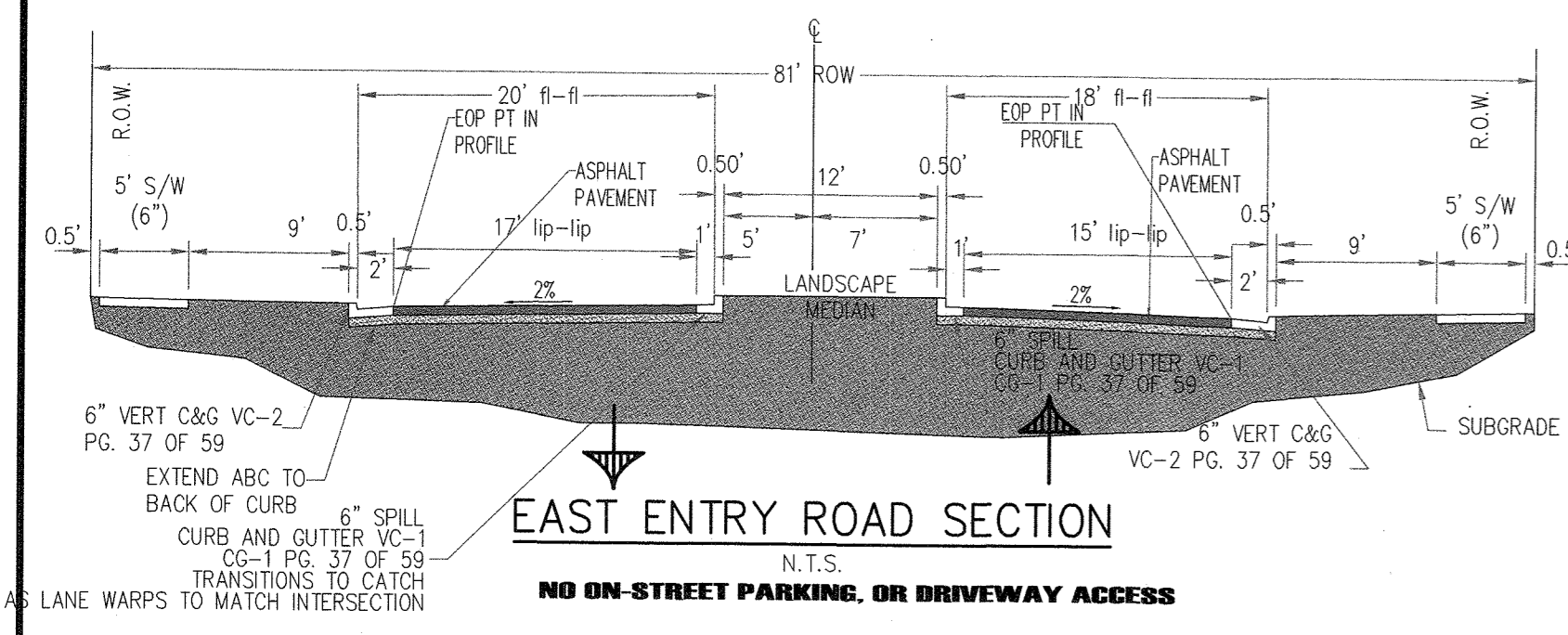
A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



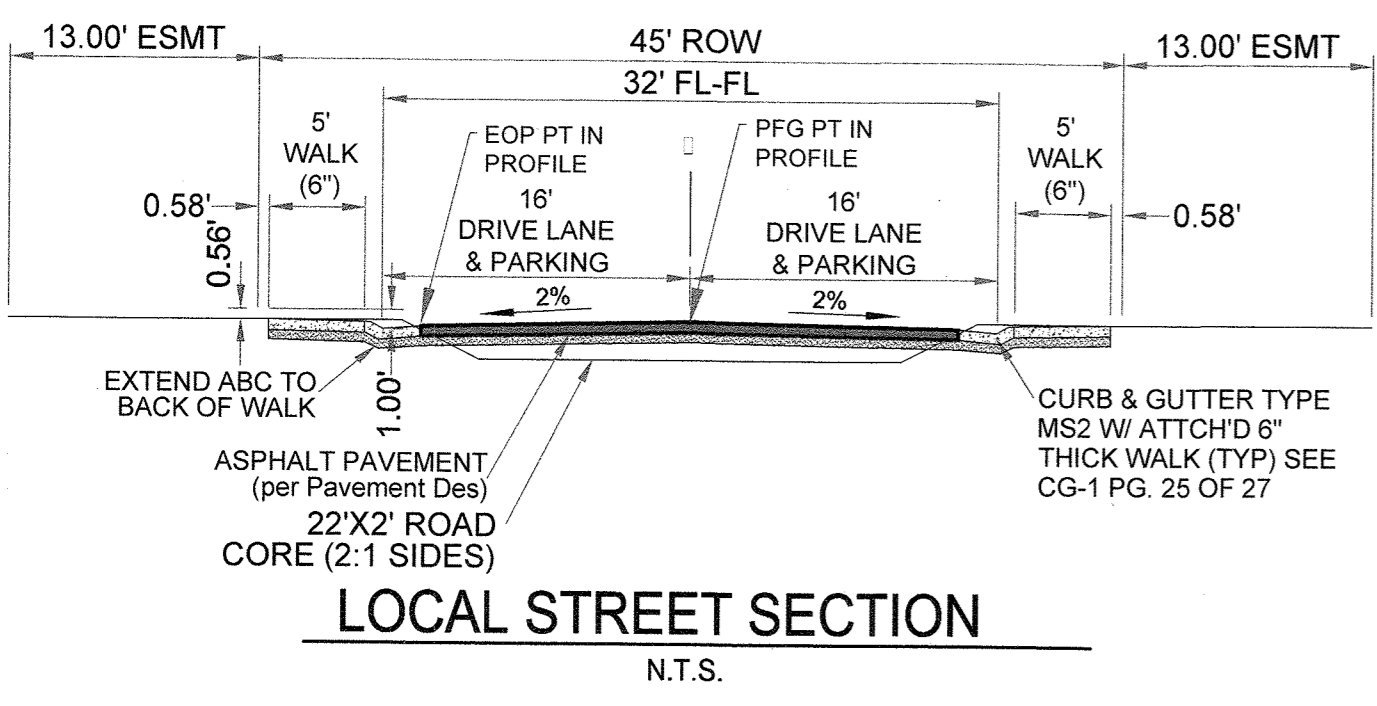
WSB PROJECT NO.:
015171-000

SCALE: AS SHOWN PLAN BY: LCW
DESIGN BY: LCW
CHECK BY: JJM

REVISIONS	
NO.	DESCRIPTION
1	02.11.2020 SDP APPROVAL
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NOTE: "NO PARKING FIRE LANE" SIGNS MUST BE POSTED BY THE DEVELOPER ON BOTH SIDES OF MAGWITH DRIVE AND COPPERFIELD AVE. PER CASTLE ROCK FIRE DEPARTMENT "NO PARKING FIRE LANE" SPECIFICATION DETAIL.

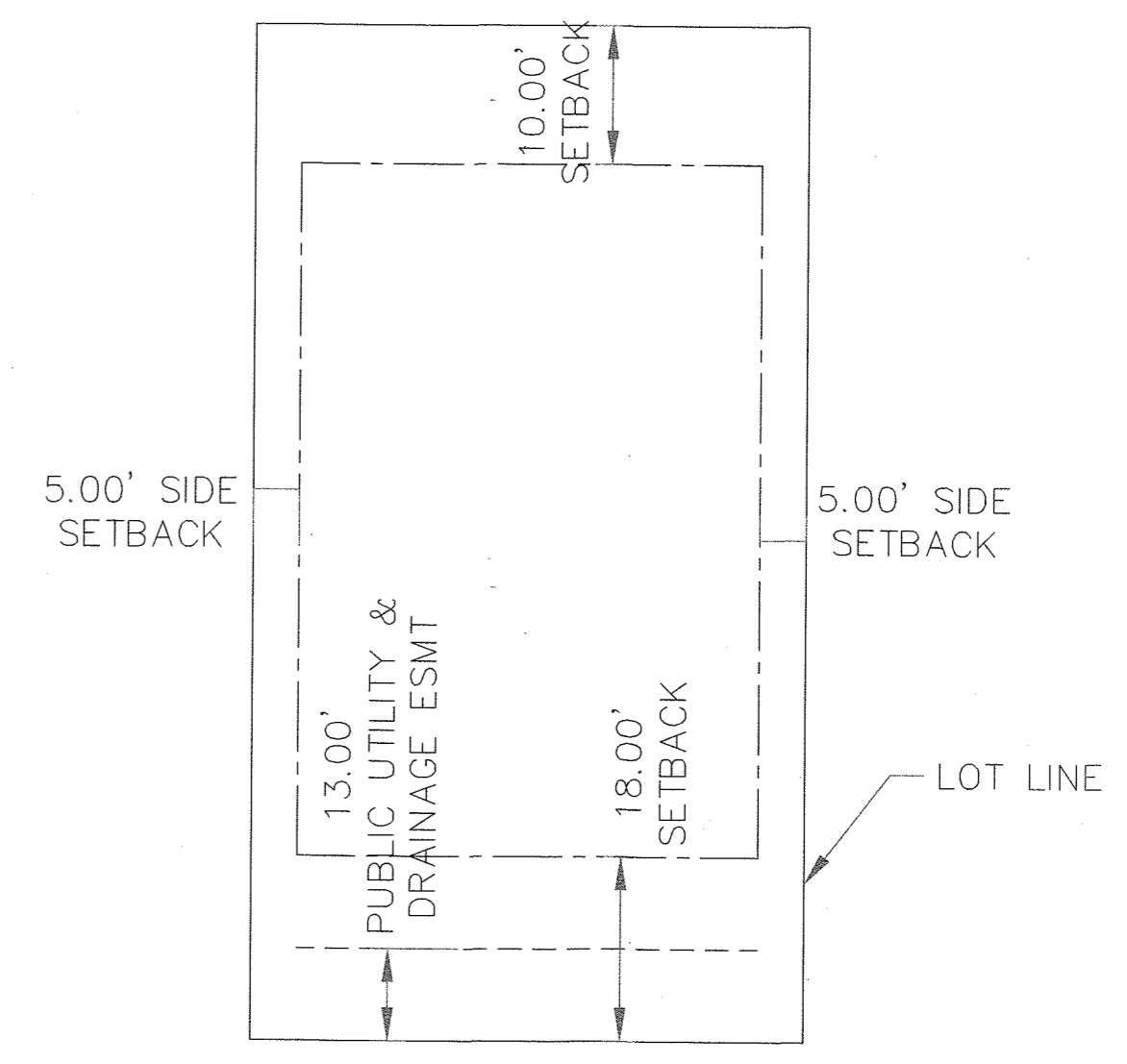


Description	Area	
OSP (Tract A-B, D-F)	6.866 ac	27.04%
COMMERCIAL	4.006 ac	15.78%
LOTS	10.819 ac	42.61%
SITE ROW	3.703 ac	14.58%
Total Land Area	25.394 ac	100.00%

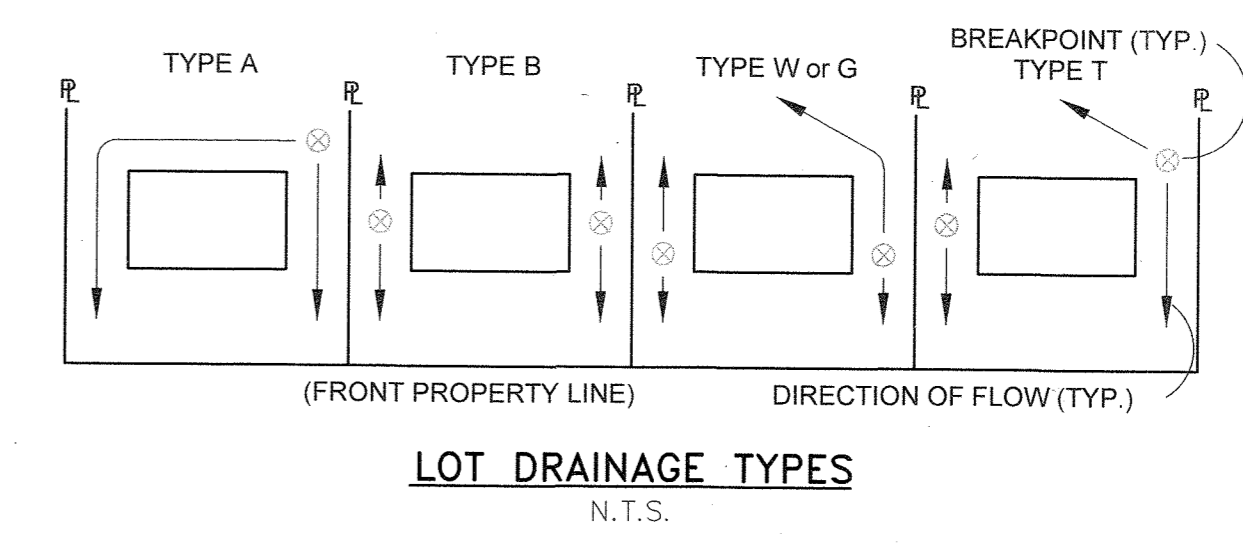
	SDP Approved	Proposed
Lot/unit Count - SFE's	90	
Landscape SFE's for irrigation	4.00	
Gross Density	5.1 du/ac	
Lots + Site-ROW	14.52 ac	
Minimum Lot Area	4,151 sf	
Maximum Lot Area	8,433 sf	
Average Lot Area	5,236 sf	
Total ROW Area	3.70 ac	
Total Landscape Area	302,246 sf	
Land Use	R-SF-6	No Change from Approved SDP 2020010070
Min Building Separation	10 ft	
Max Building Height (R-SF-6)	35 ft	
Min Front Garage/Primary Structure Setback	18 ft	
Min Patio or Living Setback	10 ft	
Side Lot Setback	5 ft	
Side Corner Lot Setback	13 ft	
Setback off Chamfered Corner ROW	0 ft	
Min Rear Setback	10 ft	
Off Street Parking Req per Lot	2	

- LEGEND**
- X:X SLOPE
 - ~ PROPOSED CONTOUR - 5'
 - ~ PROPOSED CONTOUR - 1'
 - ~ EXISTING CONTOUR - 5'
 - ~ EXISTING CONTOUR - 1'
 - FIRE HYDRANT
 - SIGNPOST
 - DOMESTIC WATER LINE
 - - - SIGHT DISTANCE LINE
 - - - BUILDING ENVELOPE
 - LOT BOUNDARY
 - - - ROAD CENTERLINE
 - - - EASEMENT LINE

	Area	Ownership/Maintenance	Description	Zoning	Usage Type
TRACT A	0.57 ac	Crystal Valley Ranch Master HOA	Landscape Tract	OSP	Landscape Buffer
TRACT B	0.15 ac	Crystal Valley Ranch Master HOA	Landscape Tract	OSP	Sight Triangle
TRACT C	4.01 ac	Crystal Valley Ranch Master HOA	Future Commercial Tract	OSP	Commercial Use
TRACT D	0.80 ac	Crystal Valley Ranch Master HOA	Rec. Center	OSP	Recreation Area
TRACT E	1.57 ac	Crystal Valley Ranch Dev. Co.	Landscape Tract	OSP	Landscape Buffer
TRACT F	3.77 ac	Crystal Valley Ranch Master HOA	Open Space	OSP	Landscape Buffer
	10.87 ac				



18' MINIMUM TO GARAGE, 15' TO PORCH OR LIVING AREA
(10' MINIMUM CLEAR BETWEEN STRUCTURES)



- NOTES:
- SURFACED ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS AND SHALL BE PROVIDED WITH A SURFACE SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAVE BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT.
 - ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
 - RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, AND ON ALL THROUGH AND ANY AND ALL PRIVATE ROADS AND DRIVES.
 - ALL ROADS AND DRIVES ARE HEREBY DESIGNATED AS FIRE LANES WHEN REQUIRED BY THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT. ALL FIRE LANES SHALL BE POSTED "NO PARKING FIRE LANES".
 - COMPLETE SPECIFICATIONS AND CONSTRUCTION PLANS SHALL BE SUBMITTED TO THE TOWN OF CASTLE ROCK FIRE AND RESCUE DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO ANY CONSTRUCTION OCCURRING.

SITE DEVELOPMENT PLAN
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 TOWN OF CASTLE ROCK

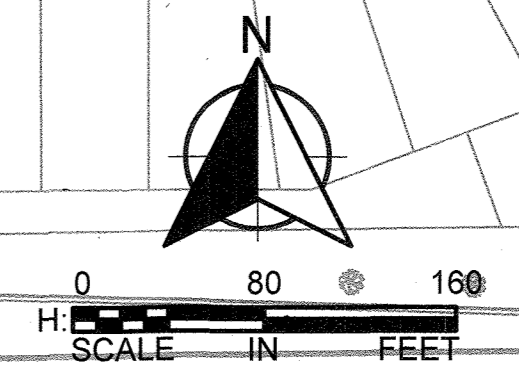
GENERAL NOTES

SITE DEVELOPMENT PLAN AMENDMENT NO. 1

CRYSTAL VALLEY RANCH FILING NO.18

A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

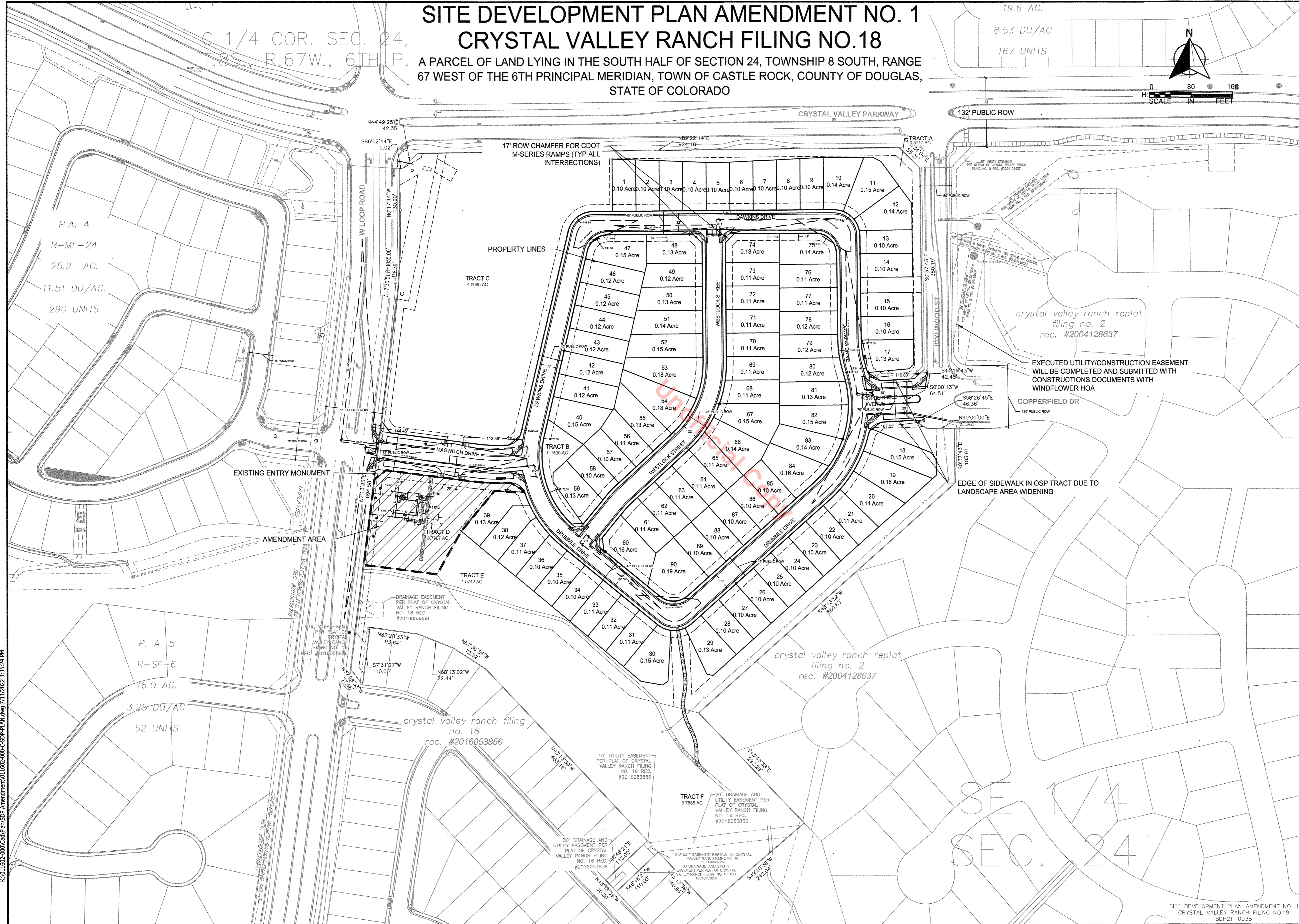
19.6 AC.
8.53 DU/AC
167 UNITS



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DESIGN BY: LCW
CHECK BY: JJM

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SITE DEVELOPMENT PLAN
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GENERAL LAYOUT

SHEET
3
of
10

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A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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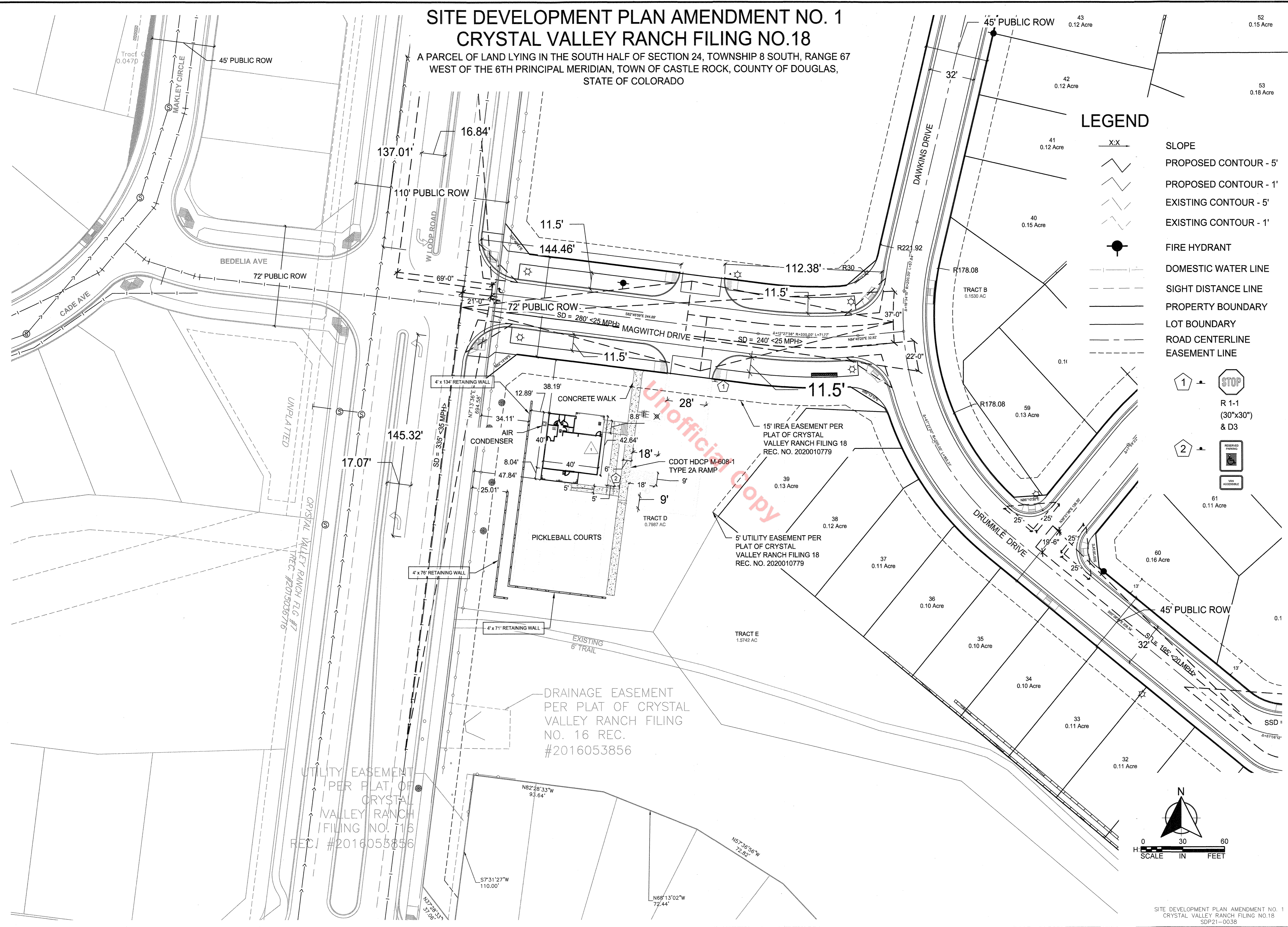
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LEGEND

- X:X SLOPE
- ~ PROPOSED CONTOUR - 5'
- ~ PROPOSED CONTOUR - 1'
- - - EXISTING CONTOUR - 5'
- - - EXISTING CONTOUR - 1'
- FIRE HYDRANT
- DOMESTIC WATER LINE
- SIGHT DISTANCE LINE
- PROPERTY BOUNDARY
- LOT BOUNDARY
- ROAD CENTERLINE
- - - EASEMENT LINE

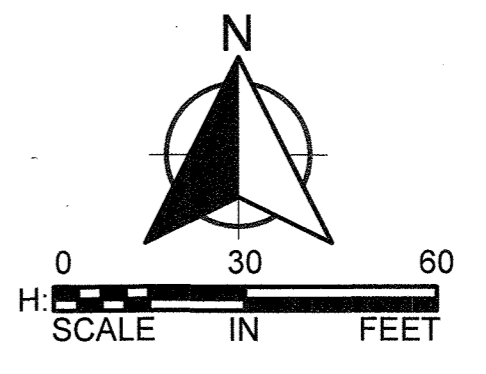
- 1 STOP
- R 1-1 (30"x30") & D3
- 2 RESERVED PARKING
- VAR ACCESSIBLE



SITE DEVELOPMENT PLAN
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TOWN OF CASTLE ROCK

GENERAL LAYOUT

SHEET
4
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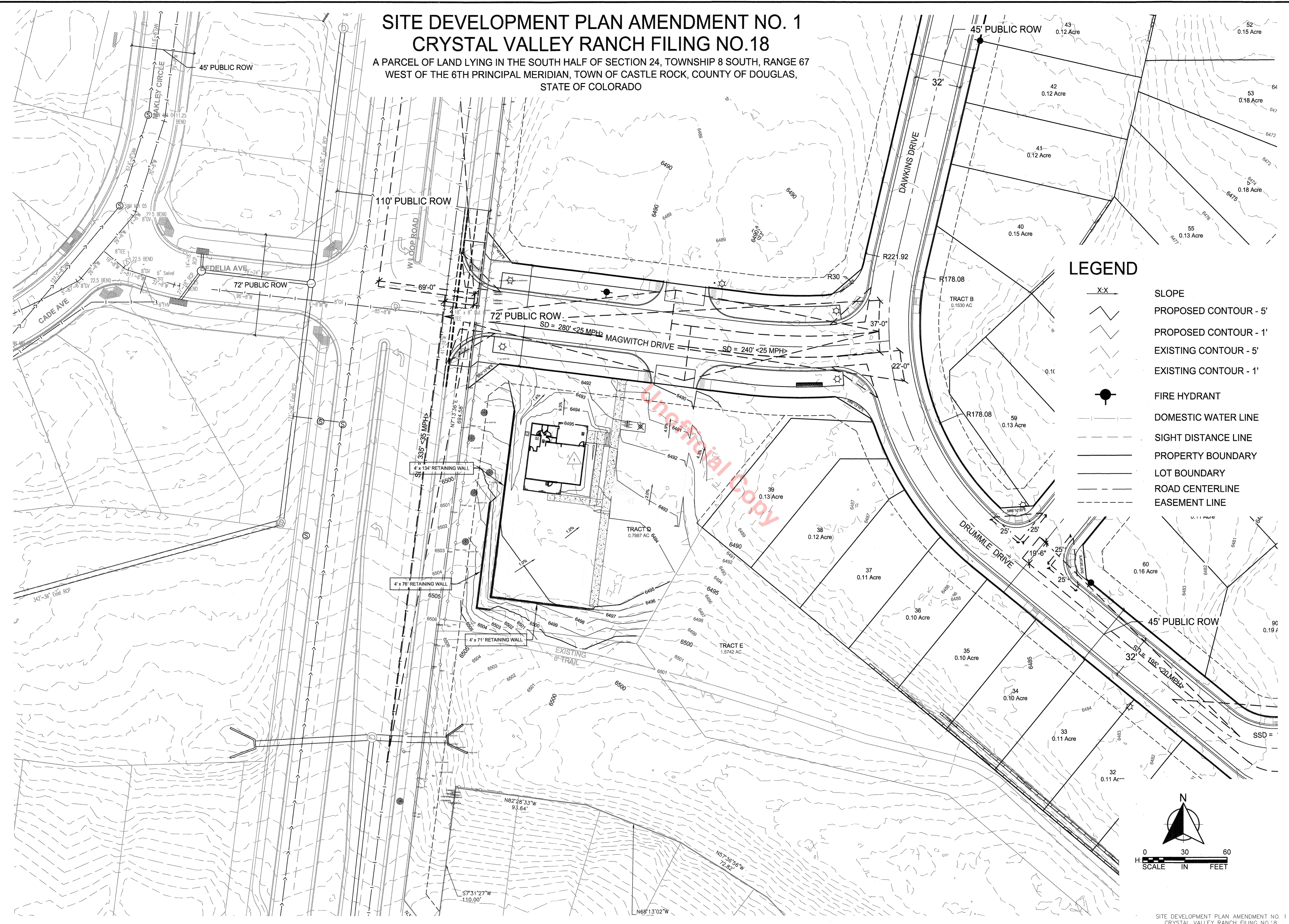
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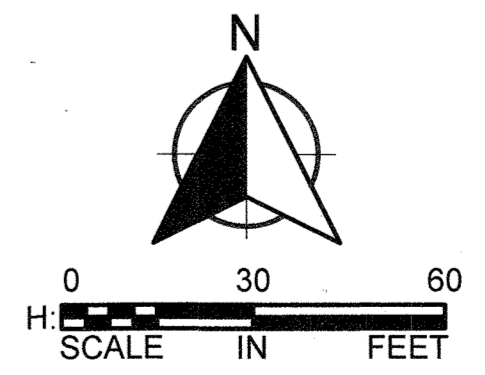
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SITE DEVELOPMENT PLAN

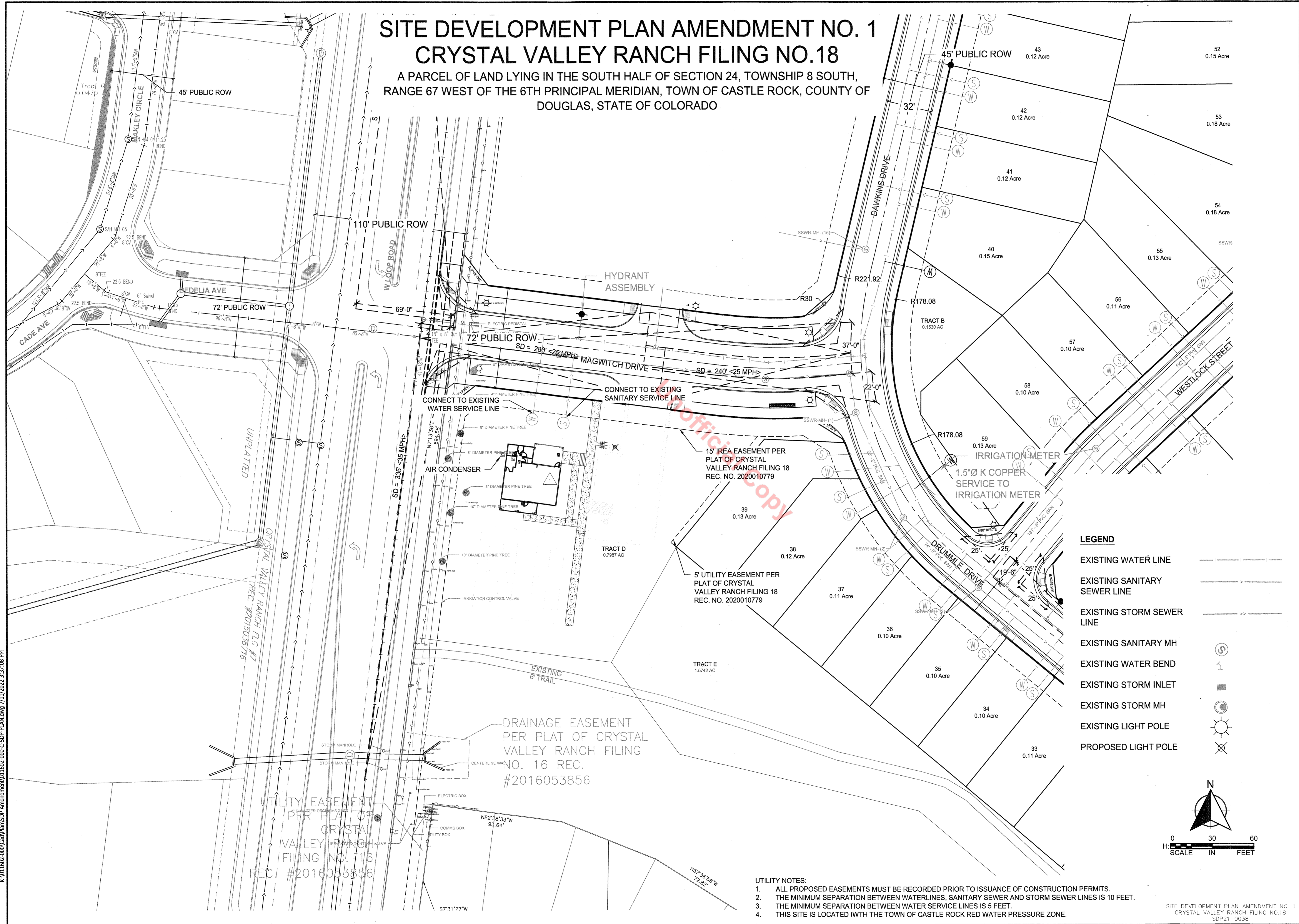
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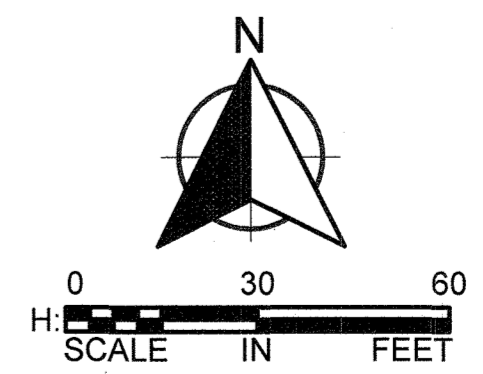
SITE DEVELOPMENT PLAN
CRYSTAL VALLEY RANCH FILING NO. 18
TOWN OF CASTLE ROCK

GENERAL LAYOUT

SHEET
6
of
10

LEGEND

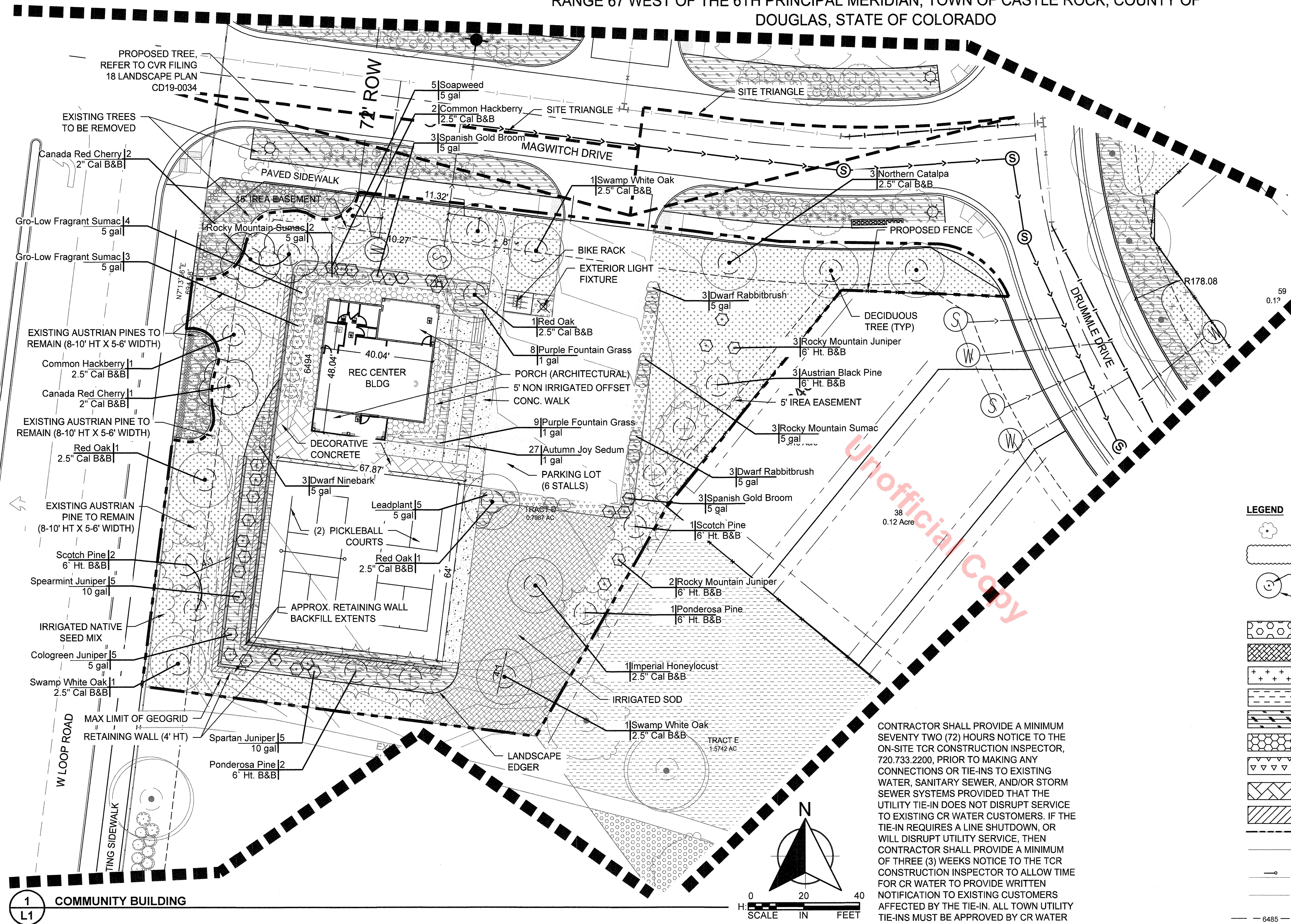
EXISTING WATER LINE	
EXISTING SANITARY SEWER LINE	
EXISTING STORM SEWER LINE	
EXISTING SANITARY MH	
EXISTING WATER BEND	
EXISTING STORM INLET	
EXISTING STORM MH	
EXISTING LIGHT POLE	
PROPOSED LIGHT POLE	



- UTILITY NOTES:**
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
 - THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
 - THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
 - THIS SITE IS LOCATED WITH THE TOWN OF CASTLE ROCK RED WATER PRESSURE ZONE.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1 CRYSTAL VALLEY RANCH FILING NO.18

A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



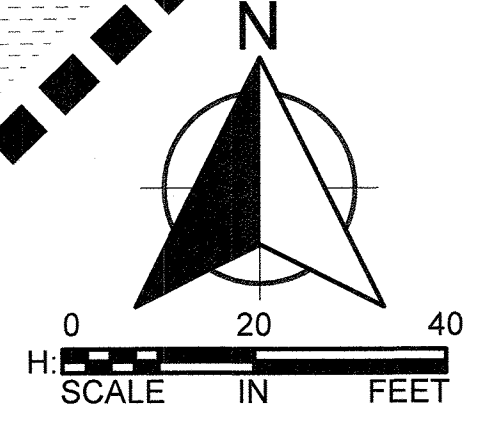
LANDSCAPE PLAN STANDARD NOTES:

1. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
2. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
3. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
4. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
5. PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
6. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
7. IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
8. IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
9. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
12. AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
13. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
14. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
15. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

LEGEND

- EXISTING DECIDUOUS TREE
- EXISTING SHRUB BED
- TREE SIZE AT TIME OF PLANTING
- TREE SIZE AFTER 5-7 YEARS
- NON IRRIGATED SEED.
- IRRIGATED SOD - ENVIROTURF (HIGH HYDROZONE)
- IRRIGATED NATIVE SEED (LOW HYDROZONE)
- TEMPORARILY IRRIGATED NATIVE SEED (VERY LOW HYDROZONE)
- SHRUB BED (LOW HYDROZONE) HARDWOOD MULCH
- NON IRRIGATED ZONE- RIVER ROCK MULCH
- NON IRRIGATED ZONE- PEA GRAVEL ROCK MULCH
- DECORATIVE CONCRETE
- RETAINING WALL BACKFILL MATERIAL (APPROXIMATE EXTENTS)
- PROJECT BOUNDARY
- EDGER
- ENTRY MONUMENT
- PROPERTY BOUNDARY
- EXISTING CONTOUR
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER
- PROPOSED FIRE HYDRANT
- PROPOSED WATER LINE
- PROPOSED STORM SEWER
- PROPOSED FENCE

CONTRACTOR SHALL PROVIDE A MINIMUM SEVENTY TWO (72) HOURS NOTICE TO THE ON-SITE TCR CONSTRUCTION INSPECTOR, 720.733.2200, PRIOR TO MAKING ANY CONNECTIONS OR TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS PROVIDED THAT THE UTILITY TIE-IN DOES NOT DISRUPT SERVICE TO EXISTING CR WATER CUSTOMERS. IF THE TIE-IN REQUIRES A LINE SHUTDOWN, OR WILL DISRUPT UTILITY SERVICE, THEN CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE (3) WEEKS NOTICE TO THE TCR CONSTRUCTION INSPECTOR TO ALLOW TIME FOR CR WATER TO PROVIDE WRITTEN NOTIFICATION TO EXISTING CUSTOMERS AFFECTED BY THE TIE-IN. ALL TOWN UTILITY TIE-INS MUST BE APPROVED BY CR WATER PRIOR TO COMMENCING WORK.



1
L1
COMMUNITY BUILDING

CLWUR CHART								
Irrigation Zone	Plant Type	App. Rate (inches/month)	Hydro Zone	% of Total Landscape Area	IA (Irrigated Area in Sq Ft)	LWUR (Landscape Water Use Rating)	TA (Total Area sf)	CLWUR**
DRIP IRRIGATION	Trees & Shrubs in Planting Beds	5-10	Low	18%	3,535 sf	2	19,813	0.36
DRIP/SPRAY	Trees in Irrigated Native Seed	5-10	Low	65%	12,890 sf	2	19,813	1.30
SPRAY	Sod Area (EnviroTurf)	15-19	High	17%	3,388 sf	4.5	19,813	0.77
TOTAL				100%	19,813 sf			2.43

SEE SHEET 1 GENERAL NOTE 20 & 21 FOR VERTICAL DATUM AND HORIZONTAL CONTROL, RESPECTIVELY.

SITE DEVELOPMENT PLAN AMENDMENT NO. 1
CRYSTAL VALLEY RANCH FILING NO.18
SDP21-0038



SCALE: AS SHOWN DESIGN BY: JDG
PLAN BY: JDG CHECK BY: RAS

REVISIONS	
NO.	DESCRIPTION

HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF COLORADO.

ROBERT A. SUIPKA III, R.L.A.
DATE: 11/12/2021 LIC. NO. 1280

REC CENTER
LANDSCAPE PLAN
SDP21-0038

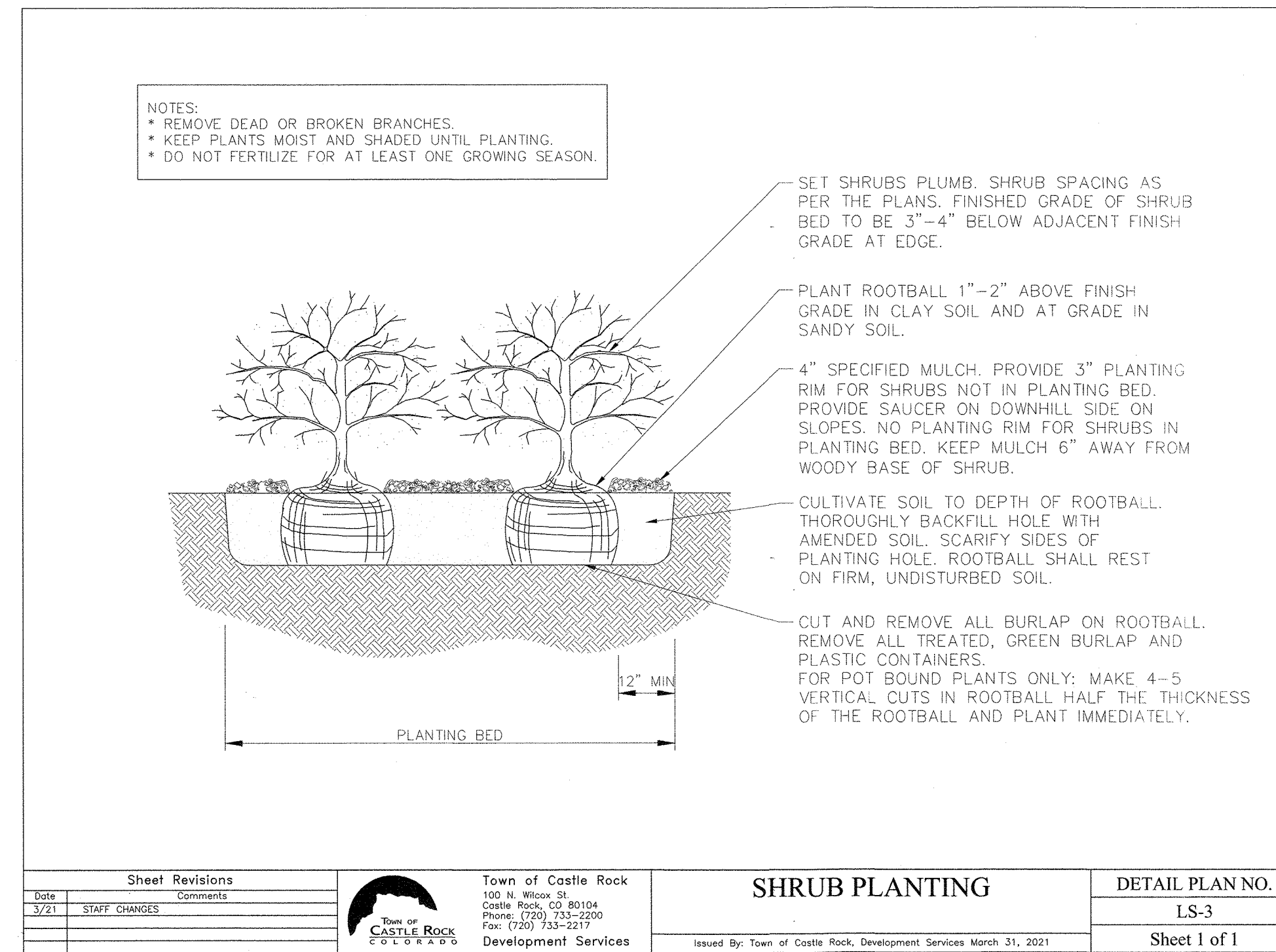
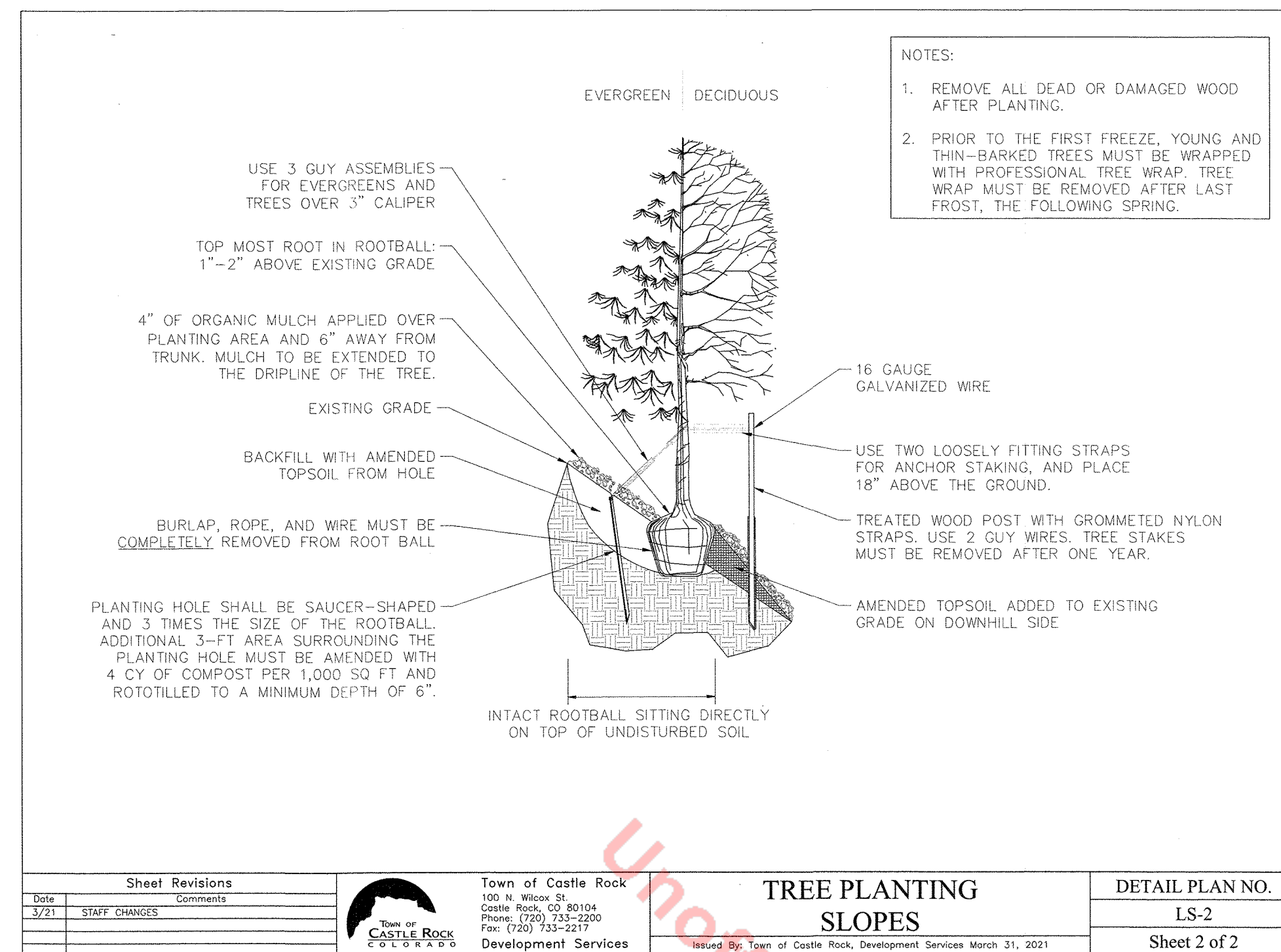
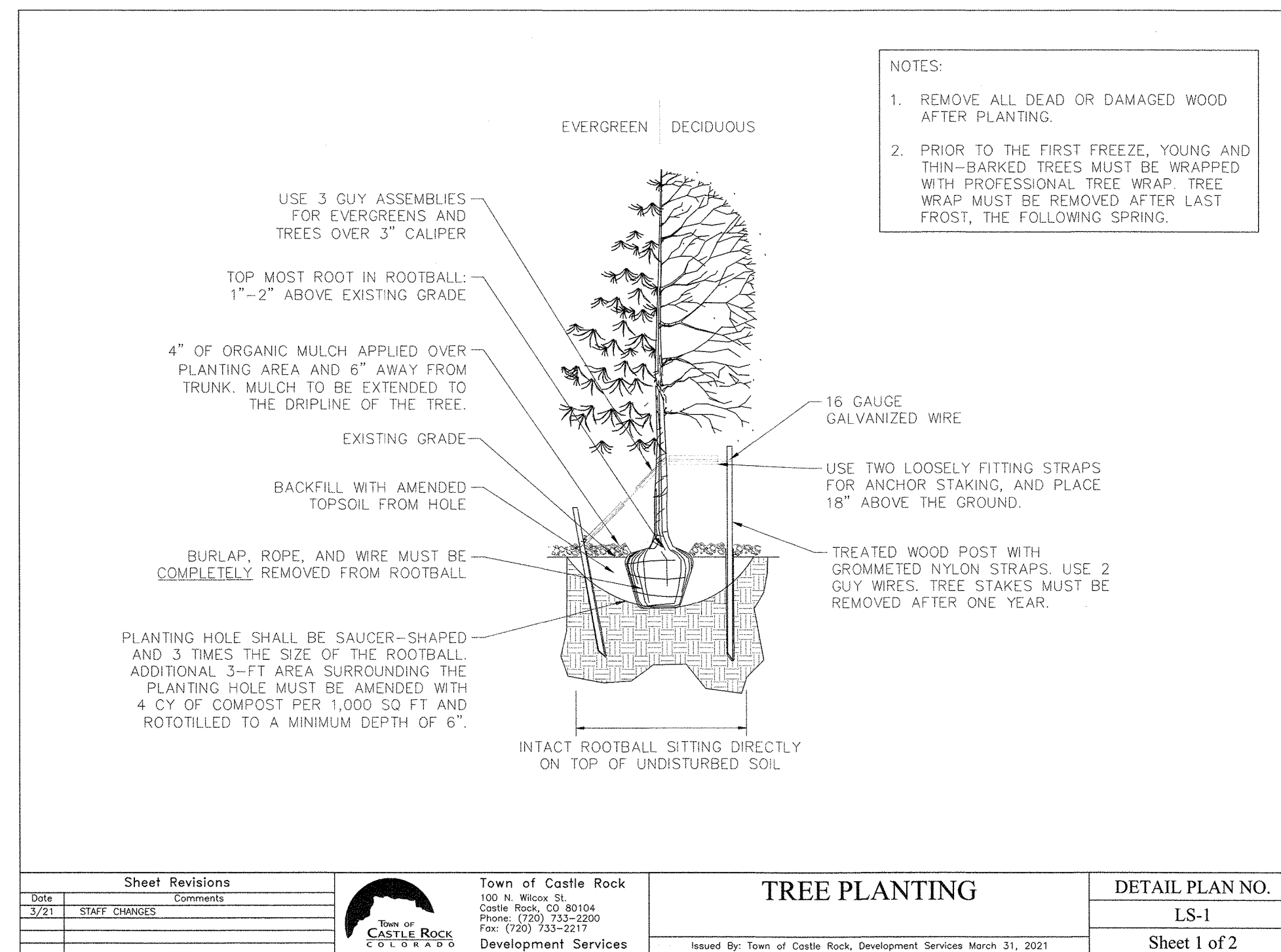
CRYSTAL VALLEY RANCH FILING 18
CASTLE ROCK, CO

SITE DEVELOPMENT PLAN AMENDMENT NO. 1 CRYSTAL VALLEY RANCH FILING NO.18

A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH,
RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF
DOUGLAS, STATE OF COLORADO



SCALE: AS SHOWN
DESIGN BY: JDG
PLAN BY: JDG
CHECK BY: RAS



NO.	DATE	DESCRIPTION

HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF COLORADO.

ROBERT A. SLIPKA III, RLA
LIC. NO.: 1280
DATE: 11/12/2021

1 L2 TREE PLANTING

2 L2 TREE PLANTING - SLOPES

3 L2 SHRUB PLANTING

Plant Schedule

Plant Name (Common)	Planting Size	Legend Abbrev.	Mature Size (HxW)	No. of Plants	Water Req. (inches/month)	Water Use (Very Low, Low, Moderate, High)	Sq. Ft. of Zone (Turf only)	Percentage of Total Area	Sq. Ft. of Total Landscaped Area	Species Percentage/Total number
				13						
Northern Catalpa	2.5" Cal B&B	n/a	50'x30'	3	n/a	Low	n/a	n/a	n/a	23%
Common Hackberry	2.5" Cal B&B	n/a	45'x45'	3	n/a	Low	n/a	n/a	n/a	23%
Swamp White Oak	2.5" Cal B&B	n/a	50'x45'	3	n/a	Low	n/a	n/a	n/a	23%
Red Oak	2.5" Cal B&B	n/a	75'x45'	3	n/a	Low	n/a	n/a	n/a	23%
Imperial Honey Locust	2.5" Cal B&B	n/a	45'x40'	1	n/a	Low	n/a	n/a	n/a	8%
				9						
Austrian Black Pine	6' Ht. B&B	n/a	50'x30'	3	n/a	Low	n/a	n/a	n/a	33%
Ponderosa Pine	6' Ht. B&B	n/a	60'x30'	3	n/a	Very Low	n/a	n/a	n/a	33%
Scotch Pine	6' Ht. B&B	n/a	40'x25'	3	n/a	Low	n/a	n/a	n/a	33%
				3						
Canada Red Cherry	2" Cal B&B	n/a	25'x20'	3	n/a	Very Low	n/a	n/a	n/a	100%
				34						
Leadplant	5 gal	n/a	4'x4'	8	n/a	Very Low	n/a	n/a	n/a	24%
Dwarf Rabbitbrush	5 gal	n/a	3'x3'	6	n/a	Very Low	n/a	n/a	n/a	18%
Dwarf Ninebark	5 gal	n/a	4'x4'	6	n/a	Low	n/a	n/a	n/a	18%
Grow-Low Sumac	5 gal	n/a	3'x6'	7	n/a	Low	n/a	n/a	n/a	21%
Rocky Mountain Sumac	5 gal	n/a	5'x6'	7	n/a	Very Low	n/a	n/a	n/a	21%
				32						
Spanish Gold Broom	5 gal	n/a	4'x5'	6	n/a	Low	n/a	n/a	n/a	19%
Spear-mint Juniper	10 gal	n/a	15'x8'	5	n/a	Low	n/a	n/a	n/a	16%
Spartan Juniper	10 gal	n/a	15'x4'	5	n/a	Very Low	n/a	n/a	n/a	16%
Rocky Mountain Juniper	6' Ht. B&B	n/a	25' x 15'	5	n/a	Very Low	n/a	n/a	n/a	16%
Cologreen Juniper	10 gal	n/a	20'x8'	5	n/a	Low	n/a	n/a	n/a	16%
Soapweed	5 gal	n/a	2'x2'	6	n/a	Very Low	n/a	n/a	n/a	19%
				17						
Purple Fountain Grass	1 gal	n/a	4'x3'	17	n/a	Moderate	n/a	n/a	n/a	
				27						
Autumn Joy Sedum	1 gal	n/a	2'x1'	27	n/a	Very Low	n/a	n/a	n/a	

Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Robert Slipka
 Town of Castle Rock Registration # _____ State of Colorado License Landscape Architect # 1260
 Company Name WSB Address 701 Xenia Ave S, Golden Valley, MN
 Phone _____ Email _____ Date _____
 PROJECT NAME CVR18 Rec Center

Gross Site Area	Landscape Area in Sq.Ft.	Turfgrass List Species (Area in Sq.Ft.)	Nonliving Ornamental (Area in Sq.Ft.)	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
33,891 SF	Required: 3,389 SF (10% of gross site) Provided: 3,422 SF (10% of gross site)	N/A	Rock Mulch Area with no plantings (not included in provided landscape area total): 742 SF	(3,389 SF / 1,000) x 2 = 7 dec. canopy trees	10 dec. canopy trees	(3,389 SF / 1,000) x 4 = 14	66	Landscape areas: 4 cu yds/1,000 SF	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Parking Lot (Area in Sq.Ft.)	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area in Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
4,407 SF	Required: 441 SF (10% of parking lot) Provided: 444 SF	6	N/A	N/A	N/A	(441 SF / 1,000) x 2 = 1 dec. canopy tree	1 dec. canopy tree	(441 SF / 1,000) x 4 = 2	16

SEE SHEET 1 GENERAL NOTE 20 & 21 FOR VERTICAL DATUM AND HORIZONTAL CONTROL, RESPECTIVELY.

REC CENTER
LANDSCAPE PLAN
SDP21-0038

CRYSTAL VALLEY RANCH FILING 18
CASTLE ROCK, CO

WSB PROJECT NO. 011602-000
SHEET 8 of 10

SITE DEVELOPMENT PLAN AMENDMENT NO. 1 CRYSTAL VALLEY RANCH FILING NO.18

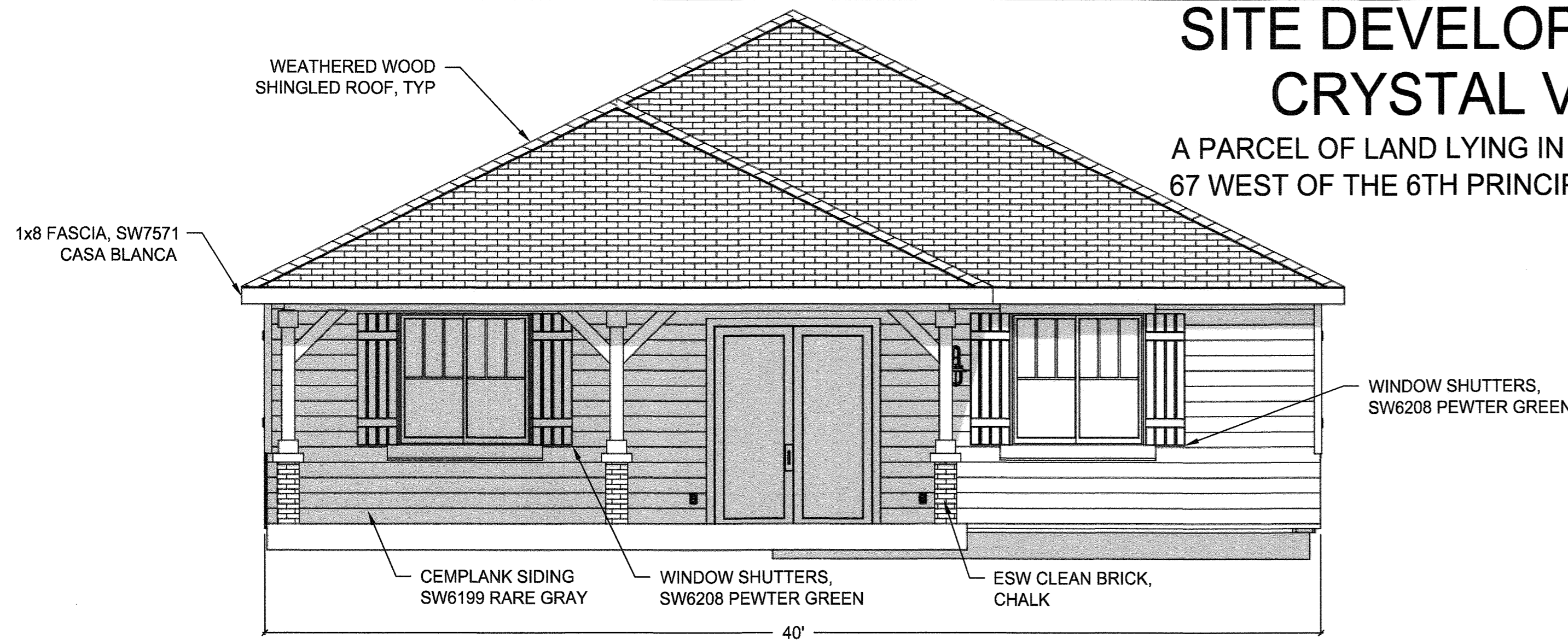
A PARCEL OF LAND LYING IN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



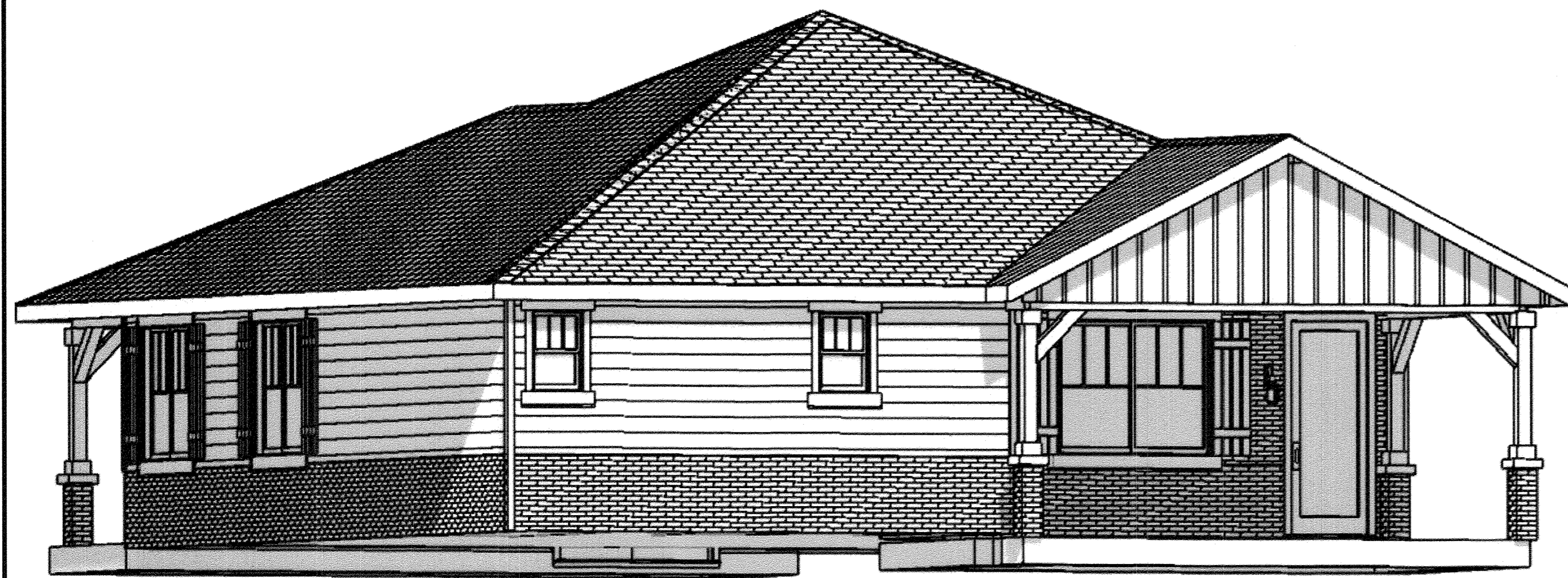
WSB PROJECT NO.:
015171-000

SCALE: AS SHOWN
DESIGN BY: LJB
PLAN BY: LJB
CHECK BY: LJB

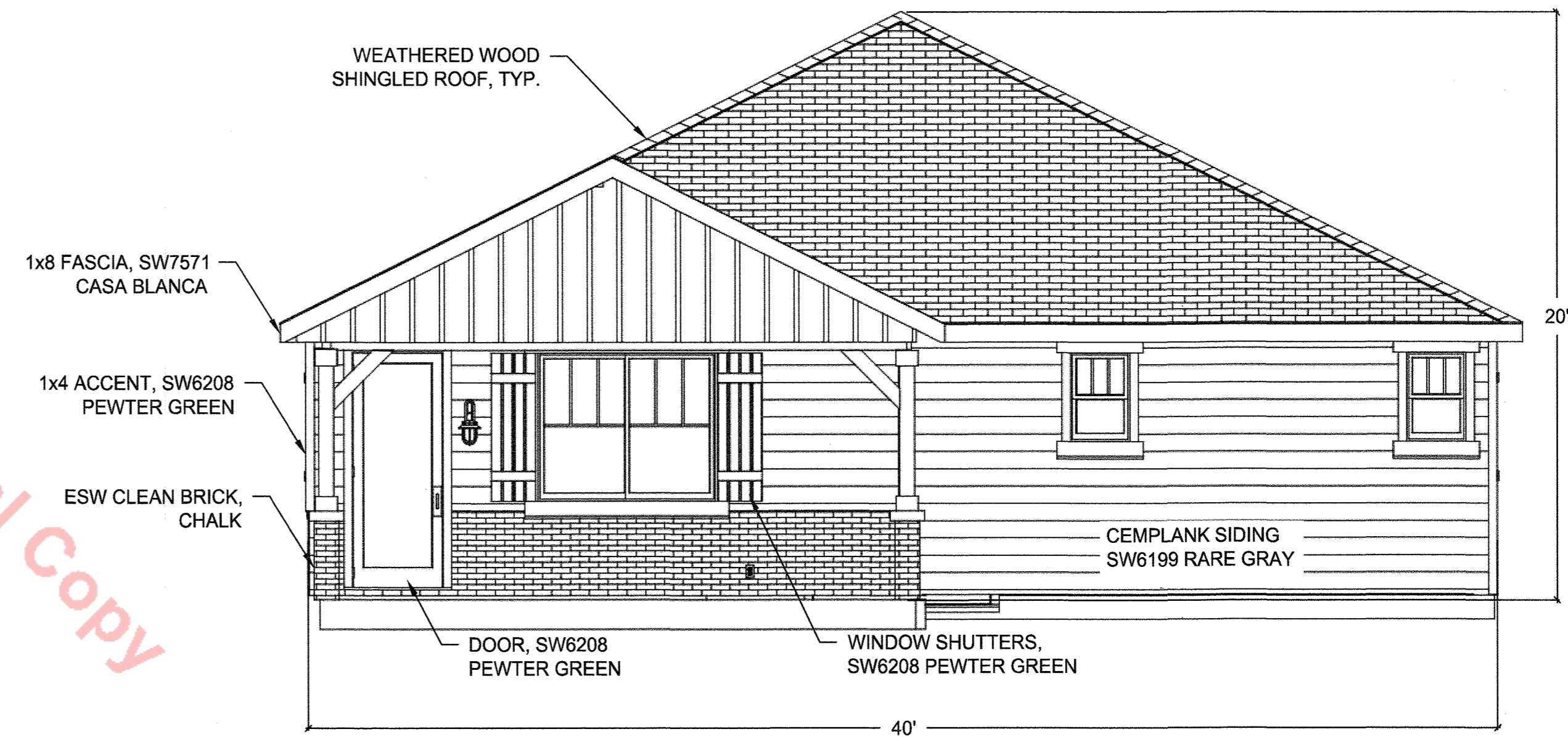
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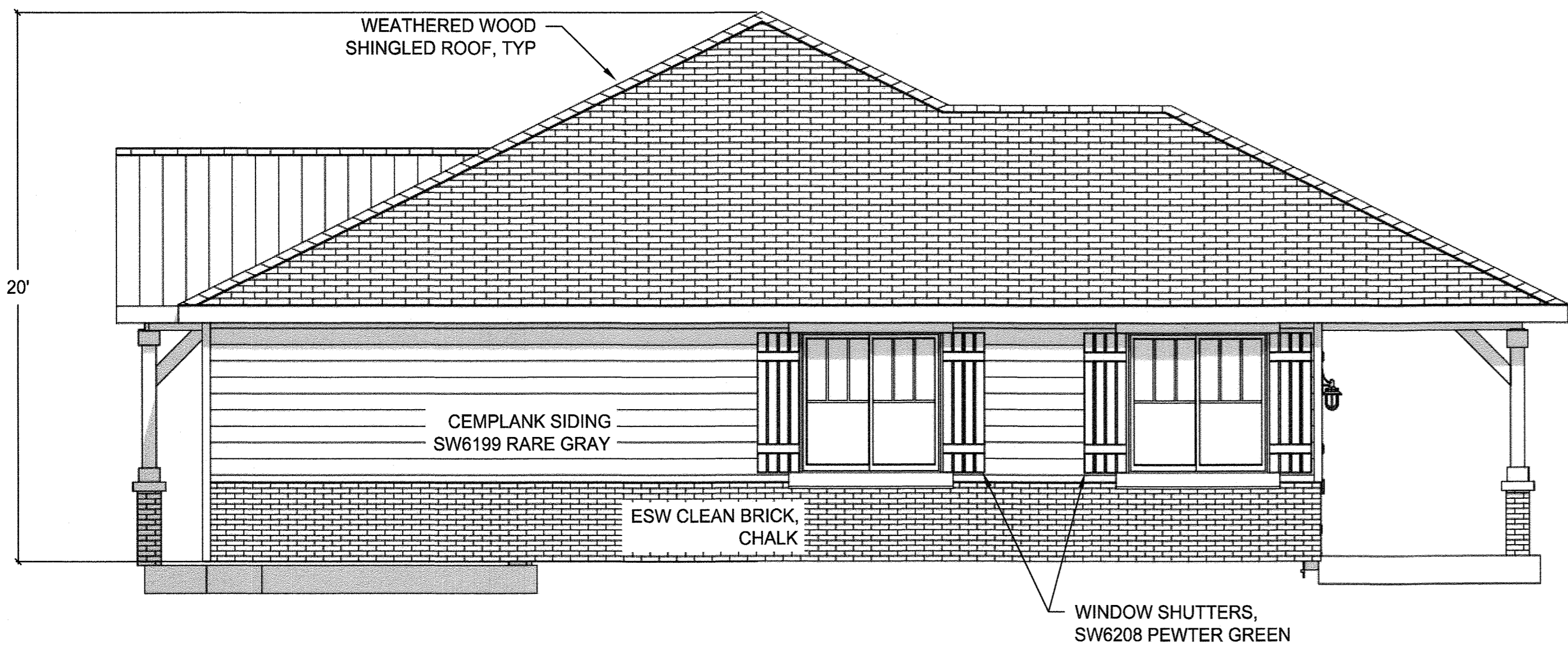
REAR ELEVATION



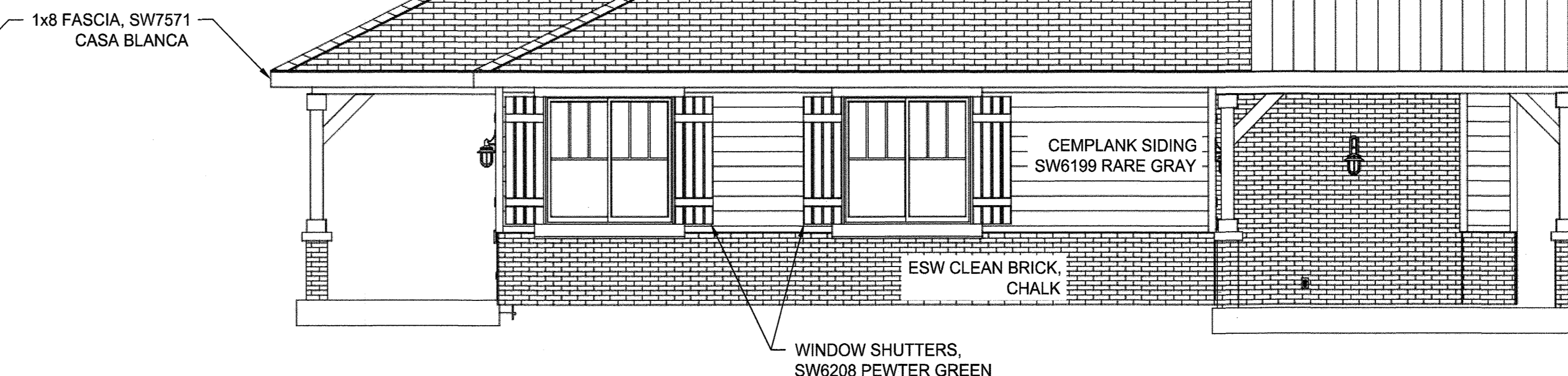
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FRONT ELEVATION



LEFT ELEVATION



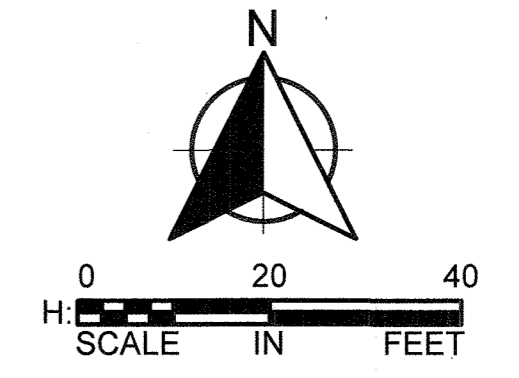
RIGHT ELEVATION

SITE DEVELOPMENT PLAN
 CRYSTAL VALLEY RANCH FILING NO. 18
 TOWN OF CASTLE ROCK

REC CTR PAVILION
ELEVATIONS

SITE DEVELOPMENT PLAN AMENDMENT NO. 1 CRYSTAL VALLEY RANCH FILING NO.18

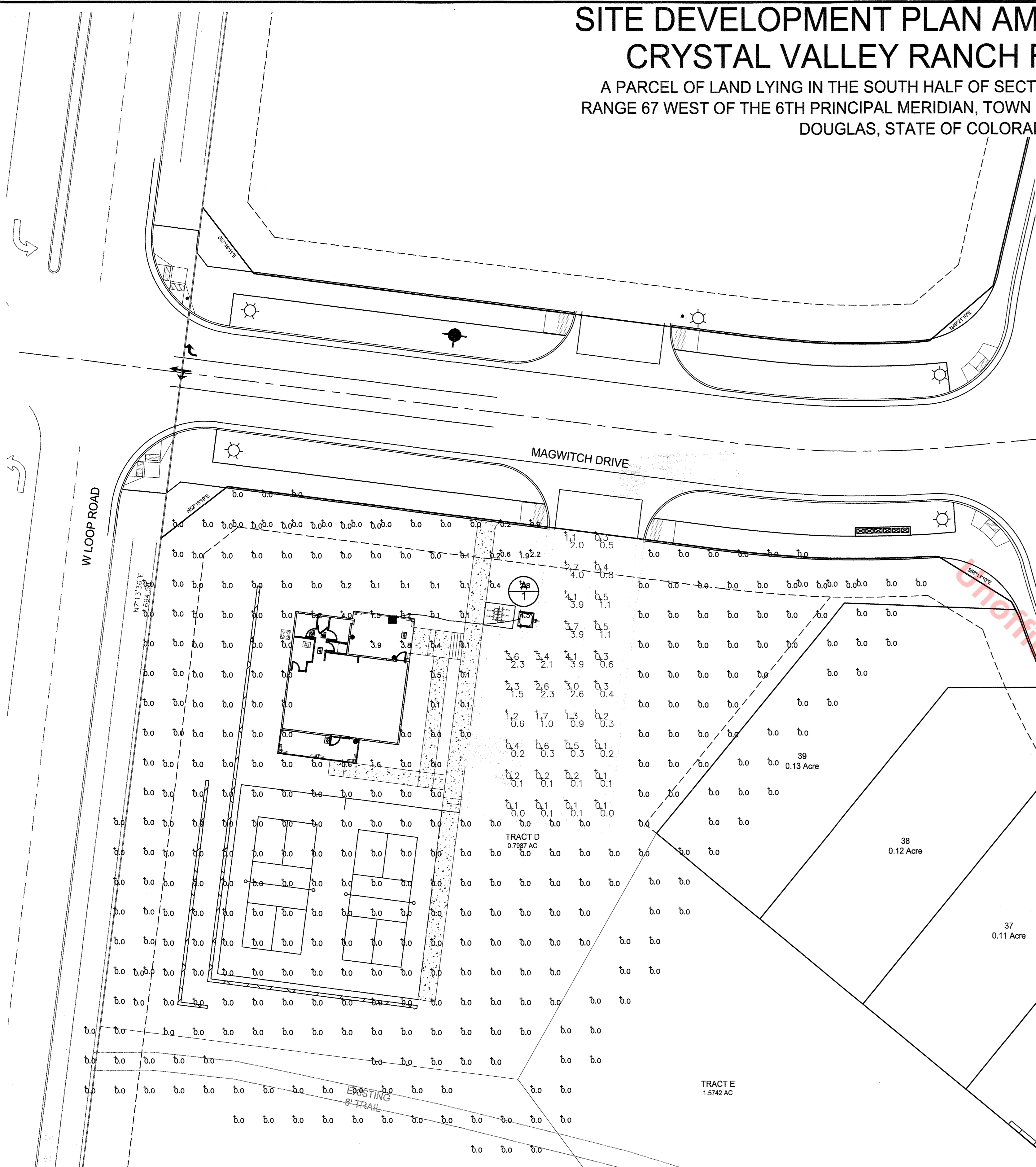
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DOUGLAS, STATE OF COLORADO



WSB PROJECT NO.:
015171-000

SCALE: AS SHOWN
DESIGN BY: OEV
PLAN BY: OEV
CHECK BY: JUM

NO.	DATE	DESCRIPTION
1	02.11.2020	SDP APPROVAL
2	07.11.2022	SDP AMENDMENT 1



CALCULATION SUMMARY

	CALCTYPE	UNITS	AVG	MAX	LLF
PARKING LOT & DRIVEWAY	ILLUMINANCE	Fc	1.25	4.1	1.00
LOT MINUS PARKING AND DRIVEWAY	ILLUMINANCE	Fc	0.14	12.3	1.00

STREET LIGHTING TABULATION

ITEM	UNIT	ESTIMATED QUANTITIES
LIGHTING UNIT-SINGLE	EACH	1
LIGHT STANDARD FOUNDATION SPECIAL	EACH	1
1-1/2 INCH ELECTRICAL CONDUIT	LIN. FT.	50
WIRING	L.S.	1
LANTERN LUMINAIRE	EACH	3

CONTROL SCHEDULE

ON	DUSK TO DAWN (BY PHOTOCELL)
OFF	DURING DAYLIGHT HOURS (BY PHOTOCELL)

LIGHTING UNIT NOTES
LUMINAIRE TYPE: OSQ-A-NM-2ME-Z-40K-UL-BK-DIM-R
POLE TYPE: PS4S20CBK
MOUNTING TYPES: SINGLE:1A4BK
MOUNTING HEIGHT: 15'

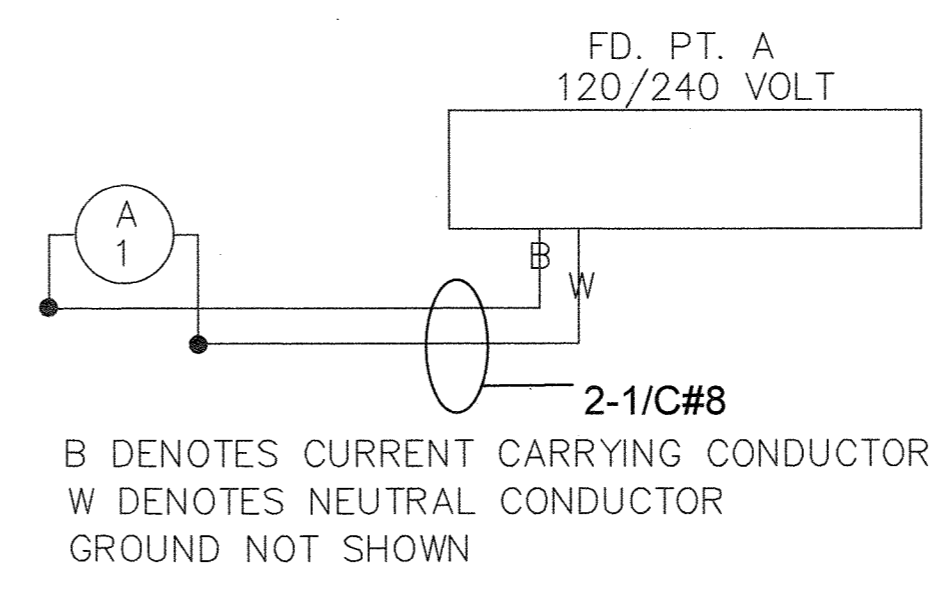
LUMINAIRE SCHEDULE

SYMBOL	QTY	ARRANGEMENT	LAMP	LUMENS	DESCRIPTION	MOUNTING HEIGHT	CUT-OFF	CONTROL	LLF	DISTRIBUTION TYPE
1	1	SINGLE, SURFACE	53 W LED	5299	OSQ-A-NM-2ME-Z-40K-UL-BK-DIM-R	15'	N/A	PHOTOSENSOR	1.00	TYPE II
3	3	LANTERN LUMINAIRE	75 W LED		P5722-81	6'	N/A		0.70	TYPE V

OSQ Series
OSQ™ LED Area/Flood Luminaire featuring Cree TrueWhite® Technology - Medium

Product Description
The OSQ™ luminaire comes with a standard exterior optical control, advanced thermal management and modern, clean aesthetics. Built to last, the housing is rugged cast aluminum with an integral mounting bracket (EM) that can be removed. Flexible mounting configurations allow simple installation. Its slim, low-profile design maintains road clearance and meets requirements for low glare applications. The OSQ luminaire is available in a wide range of applications up to 200 Watt, and the "X" rated power designator is a suitable upgrade for HID applications up to 400 Watt.

Performance Summary
Utilizes Cree TrueWhite® Technology on 5000K Luminaires
Standard Protection Rating: IP66
Assembled in the U.S.A. of U.S. and imported parts
Initial Distance Lumens: 15 to 17,271
EM Mount (in 120' Case)
EM Mount Minimum 50' (3000K, 4000K & 5000K, 90 CRI 5000K)
CFL: 300W, 400W, 500W, 600W
Luminaire Warranty: 5 years on luminaires, 10 years on Certified Detachable™ finish up to 5 years for Certified accessories. 1 year on luminaire accessories.



PROGRESS LIGHTING

DATE: _____ TYPE: _____
NAME: _____
PROJECT: _____

Incandescent
P5722-81
Brookside

Get inspired with vintage understorey reminiscent of early 20th century train depots. This indoor/outdoor lantern is solid brass construction with an Antique Nickel finish.

Category: Outdoor
Finish: Antique Nickel (plated)
Construction: Steel construction metal shade

Width: 10"
Height: 10.34"
Depth: 11.916"
HxTx: 6:12"

- NOTES**
- ALL CONDUIT SHALL BE SCHEDULE 40 1 1/2" NMC UNLESS OTHERWISE NOTED.
 - CONDUCTOR INSULATION SHALL BE RED, BLACK, WHITE OR GREEN AS SHOWN.
 - THE USE OF TAPE SLEEVES OR OTHER TYPES OF COLOR IDENTIFICATION IS NOT PERMITTED.
 - ONE #8 COPPER GROUND WIRE SHALL BE PLACED IN ALL CONDUIT. USE NOT UNLESS OTHERWISE NOTED.
 - ALL CONDUCTORS SHALL BE #8 COPPER XHHW-2 OR USE-2.
 - EXACT LOCATIONS OF LIGHT FOUNDATIONS SHALL BE LOCATED BY THE ENGINEER IN THE FIELD.
 - CONDUITS SHALL BE PLACED UNDER TURF WHEN POSSIBLE AT A MINIMUM DEPTH OF 24" WITH 90 DEGREE BENDS AT THE FOUNDATIONS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES PRIOR TO WORK.
 - THE CONTRACTOR SHALL ADJUST EXISTING CONDUITS OR UTILITIES WHICH MAY CONFLICT WITH LIGHT POLE FOUNDATION INSTALLATION.
 - THE CONTRACTOR SHALL INSTALL A PERMANENT GROUND ROD (25 OHMS OR LESS) IN ALL LIGHT FOUNDATIONS.
 - THE CONTRACTOR SHALL COORDINATE THE PLACEMENT OF CONDUIT AND FOUNDATIONS WITH OTHER CONSTRUCTION ACTIVITIES IN THE AREA.
- ILLUMINATION PLAN STANDARD NOTES**
- THE OBJECTIVE OF THE LIGHTING UNIT IS TO PROVIDE PARKING LOT LIGHTING.
 - HOUR OF LIGHT OPERATION: DUSK TO DAWN.
 - LIGHT WILL NOT REACH ADJACENT PROPERTIES
 - THE FOLLOWING LIGHT TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION. POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.

LEGEND

	CONDUIT
	LIGHTING ID
	FEEDPOINT A
	LIGHTING UNIT- SINGLE
	LANTERN LUMINAIRE

DRAINAGE EASEMENT
PER PLAT OF CRYSTAL
VALLEY RANCH FILING
NO. 16 REC.
#2016053856

SITE DEVELOPMENT PLAN
CRYSTAL VALLEY RANCH FILING NO. 18
TOWN OF CASTLE ROCK

PHOTOMETRIC
PLAN

SHEET
10
OF
10