

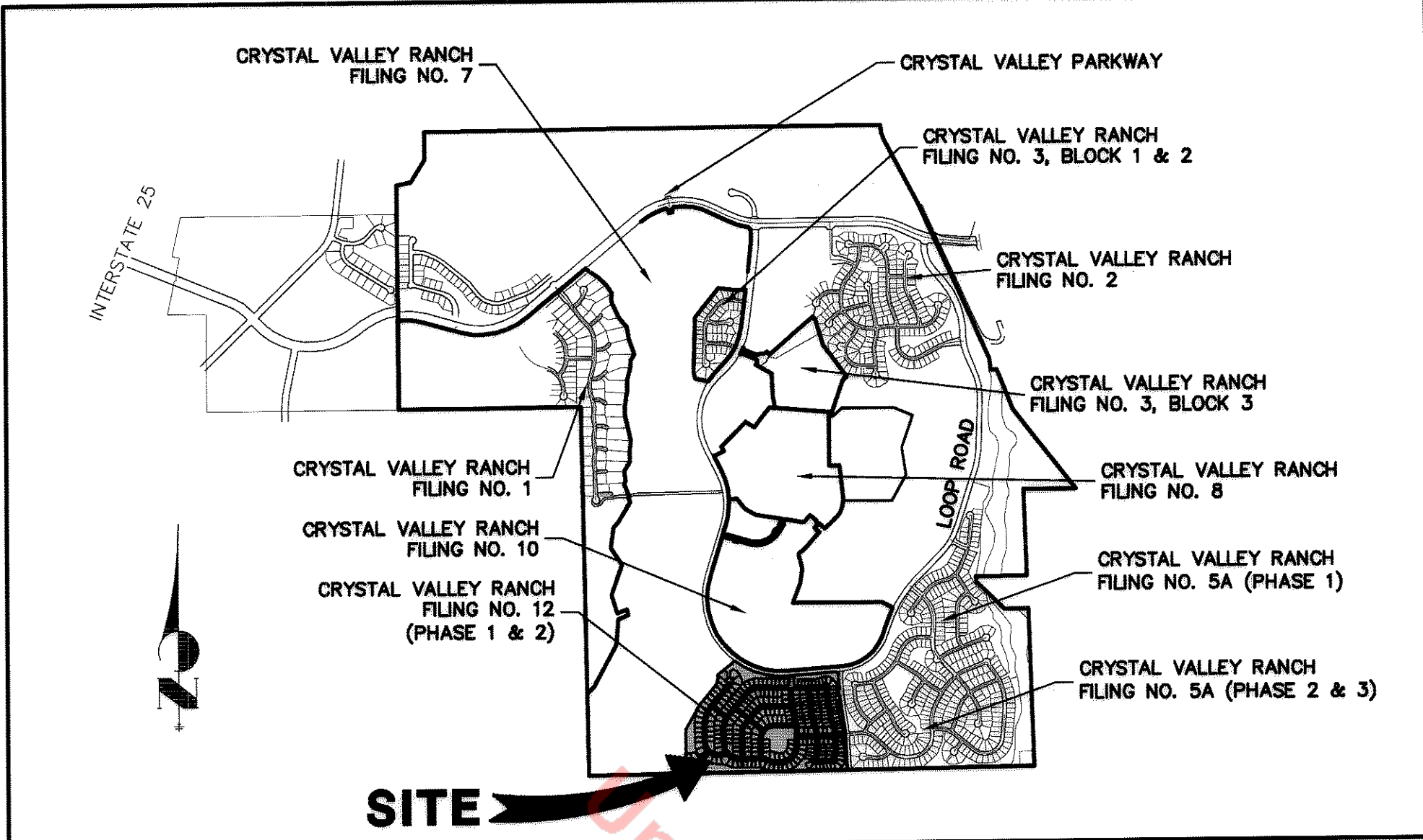
GENERAL NOTES

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM...
2. PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS...
3. THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY...
4. THERE ARE NO MAJOR DRAINAGEWAYS OR WETLANDS LOCATED WITHIN THE SITE...
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY...
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY...
7. APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS...
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET...
9. ALL TRACTS WILL BE DEDICATED WITH THE PLAT.
10. ALL UTILITY, DRAINAGE, SIGHT DISTANCE, EMERGENCY ACCESS AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
11. THE MAJOR AMENDMENT NO. 4 TO THE CRYSTAL VALLEY RANCH PPD WAS RECORDED FEBRUARY 24, 2012 AT REC. NO. 2012013155. THIS SITE IS ZONED R-SF-6.
12. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
13. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE...
14. RETAINING WALLS, SECTIONS OF RETAINING WALLS 4- FEET IN HEIGHT OR HIGHER OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO...
15. PRIVATE GATES FROM RESIDENTIAL LOTS TO TRACT C, E OR THE CONSERVATION EASEMENT ALONG THE SOUTH BOUNDARY ARE PROHIBITED.
16. BENCHMARK: DOUGLAS COUNTY CONTROL POINT 3040010 NAVD 88 ELEVATION = 6589.35' FOUND 3.5" ALUMINUM CAP ON STEEL ROD MARKED "DCGIS 3040010" LOCATED 38.28' SOUTHWEST OF THE SOUTHEAST CORNER OF SEC. 23, T6S, R67W.
17. BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M., SAID LINE BEING MONUMENTED AT BOTH ENDS BY 2-1/2" ALUMINUM CAPS STAMPED "LS 6935" WITH THE LINE CONSIDERED TO BEAR S8914'28"W ACCORDING TO THE PLAT FOR CRYSTAL VALLEY RANCH FILING NO. 5A (Phase 1) AS RECORDED AT RECEPTION NO. 2006046476.

CRYSTAL VALLEY RANCH FILING NO. 12
A PARCEL OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
SITE DEVELOPMENT PLAN

CONTACTS

OWNER: CRYSTAL VALLEY RECOVERY ACQUISITION, LLC
1101 BANNOCK STREET, DENVER, CO 80204
CONTACT: JERRY RICHMOND
LAND PLANNER: NORRIS DESIGN
1101 BANNOCK STREET, DENVER, CO 80204
CONTACT: MITCH BLACK
ENGINEER/PLAN PREPARER: JR ENGINEERING
7200 S. ALTON WAY, SUITE C400, CENTENNIAL, CO 80112
CONTACT: KURTIS WILLIAMS
LAND SURVEYOR: JR ENGINEERING
7200 S. ALTON WAY, SUITE C400, CENTENNIAL, CO 80112
CONTACT: KEN BAKER



SHEET INDEX

- 1 COVER SHEET
2-3 SITE PLAN
4-5 GENERAL GRADING PLAN
6-7 GENERAL UTILITY PLAN
8 CONCEPTUAL LANDSCAPE PLAN
9 LANDSCAPE WATER USE CHARTS

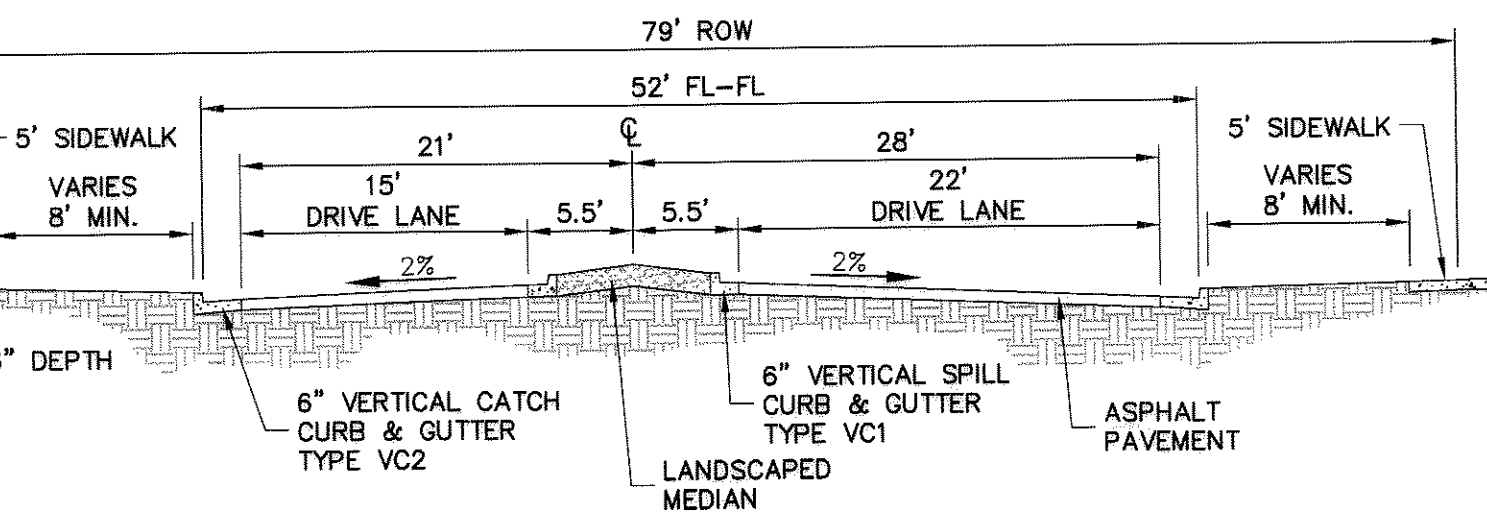
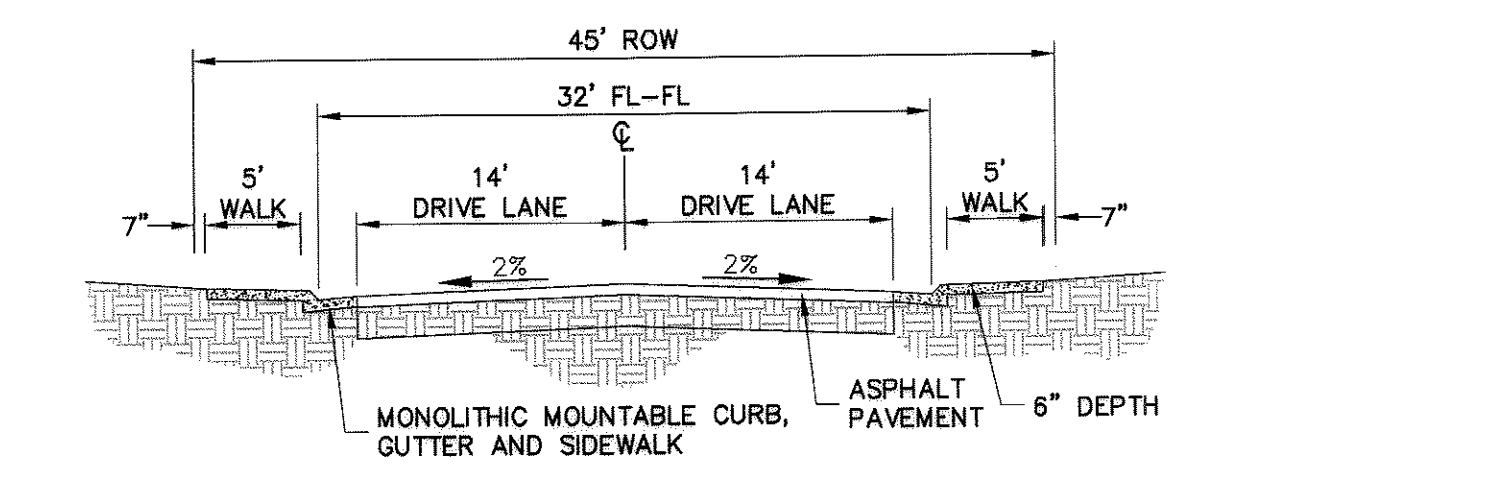
VICINITY MAP



LEGAL DESCRIPTION

A PORTION OF THE SOUTH ONE-HALF OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, SAID LINE BEING MONUMENTED AT BOTH ENDS BY 2-1/2" ALLOY CAPS STAMPED "PLS 6935, WITH THE LINE CONSIDERED TO BEAR S8914'28"W.
BEGINNING AT THE SOUTHWEST CORNER OF CRYSTAL VALLEY RANCH FILING NO. 5A (Phase 1), SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY LINE OF DITMARS LANE AS PLATTED WITH SAID CRYSTAL VALLEY RANCH FILING NO. 5A (Phase 1) AND ALSO BEING ON THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SECTION 25, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN;
THENCE ON SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING TWO (2) COURSES:
1) ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS N36°26'00"E, HAVING A RADIUS OF 1135.00 FEET, A CENTRAL ANGLE OF 40°47'10" AND AN ARC LENGTH OF 807.95 FEET;
2) N85°38'50"E A DISTANCE OF 699.48 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF DITMARS LANE AS PLATTED WITH CRYSTAL VALLEY RANCH FILING NO. 5A (Phase 1);
THENCE ON SAID WESTERLY RIGHT-OF-WAY LINE OF DITMARS LANE THE FOLLOWING FIVE (5) COURSES:
1) S48°38'43"E A DISTANCE OF 47.49 FEET;
2) S02°56'16"E A DISTANCE OF 306.71 FEET TO A POINT OF CURVE;
3) ALONG THE ARC OF A CURVE TO THE LEFT HAVING A RADIUS OF 530.00 FEET, A CENTRAL ANGLE OF 5°25'13" AND AN ARC LENGTH OF 50.14 FEET;
4) S08°21'29"E A DISTANCE OF 453.89 FEET TO A POINT OF CURVE;
5) ALONG THE ARC OF A CURVE TO THE RIGHT HAVING A RADIUS OF 470.00 FEET, A CENTRAL ANGLE OF 5°25'13" AND AN ARC LENGTH OF 44.46 FEET;
6) S02°56'16"E A DISTANCE OF 539.74 FEET TO THE POINT OF BEGINNING;
CONTAINING A CALCULATED AREA OF 3,055,673 SQUARE FEET OR 70.149 ACRES.
THENCE ON THE SOUTH LINE OF THE SOUTHEAST ONE-QUARTER OF SAID SECTION 25, S8914'28"W A DISTANCE OF 1070.30 FEET TO THE SOUTH ONE-QUARTER CORNER OF SAID SECTION 25;
THENCE ON THE SOUTH LINE OF THE SOUTHWEST ONE-QUARTER OF SAID SECTION 25, S8914'58"W A DISTANCE OF 1245.13 FEET;
THENCE N00°45'02"W A DISTANCE OF 745.93 FEET;
THENCE N39°48'00"E A DISTANCE OF 721.16 FEET;
THENCE N02°58'56"E A DISTANCE OF 119.14 FEET;
THENCE N51°13'46"E A DISTANCE OF 74.49 FEET;
THENCE N63°39'14"E A DISTANCE OF 53.59 FEET;
THENCE N47°42'51"E A DISTANCE OF 188.04 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF LOOP ROAD AS DESCRIBED IN THE SPECIAL WARRANTY DEED RECORDED UNDER RECEPTION NO. 2002097027;

LOCAL RESIDENTIAL STREET



ENTRY STREET

SUMMARY TABLE with columns for Maximum Gross Floor Area, Building Setbacks, Max Building Height, Site Utilization, Single Family Detached Lots, and Single Family Equivalent Units.

FIRE NOTES

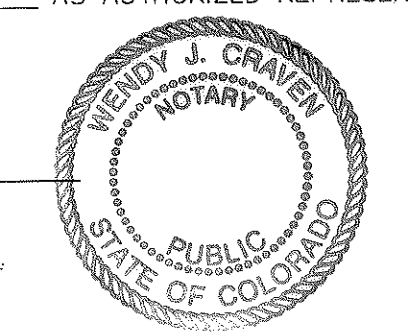
- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM ALL-WEATHER DRIVING CAPABILITIES HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. NO PARKING FIRE LANE SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.

TITLE CERTIFICATION

I, Beverly M. Carlson, AN AUTHORIZED REPRESENTATIVE OF First American Title Co., A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.
SIGNED THIS 10th DAY OF March, 2015.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 10th DAY OF March 2015 BY Beverly M. Carlson AS AUTHORIZED REPRESENTATIVE OF First American Title Co.
WITNESS MY HAND AND OFFICIAL SEAL.
MY COMMISSION EXPIRES: 2/17/16



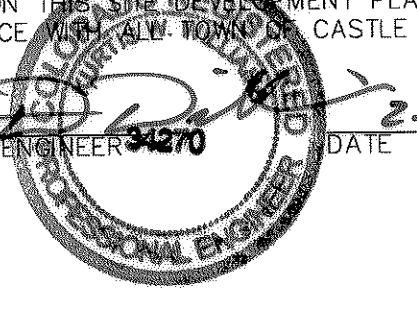
SURVEYOR'S CERTIFICATE

I, Jarrod Adams, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THE SURVEY.



CIVIL ENGINEER'S STATEMENT

I, Kurtis D. Williams, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH THE TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.



PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 13th DAY OF November 2014.

Michael J. Francis, CHAIR, DATE April 17, 2015
ATTTEST: [Signature], DIRECTOR OF DEVELOPMENT SERVICES, DATE 4/17/15

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO ON THE 2nd DAY OF December, 2014.

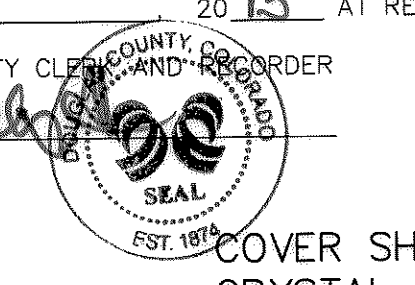
Paul Donahue, MAYOR, DATE 4-21-15
ATTTEST: [Signature], TOWN CLERK, DATE 4-21-15



DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 2:30 PM ON THE 24th DAY OF April, 2015 AT RECEPTION NO. 2015024476

DOUGLAS COUNTY CLERK AND RECORDER: [Signature] DEPUTY



COVER SHEET
CRYSTAL VALLEY RANCH FILING NO. 12
JOB NO. 15635.20
DATE 2/18/15
SHEET 1 OF 9

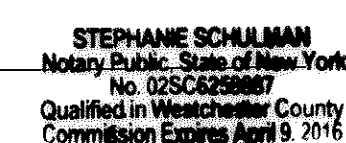
OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

[Signature] AS AUTHORIZED SIGNATORY OF CRYSTAL VALLEY RECOVERY ACQUISITION, LLC, A DELAWARE LIMITED LIABILITY COMPANY
SIGNED THIS 26th DAY OF February, 2015

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 26th DAY OF February 2015 BY Jonathan Shumaker
WITNESS MY HAND AND OFFICIAL SEAL.
NOTARY PUBLIC: [Signature]
MY COMMISSION EXPIRES: [Signature]



CRYSTAL VALLEY RANCH FILING NO. 12

A PARCEL OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 25,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN

LEGEND

- PROPOSED RIGHT OF WAY
- EXISTING RIGHT OF WAY
- PROPERTY LINE
- BOUNDARY LINE
- CENTERLINE
- PROPOSED EASEMENT
- EXISTING EASEMENT
- SIGHT EASEMENT
- PROPOSED CURB & GUTTER
- EXISTING CURB & GUTTER
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- INDICATES 15' MIN. BUILDING SEPARATION
- INDICATES UTILITY EASEMENT
- MAILBOX KIOSK

UNLESS SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE ENGINEERING AGENCIES, THE ENGINEER APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

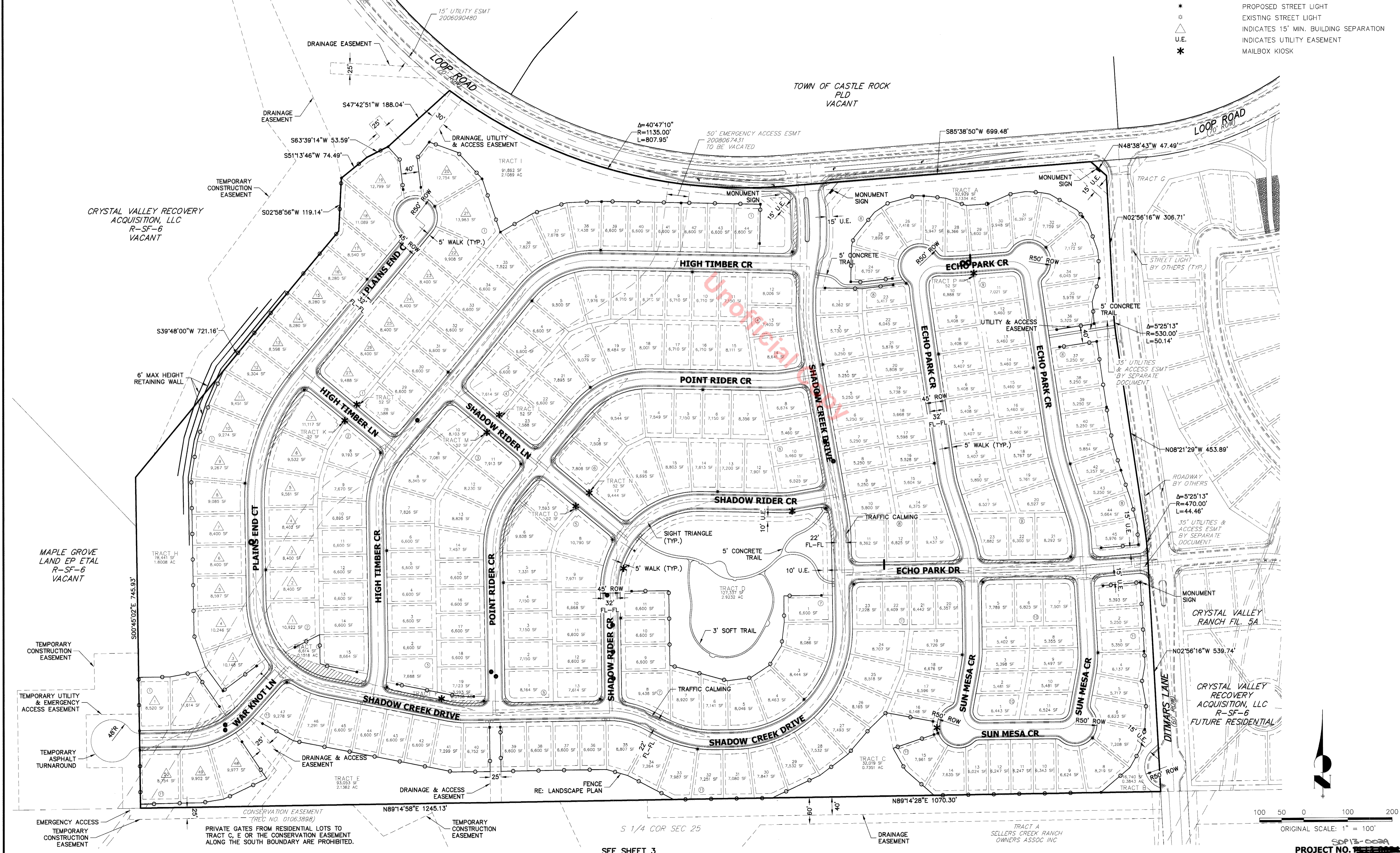
PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

JR ENGINEERING
A Western Company

Central 303-740-6883 • Colorado Springs 719-588-2683
Fort Collins 970-491-9888 • www.jrengineering.com

BY	DATE	NO.	REVISION

CRYSTAL VALLEY RANCH
FILING NO. 12
SITE PLAN



CRYSTAL VALLEY RANCH FILING NO. 12

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN

LEGEND

- PROPOSED RIGHT OF WAY
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- EXISTING CURB & GUTTER
- PROPOSED STREET LIGHT
- EXISTING STREET LIGHT
- PROPOSED FIRE HYDRANT
- EXISTING FIRE HYDRANT
- PROPOSED WATER LINE W/ GATE VALVE
- EXISTING WATER LINE W/ GATE VALVE
- PROPOSED SANITARY SEWER W/ MANHOLE
- EXISTING SANITARY SEWER W/ MANHOLE
- PROPOSED STORM SEWER W/ MANHOLE
- EXISTING STORM SEWER W/ MANHOLE
- PROPOSED INLET
- U.E. INDICATES UTILITY EASEMENT

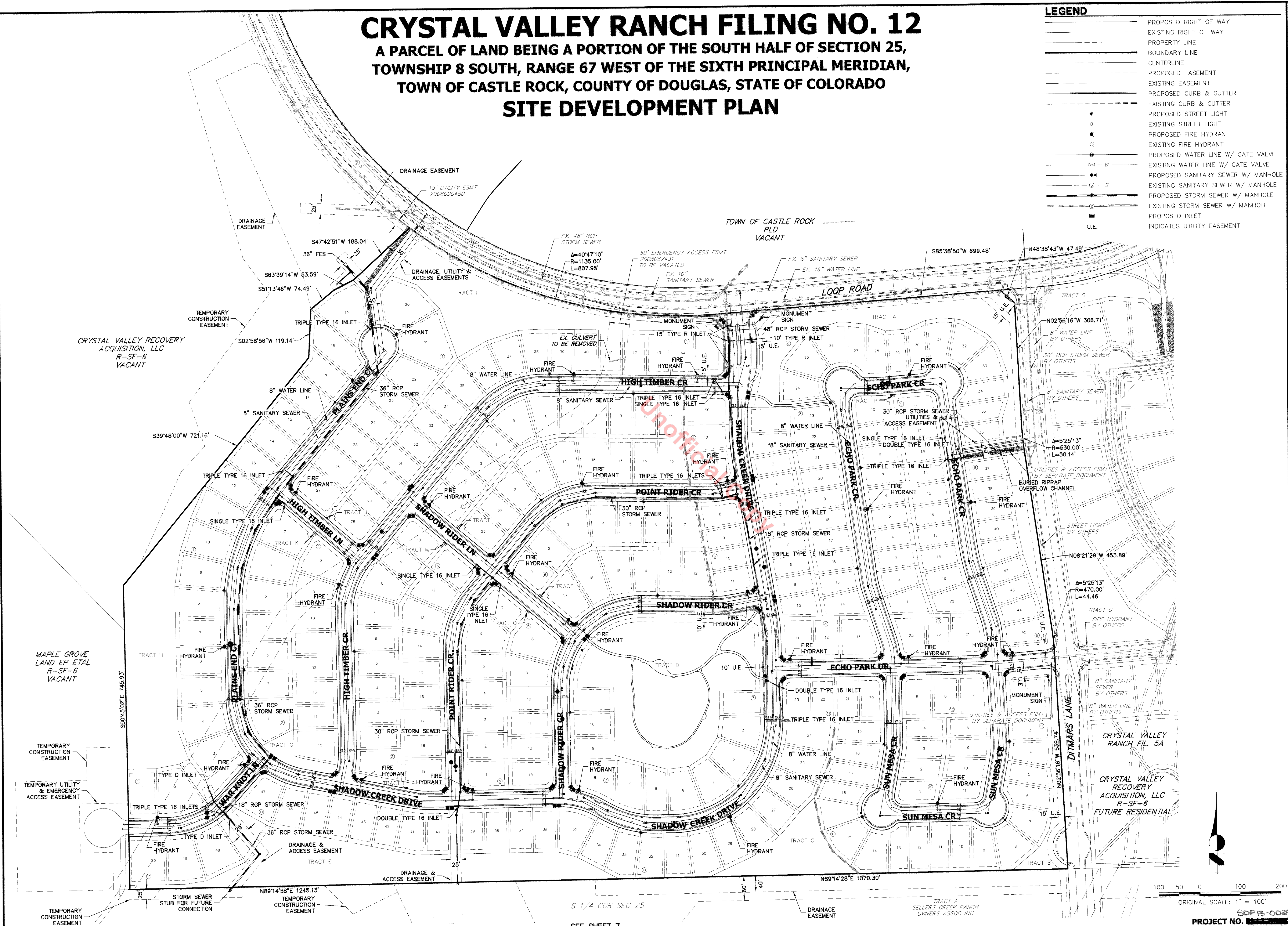
UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE APPROPRIATE REVIEWING AGENCIES, J.R. ENGINEERING PROVIDES THESE SERVICES ON AN "AS IS" BASIS. THE PURPOSES OF THESE SERVICES ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR:
CRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195

J.R. ENGINEERING
A Western Company
Centennial 303-740-9383 • Colorado Springs 719-500-2583
Fort Collins 970-491-9888 • www.jrengineering.com

NO.	REVISION	DATE	BY

H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
1"=100'	N/A	2/18/15	MJJ	MJJ	



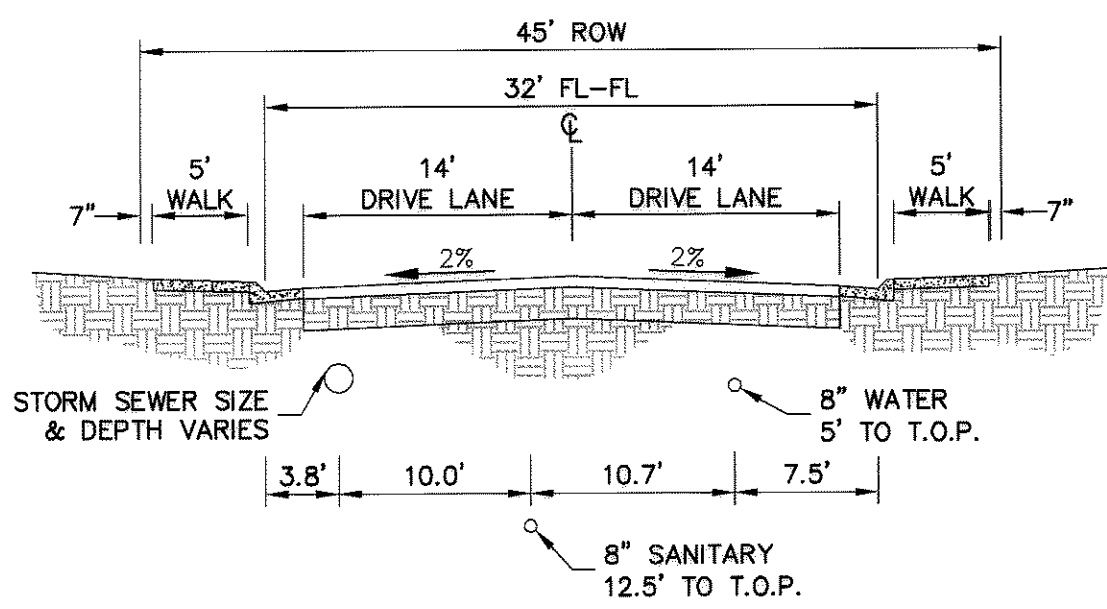
SEE SHEET 7

PROJECT NO. **SDP13-002A**

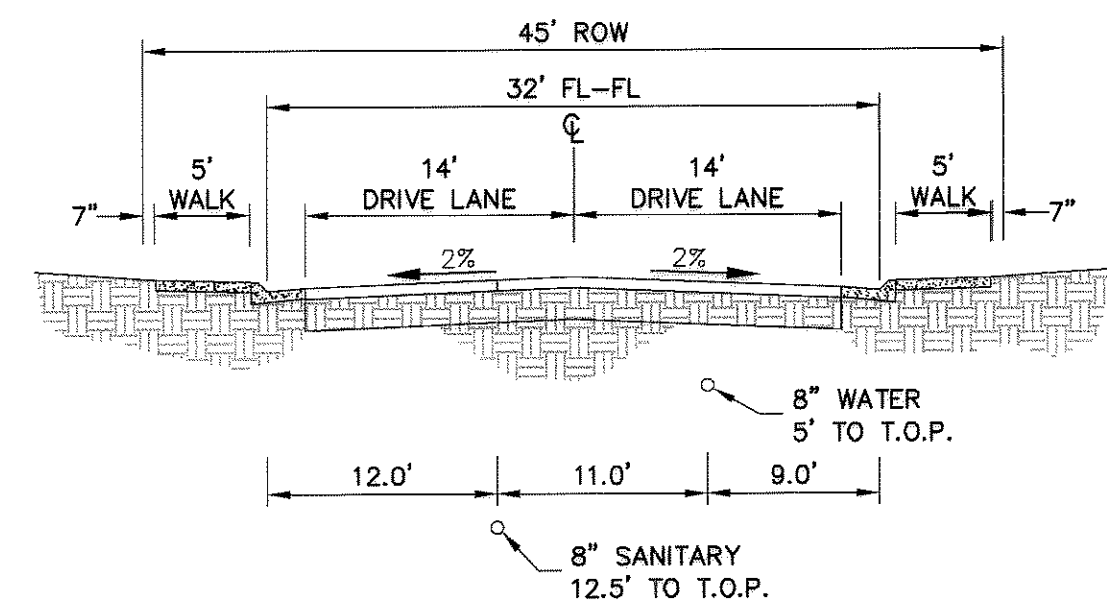
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SITE DEVELOPMENT PLAN



UTILITY LOCATIONS
TYPICAL ALL STREETS WITH STORM SEWER
SCALE: 1"=10'



UTILITY LOCATIONS
TYPICAL ALL STREETS WITHOUT STORM SEWER
SCALE: 1"=10'

LEGEND

	PROPOSED RIGHT OF WAY
	EXISTING RIGHT OF WAY
	PROPERTY LINE
	BOUNDARY LINE
	CENTERLINE
	PROPOSED EASEMENT
	EXISTING EASEMENT
	PROPOSED CURB & GUTTER
	EXISTING CURB & GUTTER
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	EXISTING STORM SEWER W/ MANHOLE
	PROPOSED INLET
	EXISTING INLET
	INDICATES UTILITY EASEMENT

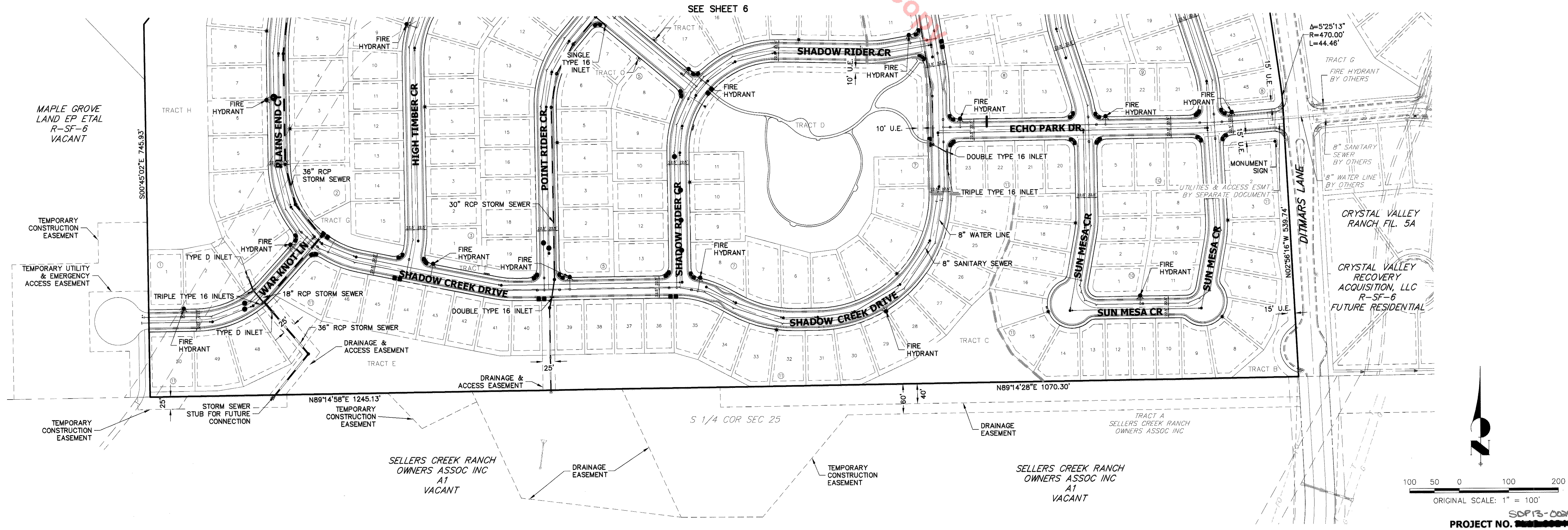
UTILITY NOTES

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK GREEN WATER PRESSURE ZONE.

UNLESS SUCH TIME AS APPROVED BY THE APPROPRIATE REVIEWING AGENCIES: JR ENGINEERING APPROVES THEIR USE ONLY FOR THE PURPOSES DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
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BY	DATE	No.	REVISION

H-SCALE	1" = 100'
V-SCALE	N/A
DATE	2/18/15
DESIGNED BY	MJJ
DRAWN BY	MJJ
CHECKED BY	

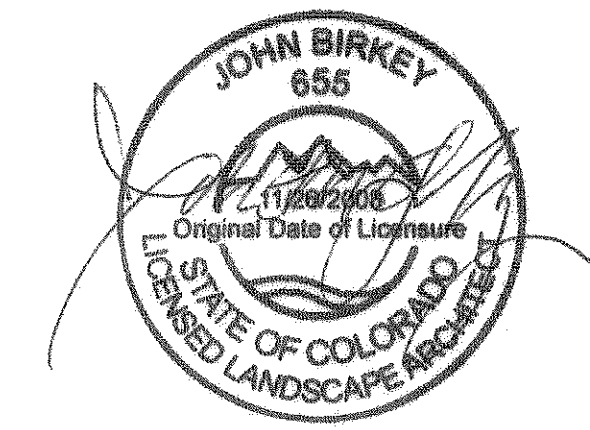
**CRYSTAL VALLEY RANCH
FILING NO. 12
GENERAL UTILITY PLAN**

SHEET 7 OF 9
PROJECT NO. **SC13-009**
JOB NO. 15635.20

CRYSTAL VALLEY RANCH FILING NO. 12

A PARCEL OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 25,
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN



UNTIL SUCH TIME AS
THESE CHARTS ARE
APPROVED BY AN
APPROPRIATE REVIEWING
AGENCY, OR ENGINEERING
APPROVES THEIR USE
ONLY FOR THE PURPOSES
DESIGNATED BY WRITTEN
AUTHORIZATION.

PREPARED FOR
CVRA, LLC
7200 SOUTH ALTON WAY
SUITE C 400
CENTENNIAL, CO 80112
CONTACT: JERRY RICHMOND
(303) 267-6195



1101 Bannock Street
Denver, Colorado 80204
P 303.892.1166
F 303.892.1186

LANDSCAPE
CERTIFICATION:
JOHN M. BIRKEY, P.L.A. IS A LICENSED LANDSCAPE ARCHITECT WITH THE TOWN OF CASTLE ROCK AS A LANDSCAPE DESIGNER. TOWN OF CASTLE ROCK REGISTRATION NUMBER IS 5123. THIS IS VALID THROUGH FEBRUARY 1, 2017. COLORADO LICENSE NUMBER 6555.

COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
VERY LOW WATER USE	0.0 to 1.5
LOW WATER USE	+1.5 to 3.0
MODERATE WATER USE	+3.0 to 4.5
HIGH WATER USE	+4.5

NOTES: THE LWUR RATING RANGE IS BASED ON POST ESTABLISHMENT WATERING SCHEDULES.

IRRIGATION ZONE	PLANT NAME (COMMON)	APPLICATION RATE (INCHES/MONTH)	LANDSCAPE ZONE	% OF TOTAL AREA	IA (IRRIGATED AREA IN SQ FT FOR EACH ZONE)	LWUR (LANDSCAPE WATER USE RATING)	TOTAL AREA (TA)	CLWUR (LWUR X IA)/TA	
SPRAY	IRRIGATED TEXAS REVELLE	4.5 in./mo.	HIGH	8.6%	28,545	4.5	332,434	0.39	
SPRAY	IRRIGATED TURF (ENVIROTURF)	3.0 in./mo.	MODERATE	0.8%	2,766	3.0	332,434	0.02	
DRIP	TREES IN NATIVE *	2.0 in./mo.	LOW	25.2%	83,700	2.0	332,434	0.5	
DRIP	SHRUB BED	2.0 in./mo.	LOW	13.2%	44,046	2.0	332,434	0.26	
SPRAY ROTORS	IRRIGATED DRYLAND GRASS	1.5 in./mo.	VERY LOW	52.2%	173,377	1.5	332,434	0.78	
TOTALS							100	332,434	1.96

TOTAL OF THE CLWUR 1.8

* TREES IN NON-IRRIGATED NATIVE SEED AREAS REQUIRING DRIP IRRIGATION

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
IRRIGATED TURF	31,311	3.3%
IRRIGATED DRYLAND GRASS	173,377	18.1%
NON-IRRIGATED DRYLAND GRASS	623,066	65.2%
IRRIGATED TREES*	83,700	8.8%
IRRIGATED BED	44,046	4.6%
TOTAL AREA LANDSCAPE	955,500	100%

NON-DISTURBED AREAS: N/A
REQUIRED STREETScape TREES/SHRUBS: 130 TREES / 500 SHRUBS
PROVIDED STREETScape TREES/SHRUBS: 130 TREES / 522 SHRUBS
TOTAL TREES/SHRUBS/GRASSES PROVIDED: 302/785/809

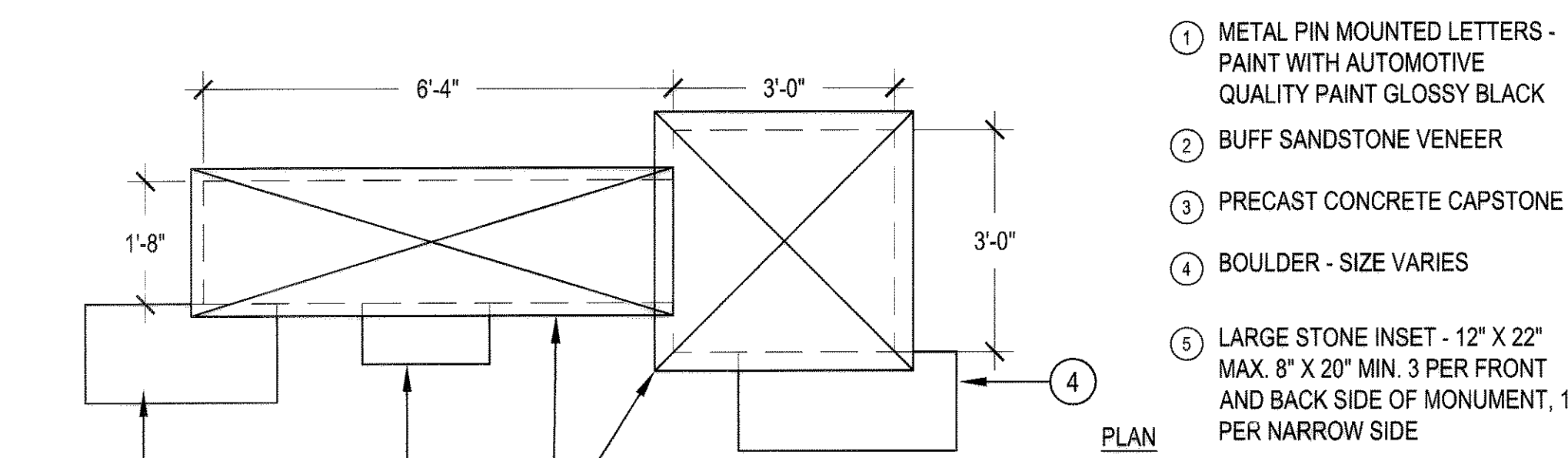
* TREES IN NON-IRRIGATED NATIVE SEED AREAS REQUIRING DRIP IRRIGATION

CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES:

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- AN IRRIGATION PLAN WILL BE REQUIRED ON THE FIRST REVIEW OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.1B AND 4.2.3 IN THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS.
- IRRIGATION SYSTEM IS TO BE REVIEWED AND APPROVED WITH CONSTRUCTION DOCUMENTS. CHANGES MAY BE NECESSARY ON THE LANDSCAPE PLAN DUE TO THE FIRST IRRIGATION REVIEW ON THE CONSTRUCTION DOCUMENTS.
- TREES, LARGE SHRUBS AND PERMANENT STRUCTURES ARE NOT ALLOWED IN UTILITY OR DRAINAGE EASEMENTS IN THE TOWN OF CASTLE ROCK.
- SLOPES GREATER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

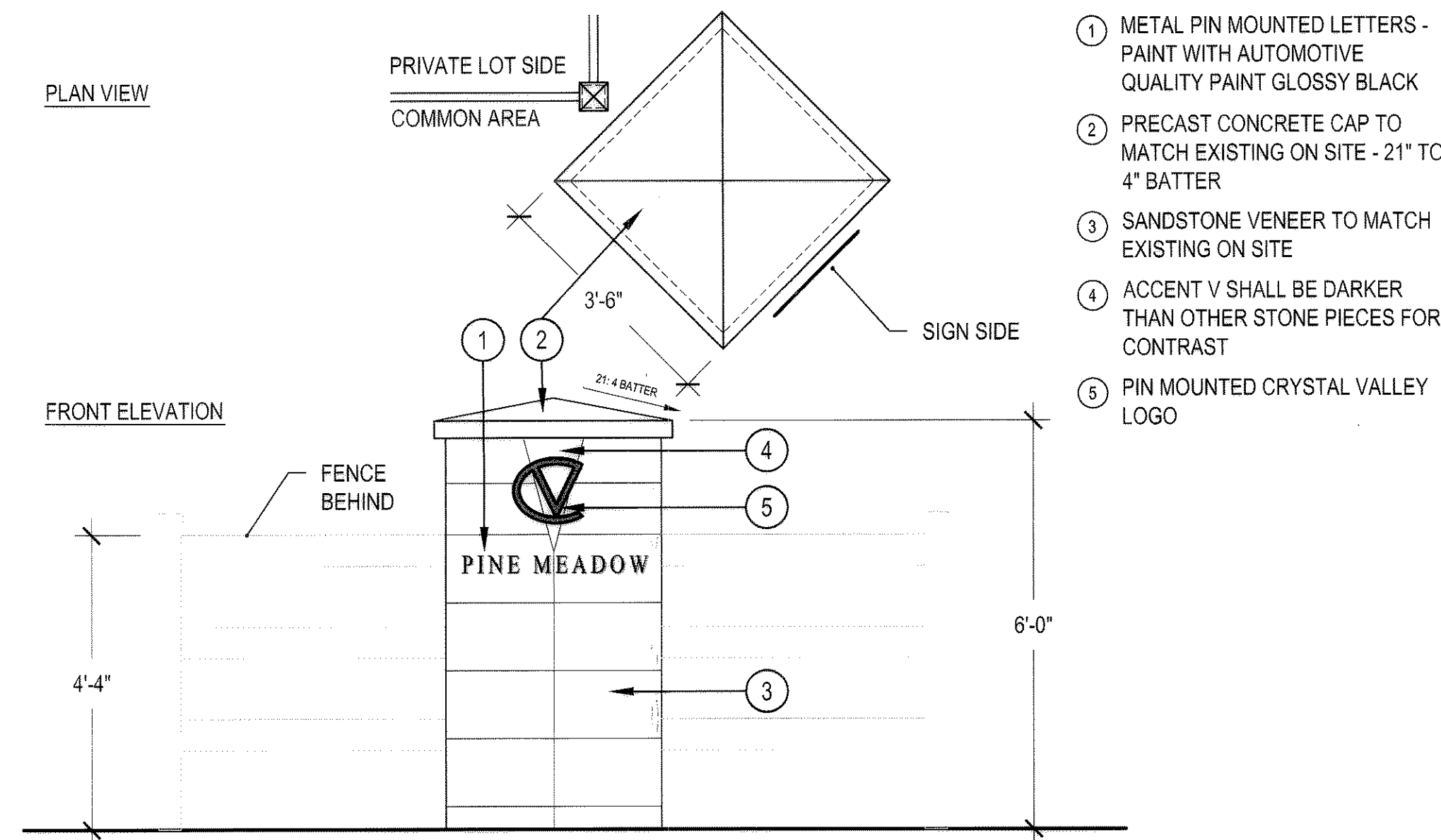
CONCEPTUAL IRRIGATION STANDARD NOTES:

- ALL SOD AREAS ARE TO BE IRRIGATED WITH SPRAYS
- TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
- NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS



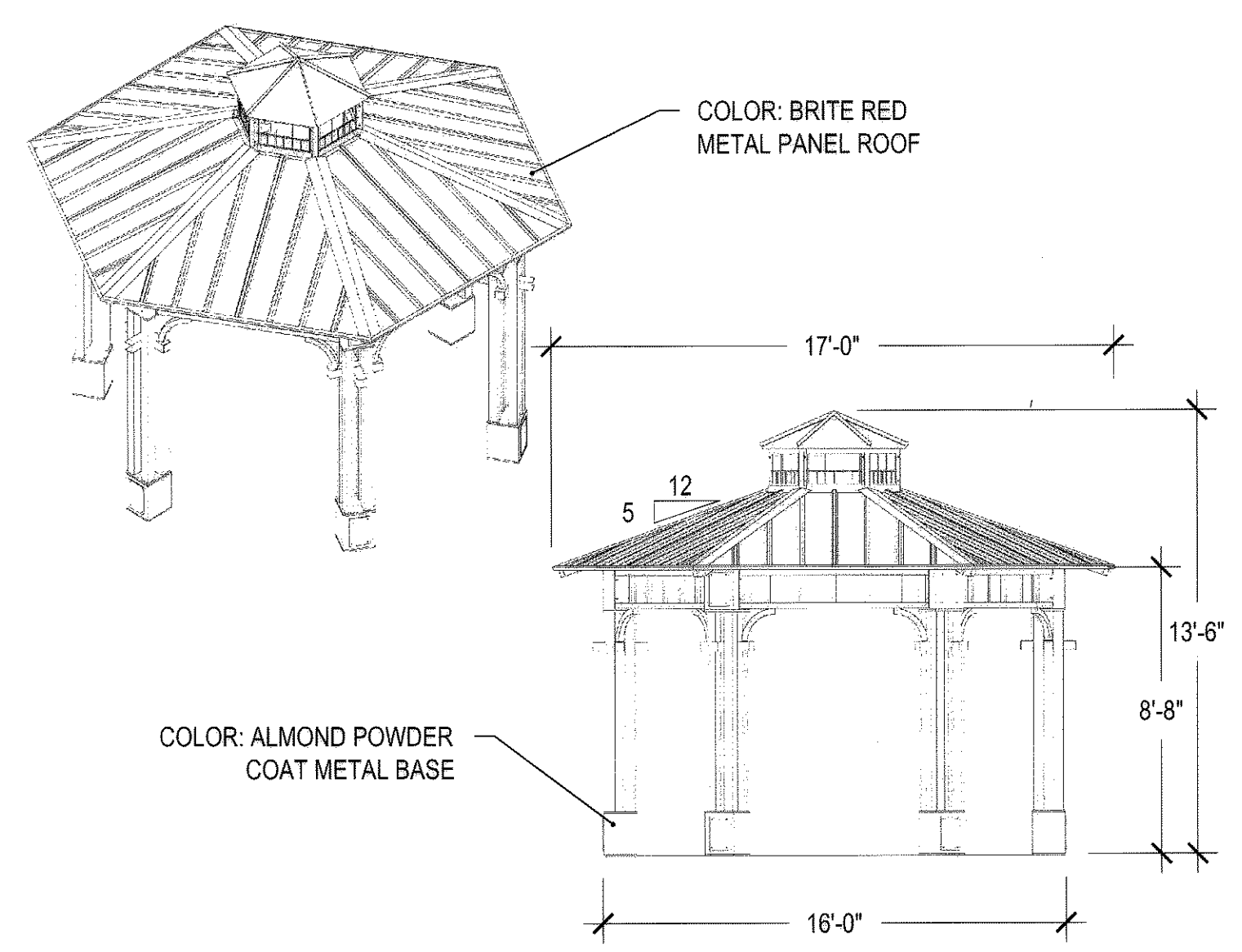
1 MAIN MONUMENT
SCALE: 1/2" = 1'-0"

1 METAL PIN MOUNTED LETTERS - PAINT WITH AUTOMOTIVE QUALITY PAINT GLOSSY BLACK
2 BUFF SANDSTONE VENEER
3 PRECAST CONCRETE CAPSTONE
4 BOULDER - SIZE VARIES
5 LARGE STONE INSET - 12" X 22" MAX. 8" X 20" MIN. 3 PER FRONT AND BACK SIDE OF MONUMENT, 1 PER NARROW SIDE



2 COLUMN MONUMENT
SCALE: 1/2" = 1'-0"

1 METAL PIN MOUNTED LETTERS - PAINT WITH AUTOMOTIVE QUALITY PAINT GLOSSY BLACK
2 PRECAST CONCRETE CAP TO MATCH EXISTING ON SITE - 21" TO 4" BATTER
3 SANDSTONE VENEER TO MATCH EXISTING ON SITE
4 ACCENT V SHALL BE DARKER THAN OTHER STONE PIECES FOR CONTRAST
5 PIN MOUNTED CRYSTAL VALLEY LOGO



3 16' DIAMETER SHADE SHELTER
SCALE: NTS

COLOR: BRITE RED METAL PANEL ROOF
COLOR: ALMOND POWDER COAT METAL BASE

Unofficial Copy

BY	DATE	REVISION
JF	12.20.13	
JF	03.14.14	NOT FOR CONSTRUCTION
JF	05.09.14	
AM	10.07.14	
AM	02.18.15	

CRYSTAL VALLEY RANCH
FILING NO. 12
LANDSCAPE WATER
USE CHARTS

