

SITE DEVELOPMENT PLAN

LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK PROJECT NO. SDP23-0034

SITE DEVELOPMENT PLAN GENERAL NOTES

1. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
2. Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
3. The provided landscape counts in the Site Development Plan are minimum required counts. The provided landscape counts shall require an SDP amendment. The location of plant material is subject to change due to field conditions with review of the Construction Documents.
4. By graphic plotting a portion of the subject property lies within Zone X (Areas determined to be outside the 0.2% annual chance floodplain), and Zone AE (Areas of Special Flood Hazard), as per FEMA FIRM Panel No. 08035C0188G dated March 16, 2016.
5. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
6. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
7. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
8. No solid object (excluding fire hydrants, traffic cabinet devices and traffic signs) exceeding thirty (30) inches in height above the flowline elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
9. This site is zoned I-2 General Industrial.
10. Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines.
11. A sign permit for each sign must be obtained from the Town of Castle Rock Building Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code.
12. If the project will be located within 300 feet of the 100 yr. floodplain, approval from the U.S. Fish and Wildlife Service will be required for potential disturbance of the Preble's Meadow Jumping Mouse habitat. Please see link below for information related to the Preble's Meadow Jumping Mouse. <http://www.fws.gov/mountain-prairie/species/mammals/preble/>
13. The number of parking spaces has been set based on the proposed uses on this Site Development Plan and Chapter 17.54 of the Castle Rock Municipal Code. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code will require an amendment to this Site Development Plan.
14. Any proposed land use on this site will require an amendment to this Site Development Plan and Town staff review.

FIRE NOTES

1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
4. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
5. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
6. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 75,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
7. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 28 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 28 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
8. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
9. The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.

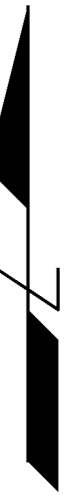
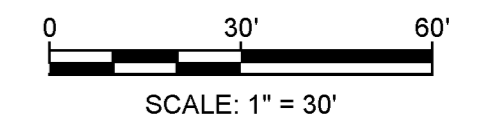
NOTES

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LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
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SITE DEVELOPMENT PLAN

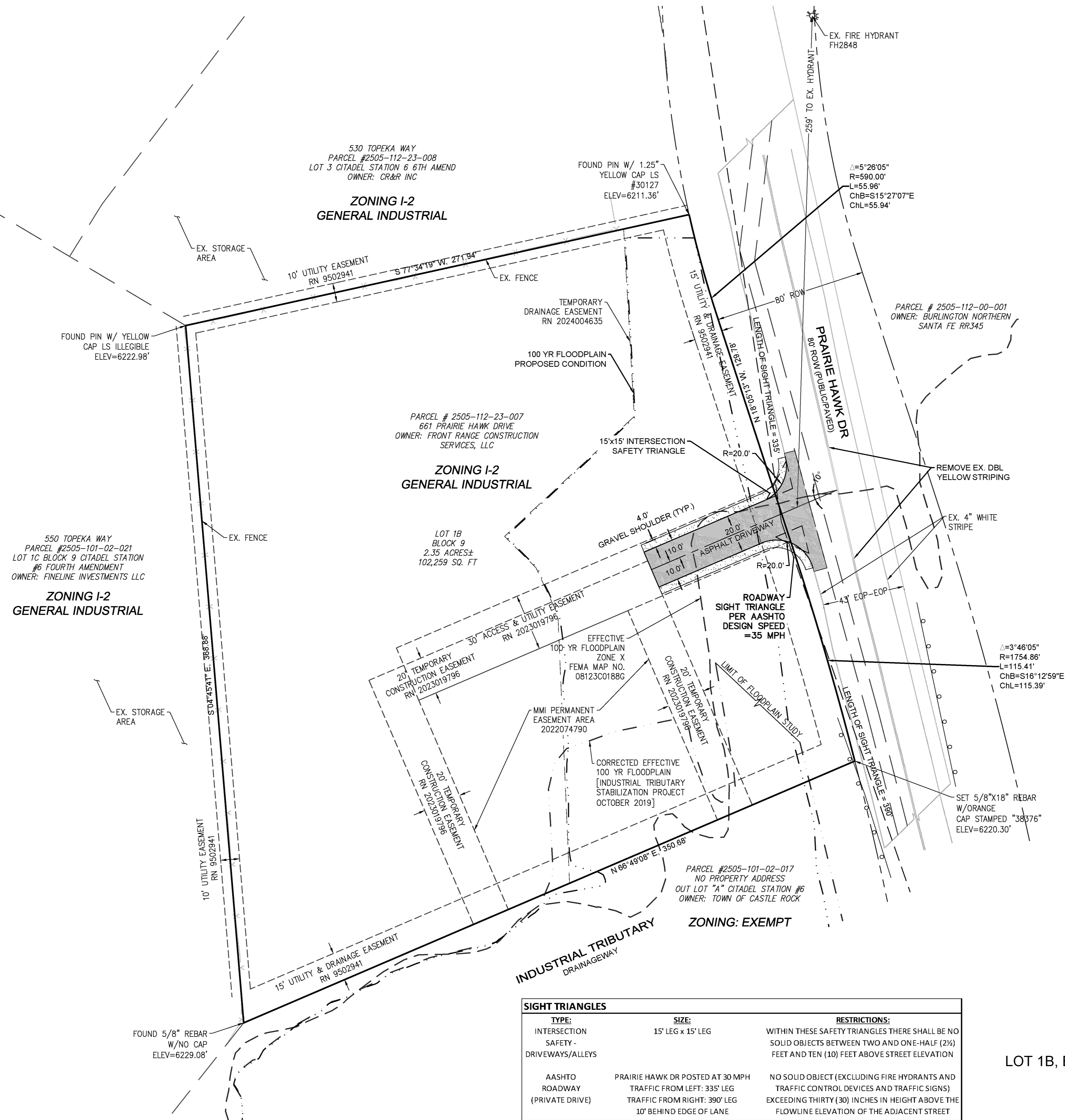
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LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED GRAVEL
- EFFECTIVE 100-YR FLOODPLAIN
- CORRECTED EFFECTIVE 100-YR FLOODPLAIN
- PROPOSED 100-YR FLOODPLAIN
- PROPERTY LINE
- RIGHT-OF-WAY
- ADJACENT PROPERTY LINE
- EXISTING EASEMENT
- PROPOSED EASEMENT
- EXISTING FENCE
- EXISTING GUARDRAIL
- EXISTING FIRE HYDRANT



BENCHMARK
 ELEVATIONS WERE DERIVED FROM A PROCESSED OPUS SOLUTION AND REPRESENT NAVD88 ELEVATIONS. A SITE BENCHMARK SHALL BE THE NORTHEAST CORNER OF LOT 1B, BEING A 1.25" YELLOW PLASTIC CAP, LS #30127, HAVING AN ELEVATION OF 6211.36'.

BASIS OF BEARINGS
 BEARINGS ARE BASED UPON THE SOUTH LINE OF LOT 1B BETWEEN A FOUND 5/8" REBAR WITH NO CAP AND A SET 5/8" REBAR WITH ORANGE CAP STAMPED "38376" BEARING NORTH 66°49'08" EAST A DISTANCE OF 350.68 FEET.



Prepared by:
 2N Civil, LLC
 6 Inverness Court E, Suite 125
 Englewood, Colorado 80112
 Ph: 303.925.0544
 www.2ncivil.com

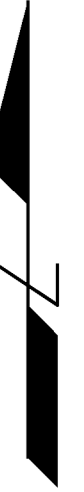
SITE PLAN
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SIGHT TRIANGLES		
TYPE:	SIZE:	RESTRICTIONS:
INTERSECTION SAFETY - DRIVEWAYS/ALLEYS	15' LEG x 15' LEG	WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2½) FEET AND TEN (10) FEET ABOVE STREET ELEVATION
AASHTO ROADWAY (PRIVATE DRIVE)	PRAIRIE HAWK DR POSTED AT 30 MPH TRAFFIC FROM LEFT: 335' LEG TRAFFIC FROM RIGHT: 390' LEG 10' BEHIND EDGE OF LANE	NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET

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	EXISTING ASPHALT
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	PROPOSED EASEMENT
	EXISTING FENCE
	EXISTING GUARDRAIL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM SEWER PIPE
	PROPOSED FLOW LINE
	EXISTING WATER MAIN
	EXISTING WATER MANHOLE
	EXISTING RAW WATER LINE
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC VAULT
	EXISTING FIBER OPTIC LINE LID
	EXISTING COMM PEDESTAL

UTILITY NOTES:

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
4. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.

DISTURBED AREA NOTE:

1. THE TOTAL DISTURBED AREA OF THESE IMPROVEMENTS IS 0.13 ACRES.

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GRADING & UTILITY PLAN

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