

TOWN OF CASTLE ROCK
NON-MATERIAL SITE DEVELOPMENT PLAN AMENDMENT CERTIFICATE

NAME OF SITE DEVELOPMENT PLAN: Lot 1, Citadel Station, Filing No. 6, Sixth Amendment

RECEPTION NO. OF SITE DEVELOPMENT PLAN: 2015073950

PURPOSE STATEMENT:

LOT 1, CITADEL STATION, FILING NO. 6, SIXTH AMENDMENT, SITE DEVELOPMENT PLAN created AN OUTSIDE, SECURE CHEMICAL STORAGE AREA. The owner wishes to renovate the existing Unit 2 (520 Topeka Way, Suite D) with new windows on the south and east sides of the facade, as shown on the attached *Amendment Exhibit*.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

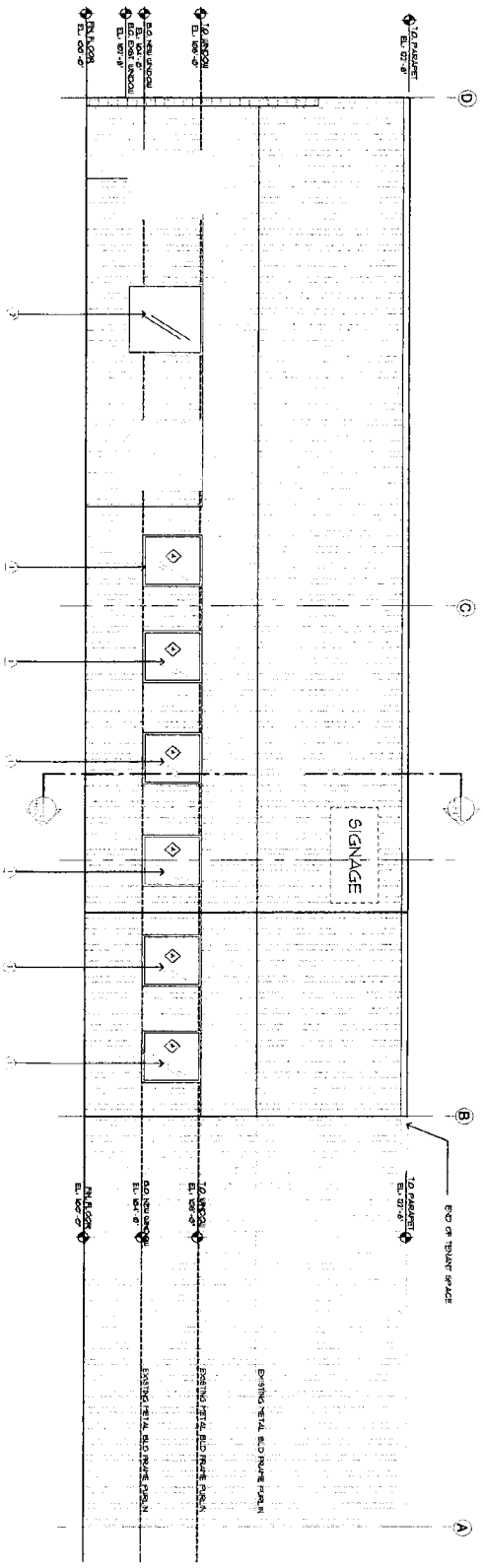
THIS NON-MATERIAL SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE

3 DAY OF November, 2022.



DIRECTOR OF DEVELOPMENT SERVICES

01 SOUTH EAST ELEVATION
SCALE 1/4" = 1'-0"



PLAN KEY NOTES

- 1. INSTALL REINFORCED CONCRETE EXISTING WINDOW SILL AND SILL CURB TO 1/4\"/>
- 2. REPLACE BRASS DOOR GLASS IN EXISTING STOREFRONT
- 3. EXISTING CASE REMAIN AT INTERIOR OF WALL TO REMAIN
- 4. EXISTING WOOD PANELING LEFT IN PLACE TO REMAIN
- 5. REMOVE EXISTING BRASS DOOR AND SILL CURB TO PARAPET EXISTING BRASS DOOR SILL AND SILL CURB TO REMAIN

THESE PLANS ARE INSTRUMENTS OF PROFESSIONAL SERVICE AND ARE PROTECTED BY COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS INCLUDING COPYRIGHT. THEY MAY NOT BE REPRODUCED OR USED FOR ANY PURPOSE WITHOUT THE WRITTEN CONSENT OF IRLAND DEAN DESIGN, LLC.

DATE	DESCRIPTION
01-09-2022	OWNER REVIEW PERMIT SET
07-08-2021	PERMIT SET

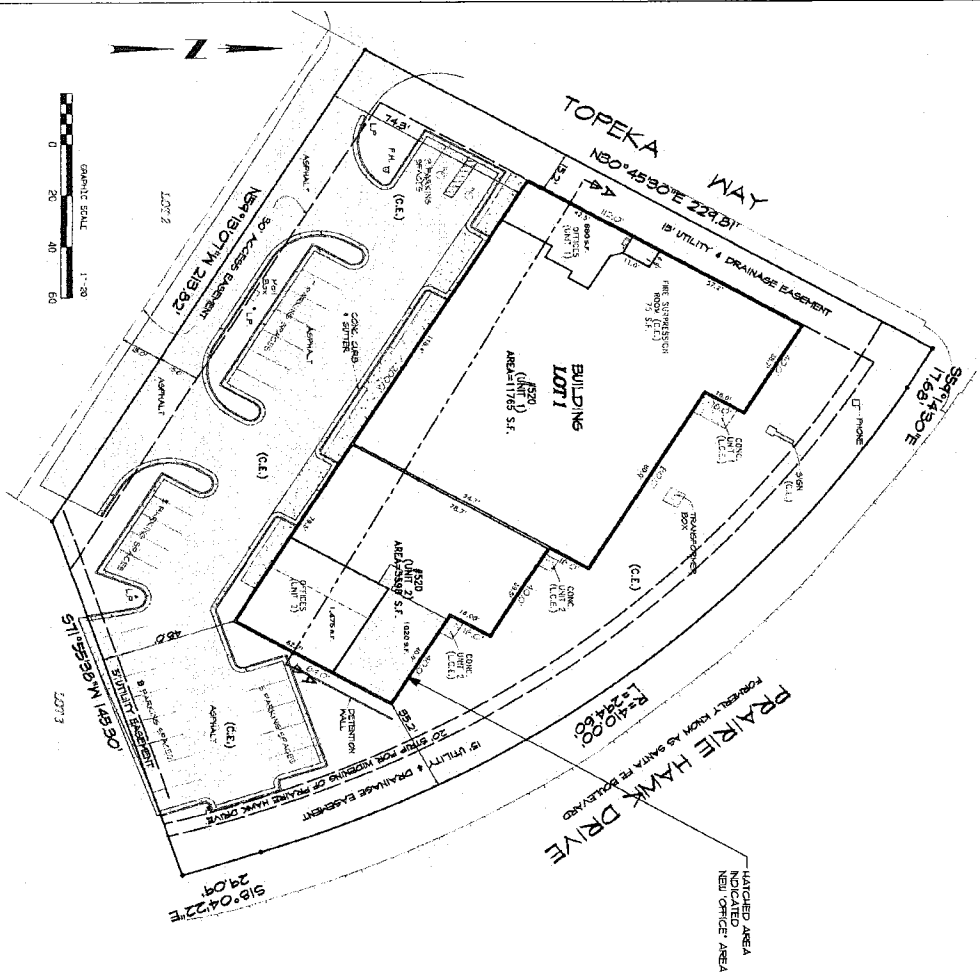
PRODUCED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 01-09-2022
 SCALE: AS SHOWN

CONSTRUCTION DOCUMENTS

CASTLE ROCK MICROWAVE OFFICE EXPANSION

520 TOPEKA WAY UNIT 2
CASTLE ROCK, CO 80109-3109

IRLAND DEAN DESIGN, LLC
 ARCHITECTURE PLANNING
 INTERIOR DESIGN
 520 TOPEKA WAY UNIT 2
 CASTLE ROCK, CO 80109-3109
 TEL: 303.440.1100
 WWW.IRLANDDEANDESIGN.COM



NOTE:
 1. SEE L&L LIMITED COMMON ELEMENTS
 2. SEE L&L COMMON ELEMENTS

EXISTING SITE DATA TABLE

520 TOPEKA WAY SPACE D, UNIT 2	EXISTING ZONING:	INDUSTRIAL - 2
EXISTING USE:	EXISTING OFFICE AREA	LIGHT INDUSTRIAL - CASTLE ROCK MICROVAPE
EXISTING AREA:	EXISTING WAREHOUSE AREA:	5998 SQ. FT.
EXISTING OFFICE PARKING REQUIRED:	EXISTING WAREHOUSE PARKING REQUIRED:	475 SQ. FT.
EXISTING WAREHOUSE PARKING REQUIRED:	EXISTING OFFICE PARKING REQUIRED:	423 SQ. FT.
EXISTING WAREHOUSE PARKING PROVIDED:	EXISTING WAREHOUSE PARKING PROVIDED:	6 PARKING STALLS REQUIRED (4 PER 1000 SQ. FT.)
		4 PARKING STALLS REQUIRED (1 PER 1000 SQ. FT.)
		0 STALLS REQUIRED

520 TOPEKA WAY SPACE A, UNIT 1	EXISTING ZONING:	INDUSTRIAL - 2
EXISTING USE:	EXISTING OFFICE AREA	LIGHT INDUSTRIAL
EXISTING AREA:	EXISTING WAREHOUSE AREA:	1165 SQ. FT.
EXISTING OFFICE PARKING REQUIRED:	EXISTING WAREHOUSE PARKING REQUIRED:	800 SQ. FT.
EXISTING WAREHOUSE PARKING REQUIRED:	EXISTING OFFICE PARKING PROVIDED:	4055 SQ. FT.
EXISTING WAREHOUSE PARKING PROVIDED:	EXISTING WAREHOUSE PARKING PROVIDED:	4 PARKING STALLS REQUIRED (4 PER 1000 SQ. FT.)
		11 PARKING STALLS REQUIRED (1 PER 1000 SQ. FT.)
		23 STALLS

PROPOSED SITE DATA TABLE

520 TOPEKA WAY SPACE D, UNIT 2	EXISTING ZONING:	INDUSTRIAL - 2
EXISTING USE:	EXISTING AREA:	LIGHT INDUSTRIAL - CASTLE ROCK MICROVAPE
EXISTING AREA:	PROPOSED OFFICE AREA:	5598 SQ. FT.
PROPOSED WAREHOUSE AREA:	PROPOSED OFFICE PARKING REQUIRED:	2498 SQ. FT.
PROPOSED OFFICE PARKING REQUIRED:	PROPOSED WAREHOUSE PARKING REQUIRED:	3,003 SQ. FT.
PROPOSED WAREHOUSE PARKING REQUIRED:	PROPOSED WAREHOUSE PARKING PROVIDED:	10 PARKING STALLS REQUIRED (4 PER 1000 SQ. FT.)
PROPOSED WAREHOUSE PARKING PROVIDED:		3 PARKING STALLS REQUIRED (1 PER 1000 SQ. FT.)
		13 STALLS REQUIRED

520 TOPEKA WAY SPACE A, UNIT 1	EXISTING ZONING:	INDUSTRIAL - 2
EXISTING USE:	EXISTING AREA:	LIGHT INDUSTRIAL
EXISTING AREA:	EXISTING OFFICE AREA:	1165 SQ. FT.
EXISTING WAREHOUSE AREA:	EXISTING WAREHOUSE AREA:	800 SQ. FT.
EXISTING OFFICE PARKING REQUIRED:	EXISTING WAREHOUSE PARKING REQUIRED:	10,265 SQ. FT.
EXISTING WAREHOUSE PARKING REQUIRED:	EXISTING OFFICE PARKING PROVIDED:	4 PARKING STALLS REQUIRED (4 PER 1000 SQ. FT.)
EXISTING WAREHOUSE PARKING PROVIDED:	EXISTING WAREHOUSE PARKING PROVIDED:	11 PARKING STALLS REQUIRED (1 PER 1000 SQ. FT.)
		23 STALLS

PROPOSED OVERALL BUILDING DATA
 PROPOSED OFFICE AREA ENTIRE BUILDING: 2,255 SQ. FT. • 14 STALLS PARKING REQUIRED
 PROPOSED WAREHOUSE ENTIRE BUILDING: 10,265 SQ. FT. • 14 STALLS PARKING REQUIRED
 PROPOSED WAREHOUSE ENTIRE BLDG: 28 PARKING STALLS REQUIRED
 PROPOSED OFFICE ENTIRE BLDG: 28 STALLS PARKING PROVIDED

CONSTRUCTION DOCUMENTS

CASTLE ROCK MICROWAVE OFFICE EXPANSION

520 TOPEKA WAY UNIT 2
 CASTLE ROCK, CO 80109-3109

DATE: 07/08/22
 PERMIT SET

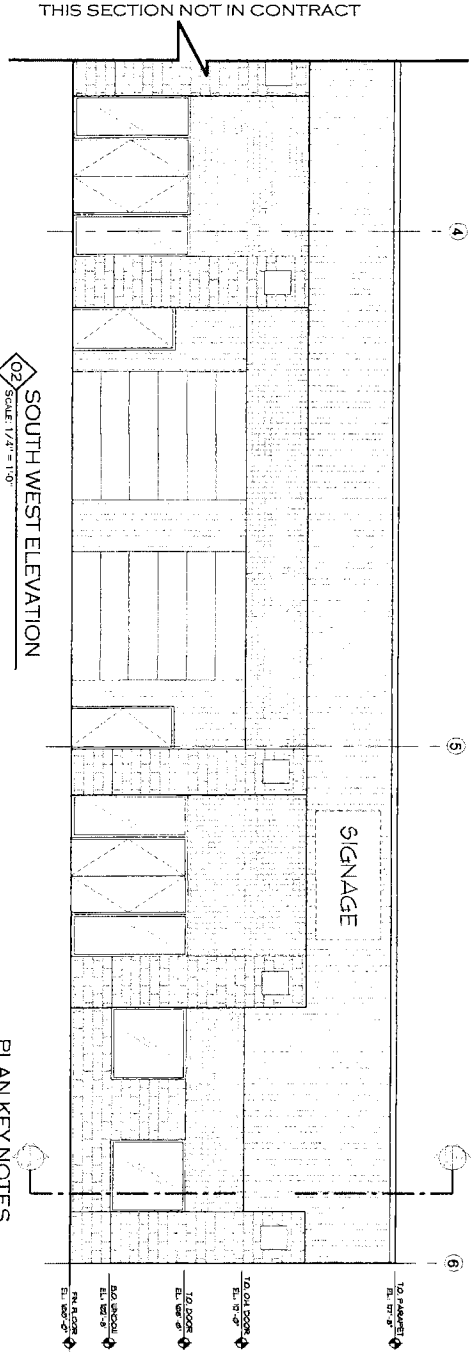
DESCRIPTION: MICROWAVE OFFICE EXPANSION

PROJECT #:
 DRAWING #:
 CHECKED BY:

DESIGNED BY:
 DRAWING #:
 CHECKED BY:

IRELAND
 DEAN & DEAN
 ARCHITECTS, P.C.
 1725 WEST 10TH AVENUE
 DENVER, CO 80202
 PHONE: 303.733.8800
 FAX: 303.733.8801
 WWW.IRELANDDEAN.COM

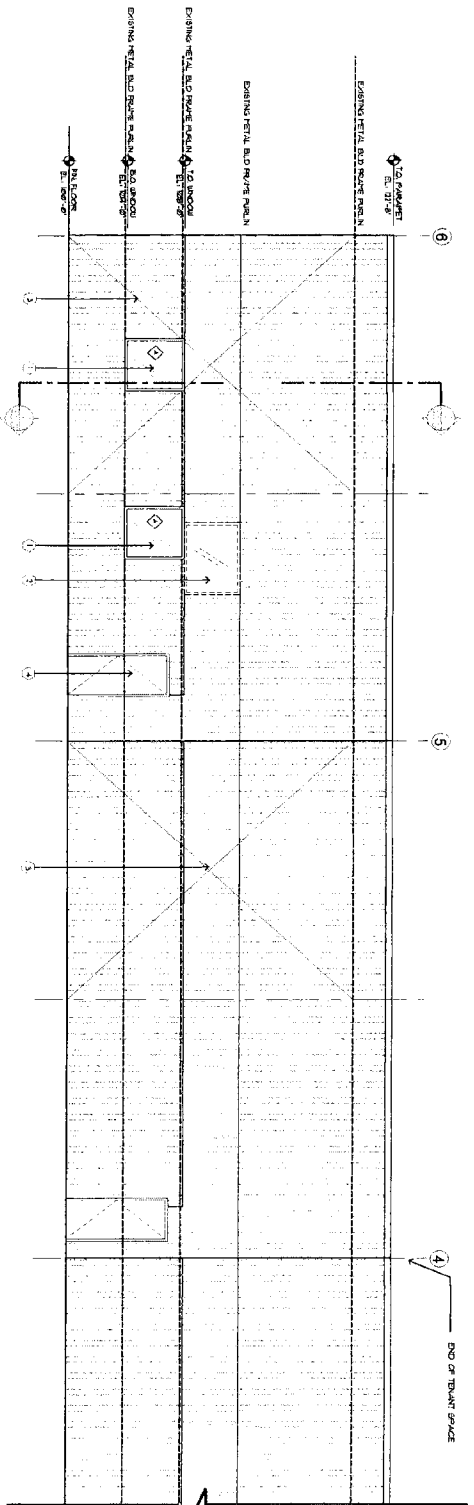
NORTHWEST ELEVATION IS EXISTING
CONDITIONS AND WILL NOT CHANGE



02 SOUTH WEST ELEVATION
SCALE 1/4" = 1'-0"

PLAN KEY NOTES

- 1. NORTH, NEW WINDOW TO MATCH EXISTING WINDOW
- 2. EXISTING WINDOW TO BE REWORKED TO FIT BETWEEN HORIZONTAL METAL BUILDING ECONOMY PANELS
- 3. EXISTING WINDOW TO BE REWORKED PROVIDE WALL BRACING AND INSULATION AND METAL PANEL TO MATCH EXISTING EXTENSION
- 4. EXISTING CHAIR BRACING AT INTERIOR OF WALL TO REMAIN
- 5. EXISTING METAL BUILDING DOOR TO REMAIN



01 NORTH EAST ELEVATION
SCALE 1/4" = 1'-0"

THIS SECTION NOT IN CONTRACT

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CONSTRUCTION DOCUMENTS

CASTLE ROCK MICROWAVE OFFICE EXPANSION
520 TOPEKA WAY UNIT 2
CASTLE ROCK, CO 80109-3109

IRELAND DESIGN GROUP, LLC
ARCHITECTURAL & ENGINEERING
1000 N. WASHINGTON ST., SUITE 100
DENVER, CO 80202
303.733.8800
www.irelanddesign.com

DATE	DESCRIPTION
08-08-2022	OWNER REVIEW PERMIT SET
07-08-22	PERMIT SET

PROJECT NO. 21-0000
DRAWING NO. 00A
SHEET NO. 00A

PROJECT NO. 21-0000
DRAWING NO. 00A
SHEET NO. 00A

EXTERIOR ELEVATIONS

A4.0