

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### SITE DATA

LOT 1	0.245± AC
TOTAL	0.245± AC
ZONING:	B (BUSINESS/COMMERCIAL) - WITHIN DOWNTOWN OVERLAY DISTRICT
LOCAL JURISDICTION:	CASTLE ROCK, COLORADO

### BASIS OF BEARING

ORIGINAL PLAT IS INTERIOR ANGLES. BEARINGS ARE ASSUMED AND BASED ON THE CONSIDERATION THAT THE EAST LINE OF LOT 6 & THE SOUTH 1/2 OF LOT 5, TOWN OF CASTLE ROCK REC NO. 1874010001, COUNTY OF DOUGLAS, STATE OF COLORADO S 00°31'17" W, NORTHEAST CORNER IS A #5 REBAR WITH A 1-1/2" DIAMETER ORANGE PLASTIC CAP STAMPED PLS 36570; SOUTHEAST CORNER IS AN "X" CHISELED INTO CONCRETE WALL AS SHOWN HERON BETWEEN THOSE IDENTIFIES MONUMENTS.

### BASIS OF ELEVATIONS

DOUGLAS COUNTY BENCHMARK:  
DCBM 3020015 22  
ELEVATION = 6255.88 (NAVD88)

### LEGAL DESCRIPTION

LOT 6 & S 1/2 OF LOT 5 BLOCK 22,  
TOWN OF CASTLE ROCK, STATE OF COLORADO, COUNTY OF DOUGLAS

### PROJECT CONTACTS:

<b>CIVIL ENGINEER</b> RIDGETOP ENGINEERING 541 E. GARDEN DRIVE, UNIT N WINDSOR, CO 80550 (970) 663-4552 CONTACT: MIKE BEACH, P.E.	<b>DEVELOPER/APPLICANT</b> THE LITTLE SCHOOL ON PERRY ST. 203 PERRY ST CASTLE ROCK, CO 80104 (949) 355-5355 CONTACT: TAYLOR LEWISON
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### ARCHITECT

BOUICH DESIGN GROUP  
4969 S. AKIRE ST.  
MORRISON, CO 80465  
(303) 901-0720  
CONTACT: SCOTT BOUICH, AIA

**SURVEYOR**  
DAVID E. ARCHER & ASSOCIATES, INC.  
105 WILCOX ST.  
CASTLE ROCK, CO 80104  
(303) 688-4642  
CONTACT: KEVIN E. ARCHER P.E.  
KARCHER@DAVIDEARCHER.COM

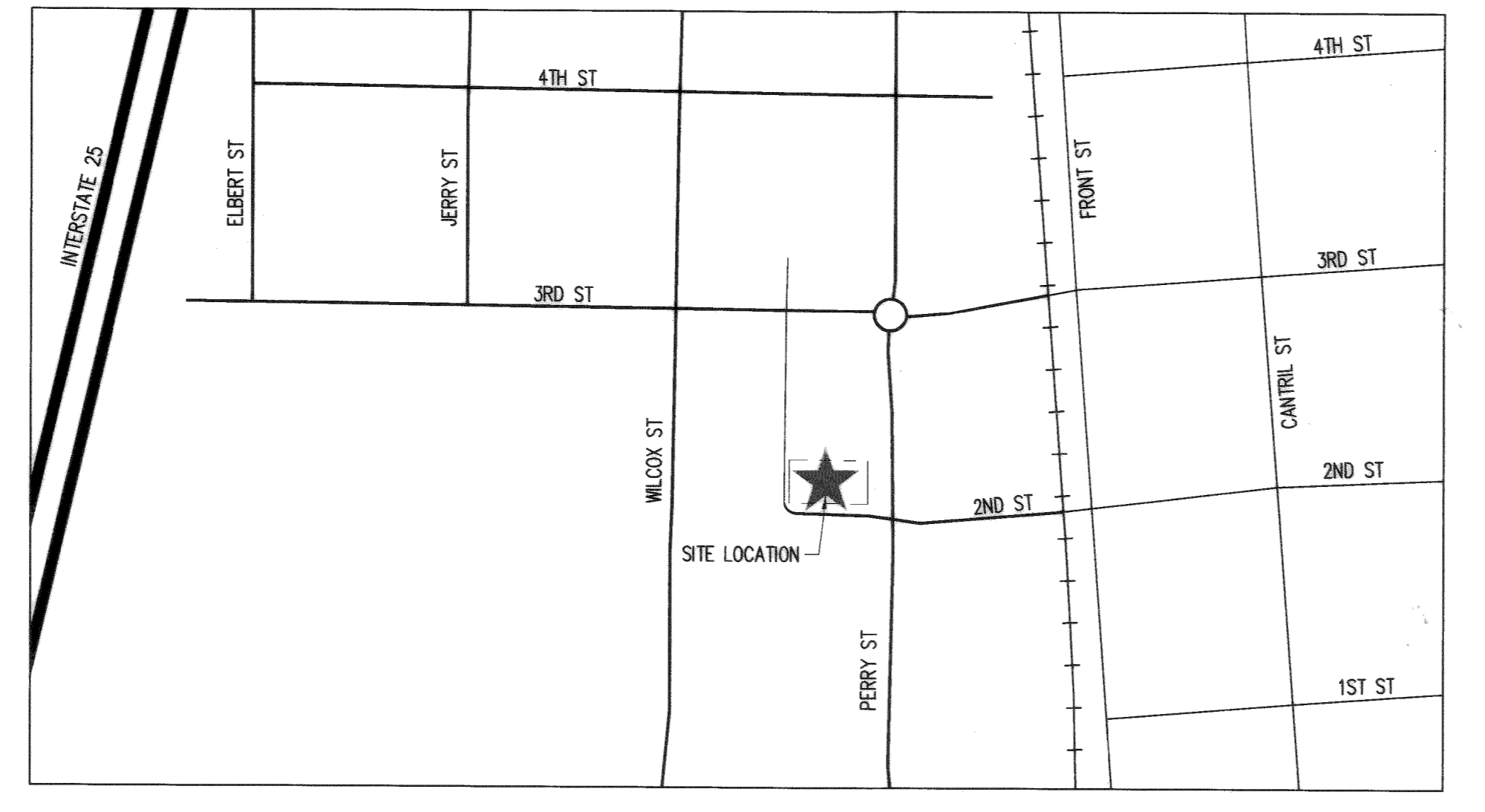
### LANDSCAPE ARCHITECT

PLANSCAPES  
980 NORWAY MAPLE DR.  
LOVELAND, CO 80538  
(970) 988-5301  
CONTACT: ROB MOLLOY, PLA, ASLA

### DRAWING INDEX

SHEET	TITLE	#
CV-1.0	COVER SHEET	1
DM-1.0	DEMO PLAN	2
C-1.0	SITE PLAN	3
C-2.0	GENERAL GRADING PLAN	4
C-3.0	GENERAL UTILITY PLAN	5
LS1	LANDSCAPE PLAN	6
LS2	LANDSCAPE NOTES	7
A3.0	HISTORICAL LANDMARK ELEVATIONS	8
A3.1	PROPOSED OVERALL ELEVATIONS	9
A3.2	PROPOSED OVERALL ELEVATIONS	10
EP-100	SITE PHOTOMETRICS PLAN	11
EP-101	PHOTOMETRICS CUT SHEETS	12

APPROVED VARIANCES:  
TCV24-0004 MAXIMUM SETBACK REQUIREMENT



VICINITY MAP  
1" = 250'

### SITE DEVELOPMENT PLAN GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- THIS PROPERTY IS LOCATED WITHIN ZONE "M" AS PER FEMA FIRM PANEL NO. 0803503016, DATED MARCH 16TH, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR "THIS SITE IS ZONED "B" - BUSINESS/COMMERCIAL I, AND "DOD" - DOWNTOWN OVERLAY."
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT. PLEASE SEE LINK BELOW FOR INFORMATION RELATED TO THE PREBLE'S MEADOW JUMPING MOUSE.  
HTTP://WWW.FWS.GOV/MOUNTAIN-PRAIRIE/SPECIES/MAMMALS/PREBLE/
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

### FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

### WATER RIGHTS DEDICATION AGREEMENT

THE TOWN OF CASTLE ROCK HAS ACQUIRED CONTROL OF THE WATER RIGHTS THROUGH THE ADOPTION OF ORDINANCE NO. 97-17 AND PURSUANT TO THE IMPLIED CONSENT PROVISION OF C.R.S. 37-90-137(6).

BUSINESS OPERATIONS OF THE CHILDCARE FACILITY WILL NOT BE ALLOWED TO IMPACT THE TRAFFIC OPERATIONS ON TOWN'S STREETS. IF IT IS DETERMINED BY TOWN STAFF THAT THE CHILDCARE FACILITY'S OPERATIONS ARE IMPACTING THE STREET, THE OWNER WILL BE REQUIRED TO MITIGATE THE IMPACT.

### ZONING COMPARISON CHART

ZONING	REQUIREMENT	PROVIDED (SDP)
PERMITTED USES	GENERALLY, OFFICE, SERVICE, RETAIL, RESTAURANT, AND MULTI-FAMILY RESIDENTIAL USES AS OUTLINED FOR THE B AND DDD DISTRICTS PER MUNI. CODE 17.28.030	DAY CARE
MAXIMUM BUILDING COVERAGE	100%	31.79%
MINIMUM FRONT YARD SETBACK	0'	16.84'
MINIMUM REAR YARD SETBACK	0'	1.95'
MINIMUM SIDE YARD SETBACK	0'	3.3'
MINIMUM SIDE TO STREET SETBACK	0'	20.77'
MAXIMUM BUILDING HEIGHT	N/A	20'-8"
MAXIMUM STORIES	6	1

### REQUIRED PARKING

TOTAL COMMERCIAL	3,177 SF
TOTAL EXISTING PARKING SF	432 SF
TOTAL DEMOLISHED SF	114 SF
TOTAL COMMERCIAL SF MINUS TOTAL EXISTING AND DEMOLISHED SF	1,200 SF
EXEMPT SF ALLOWED PER CODE	2,000 SF
TOTAL COMMERCIAL SF TO BE PARKED	-800 SF
TOTAL REQUIRED PARKING (1 SPACE PER 500 SF)	0
TOTAL PARKING PROVIDED	3

### MINIMUM ADA PARKING

1 TO 25 TOTAL SPACES IN LOT 1 REQUIRES 1 ADA PARKING SPACE	3 TOTAL LOT SPACES
	1 ADA STALLS PROVIDED

### MINIMUM BICYCLE PARKING

5% OF TOTAL PARKING SPACES PROVIDED	1 BIKE PARKING REQ
	1 BIKE PARKING PROVIDED

### SITE UTILIZATION

	S.F.	% OF TOTAL
BUILDING COVERAGE	3,177	30.10%
PARKING/HARDSCAPE COVERAGE	4,228	40.06%
LANDSCAPE/OPEN SPACE COVERAGE	3,139	29.84%
STREET COVERAGE	0	0
OTHER COVERAGE	0	0
TOTAL	10,544	100.00%

### SURVEYOR'S CERTIFICATE

I, Darrell Eugene Roberts, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACCURATELY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

Darrell Eugene Roberts  
REGISTERED LAND SURVEY NO. 00360770 DR 36057  
DATE: June 17, 2024

### CIVIL ENGINEER'S STATEMENT

I, Michael R Beach, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

Michael R Beach  
REGISTERED PROFESSIONAL ENGINEER  
CO REGISTRATION NO. 45088  
DATE: 2-29-2024

### OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

Marc Lewison  
MISSION CAPITAL PROPERTIES BAYSIDE LLC, A NEVADA LIMITED LIABILITY COMPANY  
SIGNED THIS 17 DAY OF MARCH, 2024

**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 17 DAY OF MARCH, 2024  
BY Marc Lewison AS MANAGING MEMBER OF MISSION CAPITAL PROPERTIES BAYSIDE LLC

WITNESS MY HAND AND OFFICIAL SEAL:  
Alejandro Roque  
NOTARY PUBLIC  
MY COMMISSION EXPIRES: 11-8-2024

ALEJANDRO ROQUE  
Notary Public - State of Nevada  
County of Clark  
APPT NO. 20-2372-01  
My App. Expires Nov. 18, 2024

### DESIGN REVIEW BOARD RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE DESIGN REVIEW BOARD OF THE TOWN OF CASTLE ROCK, COLORADO ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

CHAIR: \_\_\_\_\_ DATE: 7/24/2024  
ATTEST: \_\_\_\_\_ DATE: 7/24/2024  
DIRECTOR OF DEVELOPMENT SERVICES

### DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT \_\_\_\_\_ ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

DOUGLAS COUNTY CLERK AND RECORDER  
BY: \_\_\_\_\_  
DEPUTY

### TITLE CERTIFICATION

I, Jan E. Spaight, AN AUTHORIZED REPRESENTATIVE OF Land Title Guarantees Company, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND HENHOLDER SUBORDINATION CERTIFICATE.

Jan E. Spaight  
AUTHORIZED REPRESENTATIVE  
Land Title Guarantees Company  
TITLE COMPANY  
SIGNED THIS 26 DAY OF JUNE, 2024.

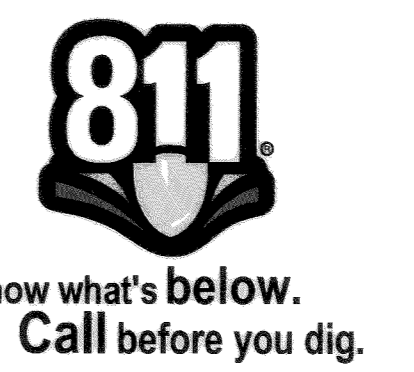
**NOTARY BLOCK**  
SUBSCRIBED AND SWORN TO BEFORE ME THIS 26 DAY OF JUNE, 2024  
BY Jan E. Spaight AUTHORIZED REPRESENTATIVE OF Land Title

WITNESS MY HAND AND OFFICIAL SEAL:  
ICARI JURCZENSKY  
NOTARY PUBLIC  
STATE OF COLORADO  
NOTARY ID 1984615469  
MY COMMISSION EXPIRES 02/28/2028

### \*UTILITY NOTE\*

CONTRACTOR TO FIELD VERIFY ALL UTILITY INVERTS PRIOR TO ANY CONSTRUCTION OR EARTHWORK MODIFICATIONS.

NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION



SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO. SDP23-0032



PROJECT TITLE  
**LITTLE SCHOOL ON PERRY ST**

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR  
**MISSION CAPITAL PROPERTIES BAYSIDE**

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: AMS  
CHECKED BY: MRB  
PROJECT NO.: 23-222-002

REVISIONS:  
SDP 2ND SUBMITTAL 10.18.23  
FINAL MYLARS 01.28.24

DATE  
**08/31/2023**

SHEET TITLE  
**COVER SHEET**

SHEET INFORMATION  
**CV-1.0**

1 of 12

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



## LEGEND

- PROPERTY LINE
- REMOVE/REPLACE EX. PAVEMENT/HARDSCAPE
- PROTECT EXISTING
- REMOVE/REPLACE EXISTING CONCRETE/SIDEWALK
- CURB REMOVAL
- SAW CUT
- UTILITIES TO BE DEMOED

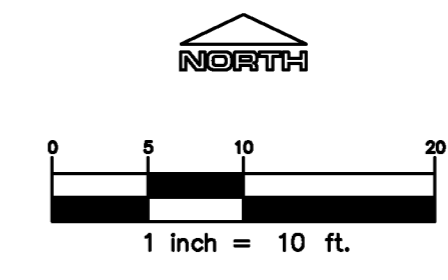
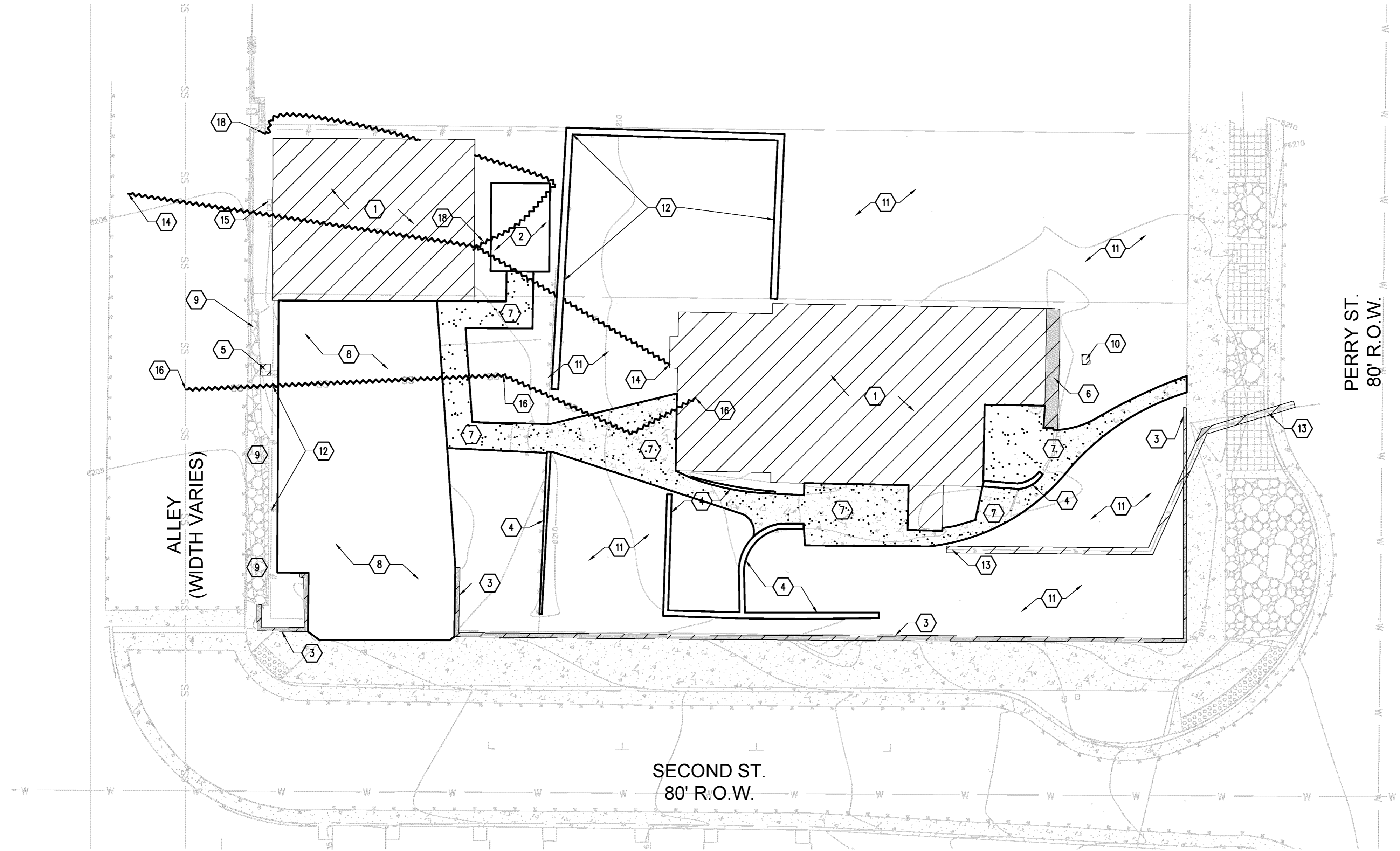
NOTE: FOR ANY REMOVALS BACK TO MAIN OR SIMILAR; ALL HARD SURFACES, BASE MATERIAL, CURB AND GUTTER, ETC MUST BE REPLACED WITH SAME TYPE/COLOR MATERIAL AS REMOVED.

## NOTES

- DEMOLITION NOTES ARE FOR CLARIFICATION ONLY AND ARE SHOWN FOR THE CONTRACTOR'S BENEFIT. THESE NOTES ARE NOT INTENDED TO BE COMPREHENSIVE. THE CONTRACTOR SHALL REMOVE OR RELOCATE ALL EXISTING ON-SITE IMPROVEMENTS NECESSARY TO ACCOMMODATE THE PROPOSED CONSTRUCTION.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THE PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON THE SURVEY PREPARED BY RIDGETOP ENGINEERING AND SURVEYING, DATED 10/05/2022. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
 THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES AND EXISTING IMPROVEMENTS WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS ON THE PLANS.
- CONTRACTOR IS TO REMOVE ALL EXISTING SURFACE IMPROVEMENTS AND DEBRIS WITHIN THE LIMITS OF WORK UNLESS OTHERWISE NOTED. ALL DEBRIS FOUND ON SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE CODES.
- CONTRACTOR TO PROTECT EXISTING FEATURES WHICH ARE TO REMAIN.
- REMOVE EXISTING PIPES LOCATED OUTSIDE PROPOSED BUILDING PAD LIMITS.
- CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, DRAINAGE STRUCTURES, VALVE BOXES, VAULT LIDS AND UTILITY ACCESS STRUCTURES TO FINISH GRADE WITHIN AREAS AFFECTED BY PROPOSED CONSTRUCTION.

## DEMOLITION KEY

- 1 PROTECT EXISTING BUILDING. TO REMAIN.
- 2 DEMOLISH EXISTING SHED
- 3 PROTECT EXISTING RETAINING WALLS
- 4 DEMOLISH AND REMOVE EXISTING RETAINING/ROCKERY WALLS
- 5 REMOVE EXISTING GAS METER. TO BE RELOCATED.
- 6 PROTECT EXISTING PLANTER
- 7 REMOVE EXISTING SIDEWALKS AND PATHWAYS
- 8 DEMOLISH AND REMOVE EXISTING ASPHALT PAVEMENT/CONCRETE TO DEPTH SUFFICIENT TO CONSTRUCT NEW PAVING AND IMPROVEMENTS.
- 9 CONTRACTOR IS TO COORDINATE WITH THE SITE OWNER FOR CLEANUP OF THIS AREA AS NEEDED FOR CONSTRUCTION OF PROPOSED IMPROVEMENTS.
- 10 PROTECT HISTORICAL MARKER. TO REMAIN.
- 11 CLEAR AND GRUB AREA OF ANY EXISTING IMPROVEMENTS IN THE WAY OF THE PROPOSED BUILDING AND SITE IMPROVEMENTS.
- 12 REMOVE EXISTING FENCE IN ORDER TO COMPLETE IMPROVEMENTS, REINSTALL PER OWNERS DIRECTION ONCE IMPROVEMENTS ARE INSTALLED.
- 13 PROTECT EXISTING WATER LINE AND METER. TO REMAIN.
- 14 DEMOLISH EXISTING OVERHEAD POWER LINE. TO BE RELOCATED.
- 15 PROTECT EXISTING METERING POINT.
- 16 DEMOLISH EXISTING SANITARY LINE TO MAIN. CONTRACTOR TO FIELD VERIFY DEPTH AND LOCATION



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
 LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO

PROJECT TITLE

**LITTLE SCHOOL ON PERRY ST**

203 PERRY ST.  
 CASTLE ROCK, CO 80104

PREPARED FOR

MISSION CAPITAL  
 PROPERTIES  
 BAYSIDE

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: AUS  
 CHECKED BY: MRB  
 PROJECT NO.: 23-222-002

REVISIONS	
SDP 2ND SUBMITTAL	10.18.23
FINAL MYLARS	01.29.24

DATE

**08/31/2023**

SHEET TITLE

**DEMO PLAN**

SHEET INFORMATION

**DM-1.0**

File: C:\GIS\101005.dwg Path: P:\Colorado\castle rock\bookch design group\the little school on perry street design group\23-222-002\2 drawings\ Plotted by: Adam Date: 23-Jan-24 2:17:53pm

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## LEGEND

	PORTLAND CEMENT CONCRETE PAVEMENT
	ASPHALTIC CONCRETE PAVEMENT
	CONCRETE SIDEWALK
	PROPERTY LINE
	EDGE OF PAVEMENT
	CURB AND GUTTER
	SAW CUT
	BUILDING
	FENCE
	ROCK GARDEN
	EXISTING HARDSCAPE (TO REMAIN)

## NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY/TOWN/COUNTY REGULATIONS AND CODES AND D.S.H.A. STANDARDS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE EXISTING CONDITIONS SHOWN ON THIS PLAN SHEET ARE BASED UPON SURVEY PREPARED BY DAVID E. ARCHER & ASSOCIATES INC., DATED 10/15/2021. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING THE PROPOSED SITEWORK IMPROVEMENTS. IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITEWORK WHICH WOULD BE AFFECTED. IF THE CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
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- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATION AND DIMENSIONS OF VESTIBULE, SLOPED PAVING, EXIT PORCHES, SIDEWALKS, RAMPS & TRUCK DOCKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
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- ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
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## ZONING DATA

LOT 1	0.245± AC
TOTAL	0.245± AC
ZONING:	B (BUSINESS/COMMERCIAL)
LOCAL JURISDICTION:	CASTLE ROCK, COLORADO

## PARKING DATA

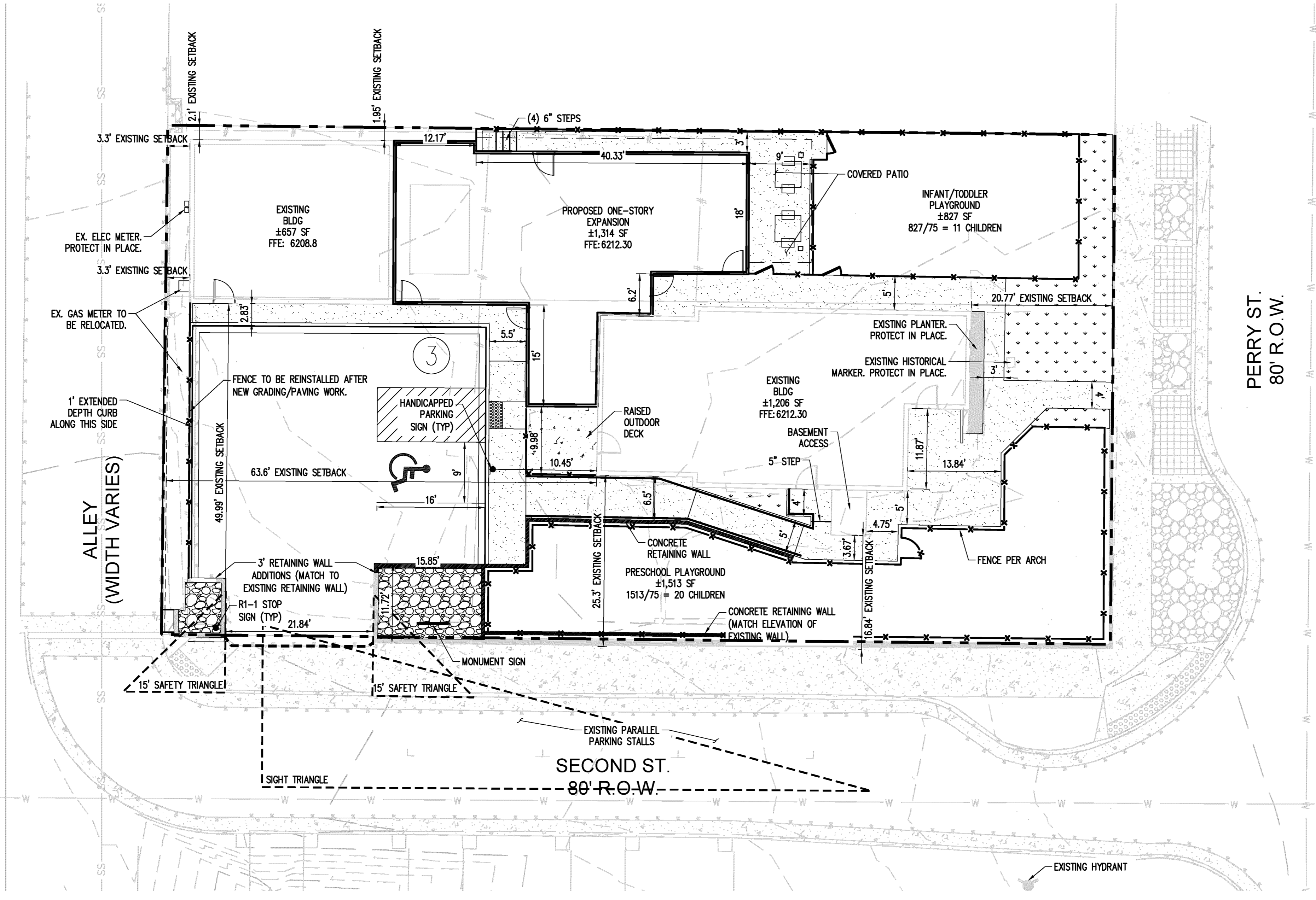
PARKING PROVIDED	
STANDARD STALLS	= 2 STALLS
ACCESSIBLE STALLS	= 1 STALL
TOTAL STALLS	= 3 STALLS

PARKING REQUIRED: TBD

TYPICAL STALL DIMENSIONS:  
9' x 19' STANDARD

BIKE PARKING: TBD

NOTE: BASED ON THE TRAFFIC IMPACT STUDY FOR A LITTLE SCHOOL ON PERRY STREET, CASTLE ROCK, COLORADO, REVISED DECEMBER 2023 BY SM ROCHA LLC, TRAFFIC PRODUCED BY THIS SITE SHOULD HAVE MINIMAL IMPACT ON SECOND ST AND PERRY ST.

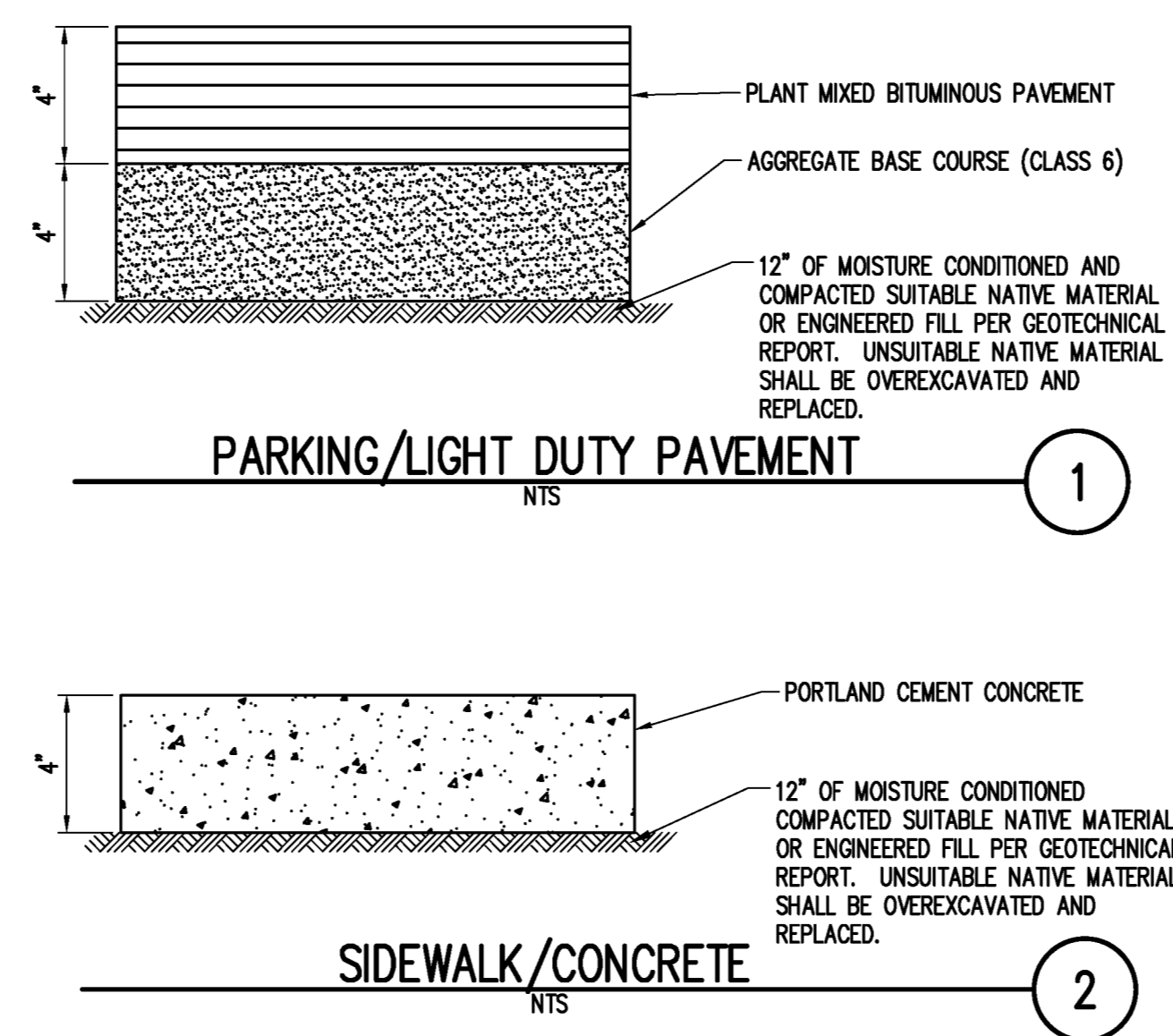
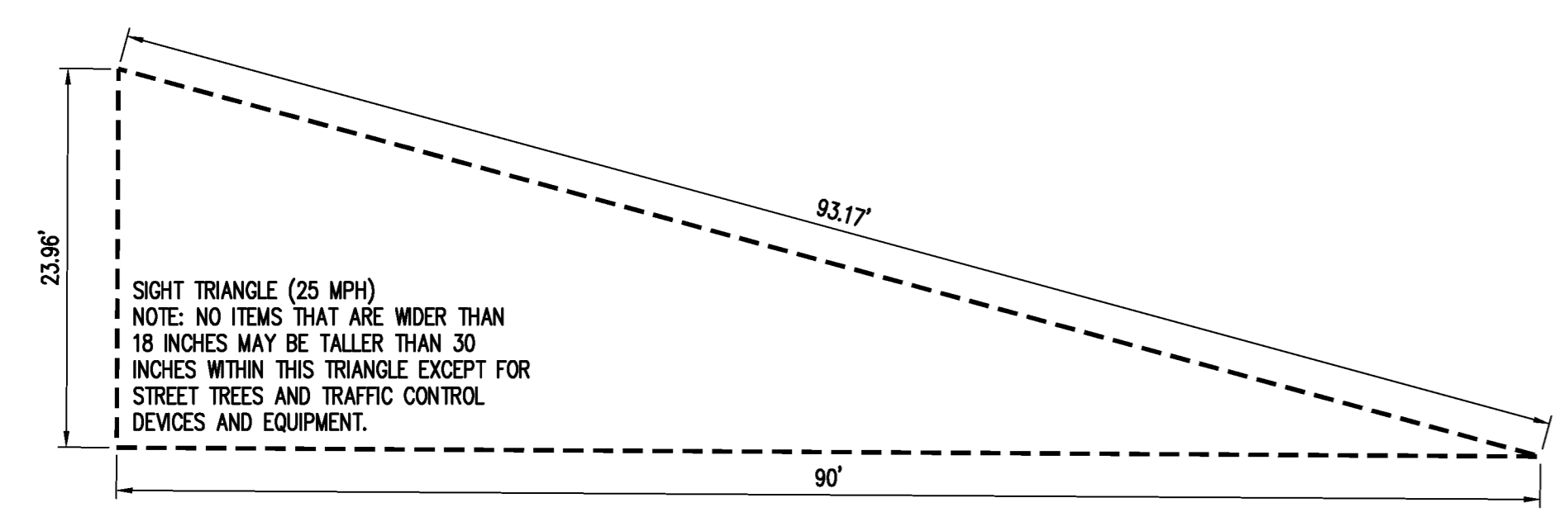


PERRY ST.  
80' R.O.W.

SECOND ST.  
80' R.O.W.

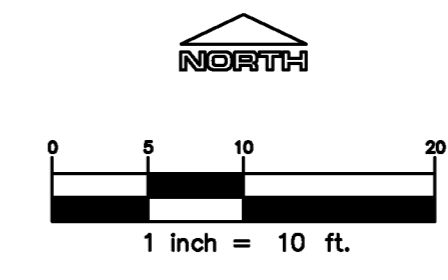
ALLEY  
(WIDTH VARIES)

## SIGHT TRIANGLE DIMENSIONS



## PAVEMENT NOTES

- MATERIAL THICKNESS IS COMPACTED DEPTH. APPLIES TO ALL SECTIONS.
- SUITABLE ON-SITE SOILS SHALL BE FREE OF DELETERIOUS MATERIALS AND MAY BE USED FOR SUBGRADE PROVIDED SOILS MEET REQUIREMENTS AS SET FORTH IN THE GEOTECHNICAL REPORT.
- PROOFROLLING OF PAVEMENT SUBGRADES UNDER GEOTECHNICAL SUPERVISION SHOULD BE COMPLETED TO HELP IDENTIFY UNSTABLE AREAS. ANY INSTABILITY OF THE SUBGRADE SOILS OBSERVED AT THE TIME OF PROOFROLLING, SHOULD BE REPAIRED. IF PROOFROLLING CANNOT BE ACHIEVED, THE SUBGRADE SHALL BE STABILIZED.
- THE SUBGRADE SHOULD BE SCARIFIED TO THE REQUIRED DEPTH AND THEN COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY AS OBTAINED BY ASTM D698 AND MOISTURE CONTENT BETWEEN -2 TO +2 PERCENTAGE POINTS OF OPTIMUM MOISTURE CONTENT. BASE COURSE MATERIAL SHOULD BE PLACED IMMEDIATELY UPON COMPLETION OF THE SUBGRADE COMPACTION OPERATION TO PREVENT DRYING OF THE SOILS DUE TO EXPOSURE.
- ASPHALTIC CONCRETE SHOULD CONSIST OF A BITUMINOUS PLANT MIX COMPOSED OF A MIXTURE OF AGGREGATE, FILLER, BINDERS AND ADDITIVES (IF REQUIRED) MEETING THE DESIGN REQUIREMENTS OF THE CITY AND COUNTY OF DENVER. AGGREGATE USED IN ASPHALT CONCRETE SHOULD MEET SPECIFIC GRADATION REQUIREMENTS SUCH AS COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) GRADING S OR SG (BOTTOM LIFTS ONLY) OR SX (TOP LIFT ONLY) SPECIFICATIONS, OR EQUIVALENT.
- AGGREGATE BASE COURSE SHOULD BE CONSISTENT WITH CDOT REQUIREMENTS FOR CLASS 6 AGGREGATE BASE. PLACED IN LOOSE LIFTS NOT TO EXCEED 8 INCHES THICK AND COMPACTED TO AT LEAST 95% OF THE MATERIALS STANDARD PROCTOR MAXIMUM DRY DENSITY.
- ALL ASPHALT PAVEMENTS SHALL CONFORM TO SPECIFICATIONS IN CDOT SECTION 401 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- SEE "GEOTECHNICAL ENGINEERING REPORT - PROPOSED RETAIL STORE, PARCEL 4, N. SALIDA ST & GREEN VALLEY RANCH BLVD. - DENVER, COLORADO 80249" PREPARED BY TRIAX ENGINEERING DATED OCTOBER 14, 2022 FOR MORE INFORMATION.
- SEE CITY AND COUNTY OF DENVER STANDARDS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION REGARDING ASPHALT AND CONCRETE PAVEMENTS.



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
 LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032



PROJECT TITLE  
**LITTLE SCHOOL ON PERRY ST**

203 PERRY ST.  
 CASTLE ROCK, CO 80104

PREPARED FOR  
**LITTLE SCHOOL CAPITAL PROPERTIES BAYSIDE**

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

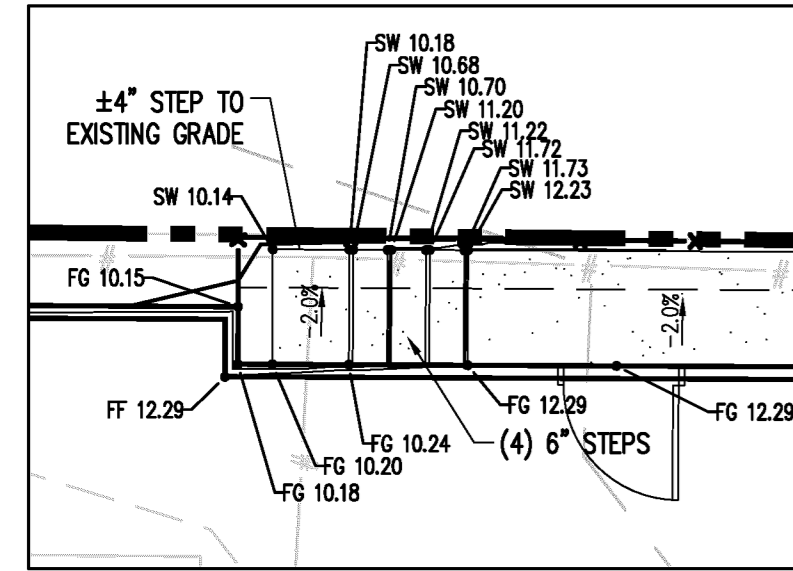
DRAWN BY: AJS  
 CHECKED BY: MRB  
 PROJECT NO.: 23-222-002

REVISIONS	
SDP 2ND SUBMITTAL	10.18.23
FINAL MYLARS	01.29.24

DATE  
**08/31/2023**

SHEET TITLE  
**SITE PLAN**

SHEET INFORMATION  
**C-1.0**



SITE BLOWUP 1

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## LEGEND

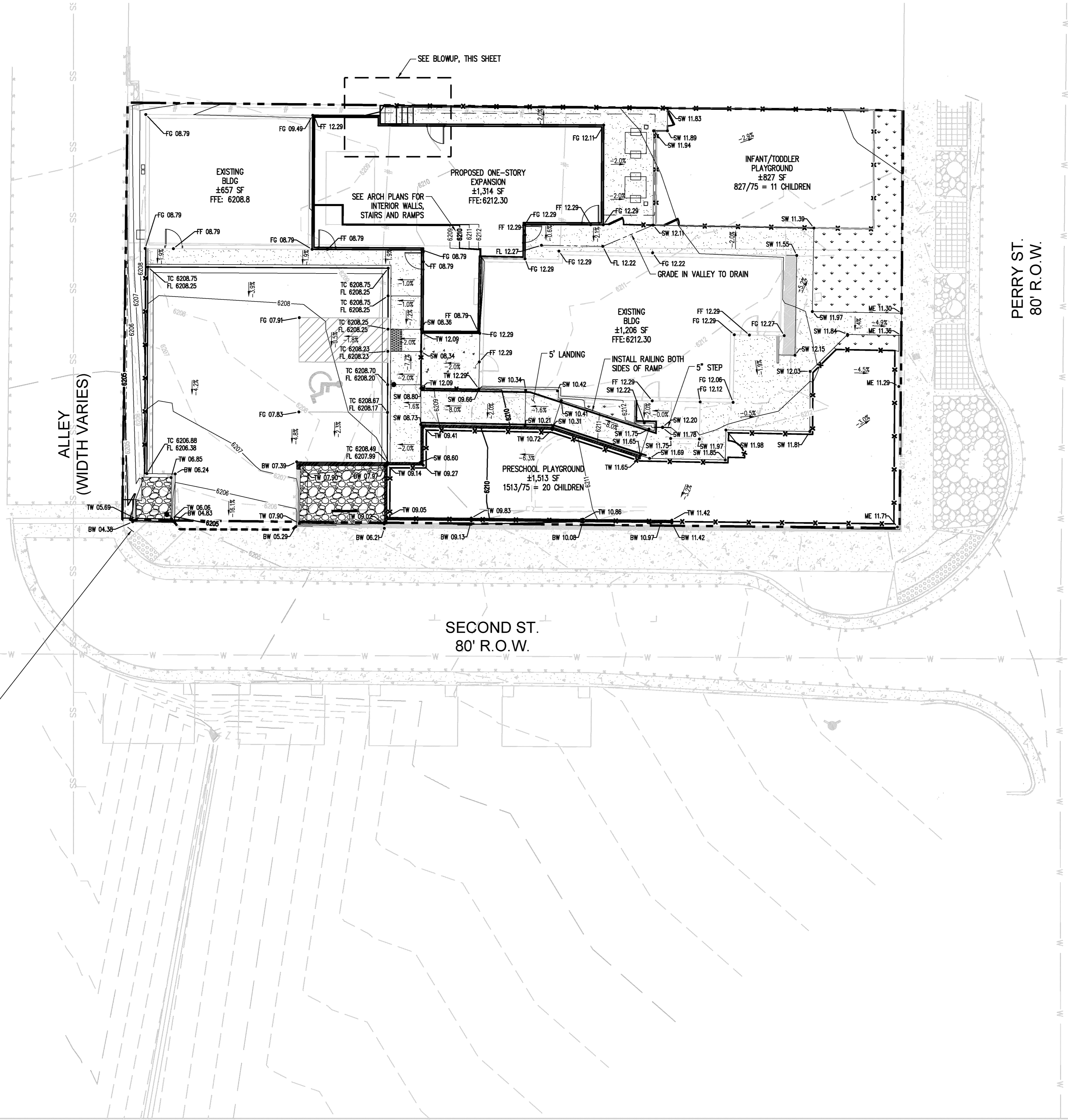
EX. CONTOUR	- - - - -
PROPOSED CONTOUR	— — — — —
PROPERTY LINE	- · - · - · -
SPOT ELEVATION	4833
TOP OF CURB	TC
FINISHED GRADE	FG
FINISHED FLOOR	FF
SIDEWALK	SW
MATCH EXISTING	ME
FLOW LINE	FL
HIGH POINT	HP
TOP OF WALL	TW
BOTTOM OF WALL	BW

## NOTES

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## GRADING NOTES

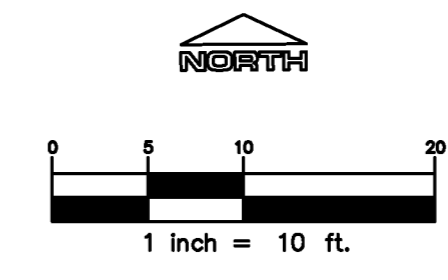
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3:1V OR STEEPER. CONTRACTOR SHALL STABILIZE DISTURBED AREAS WITH GRASS IN ACCORDANCE WITH LOCAL SPECIFICATION UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL CUT AND FILL SLOPES SHALL BE CONSTRUCTED PER THE IBC CODE AND APPLICABLE LOCAL REGULATION. ALL CUT AND FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS AND SHALL GRADE ALL AREAS TO PRECLUDE PONDING OF WATER.
- ALL POLLUTANTS OTHER THAN SEDIMENT ON-SITE DURING CONSTRUCTION SHALL BE HANDLED AND DISPOSED OF IN A MANNER THAT DOES NOT CAUSE CONTAMINATION OF STORMWATER. THE CONTRACTOR SHALL ADMIT TO ALL TERMS AND CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES.
- PROPERTIES AND WATERWAYS DOWNSTREAM OF THE SITE SHALL BE PROTECTED FROM EROSION DUE TO INCREASES IN THE VOLUME, VELOCITY AND PEAK FLOW RATE OF STORMWATER RUNOFF FROM PROJECT SITE.
- CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO SAME.
- CONTRACTOR TO REMOVE UNSUITABLE SOILS LOCATED WITHIN THE BUILDINGS SPLAY LINE OF THE FOOTINGS.
- FOR BOUNDARY AND TOPOGRAPHIC INFORMATION REFER TO PROJECT SURVEY.
- REUSE OF NATIVE MATERIAL PERMITTED IF PLACED IN 8" LIFTS AND COMPACTED TO 95% MODIFIED PROCTOR.
- SPOT ELEVATIONS SHOWN ARE TO THE TOP OF PAVEMENT, SWALE FLOWLINE, OR FINISHED GRADE, UNLESS OTHERWISE SPECIFIED.
- CONTRACTOR SHALL PERFORM A CUT AND FILL QUANTITY CALCULATION AND INCLUDE IN THE BASE BID. ANY CUT OR FILL REQUIRED IN ADDITION TO THE BASE BID SHALL BE AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS AND ARENAS. ADDITIONAL SWALES OR MINOR CHANNELIZATION GRADING EFFORTS MAY BE REQUIRED PRIOR TO SEEDING OR INSTALLING GRAVEL, ETC.



ALLEY (WIDTH VARIES)

PERRY ST.  
80' R.O.W.

SECOND ST.  
80' R.O.W.



Know what's below.  
Call before you dig.

NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032



PROJECT TITLE  
LITTLE SCHOOL ON PERRY ST

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR  
PROPERTY CAPITAL PROPERTIES BAYSIDE

SUBMITTAL  
SITE DEVELOPMENT PLAN

DRAWN BY: KNW  
CHECKED BY: MRB  
PROJECT NO.: 23-222-002

REVISIONS  
SDP 2ND SUBMITTAL 10.18.23  
FINAL MYLARS 01.29.24

DATE

08/31/2023

SHEET TITLE

GENERAL GRADING PLAN

SHEET INFORMATION

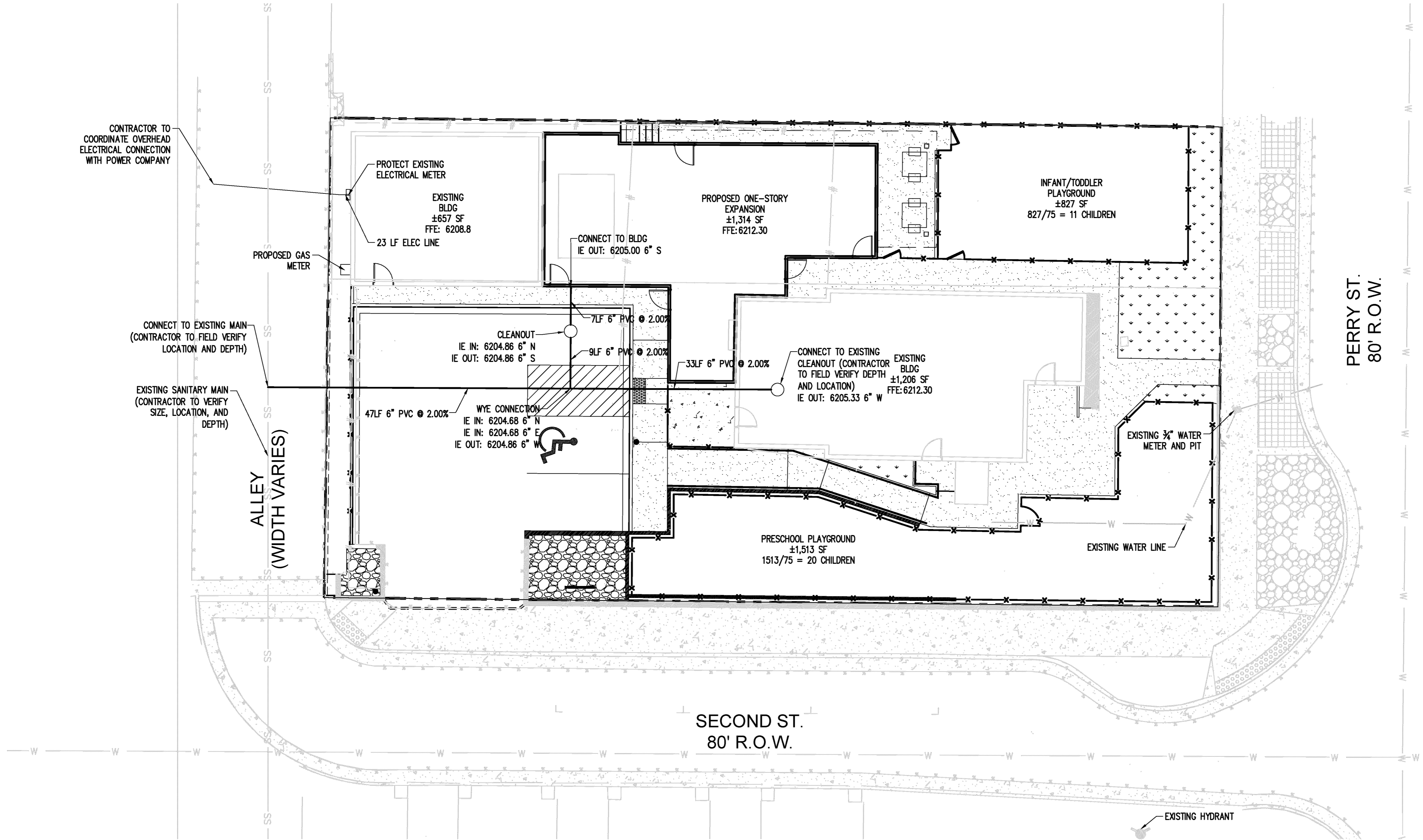
C-2.0

4 of 12

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND	
	PROPERTY LINE
	CURB AND GUTTER
	FENCE
	BUILDING SETBACK
	PROPOSED BUILDING
	WATER LINE
	SEWER LINE
	GAS LINE
	ELECTRIC LINE
	COMMUNICATIONS LINE
	SANITARY MANHOLE



### UTILITY NOTES

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS. REVISED: 11/5/2019
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.
- AT THE TIME OF BUILDING PERMIT, THE WATER SUPPLY REQUIRED FOR THE REDEVELOPMENT OR CHANGE IN USE OF THE SITE SHALL BE DETERMINED BY TOTAL LOAD AT PEAK DEMAND IN TERMS OF WATER SUPPLY FIXTURE UNITS AND GALLONS PER MINUTE (GPM).

LOGO  
  
 RIDGETOP  
 ENGINEERING & SURVEYING  
 541 E. Garden Drive, T (970) 683-4592  
 Unit N Windsor, CO 80550 W ridgetopeng.com

SEAL

PROJECT TITLE  
**LITTLE SCHOOL ON PERRY ST**

203 PERRY ST.  
 CASTLE ROCK, CO 80104

PREPARED FOR  
 MISSION CAPITAL PROPERTIES BAYSIDE

SUBMITTAL  
 SITE DEVELOPMENT PLAN

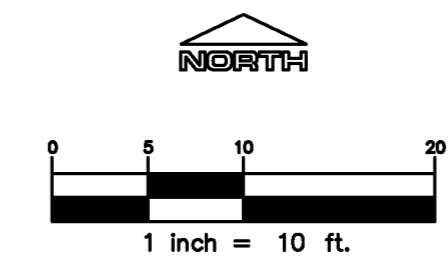
DRAWN BY: KNW  
 CHECKED BY: MRB  
 PROJECT NO.: 23-222-002

REVISIONS	
SDP 2ND SUBMITTAL	10.18.23
FINAL MYLARS	01.29.24

DATE  
**08/31/2023**

SHEET TITLE  
**GENERAL UTILITY PLAN**

SHEET INFORMATION  
**C-3.0**









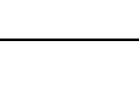


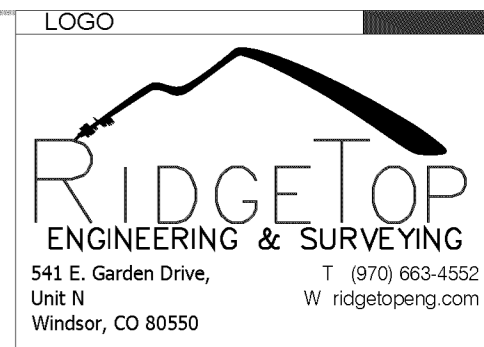
NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

## PLANT LEGEND

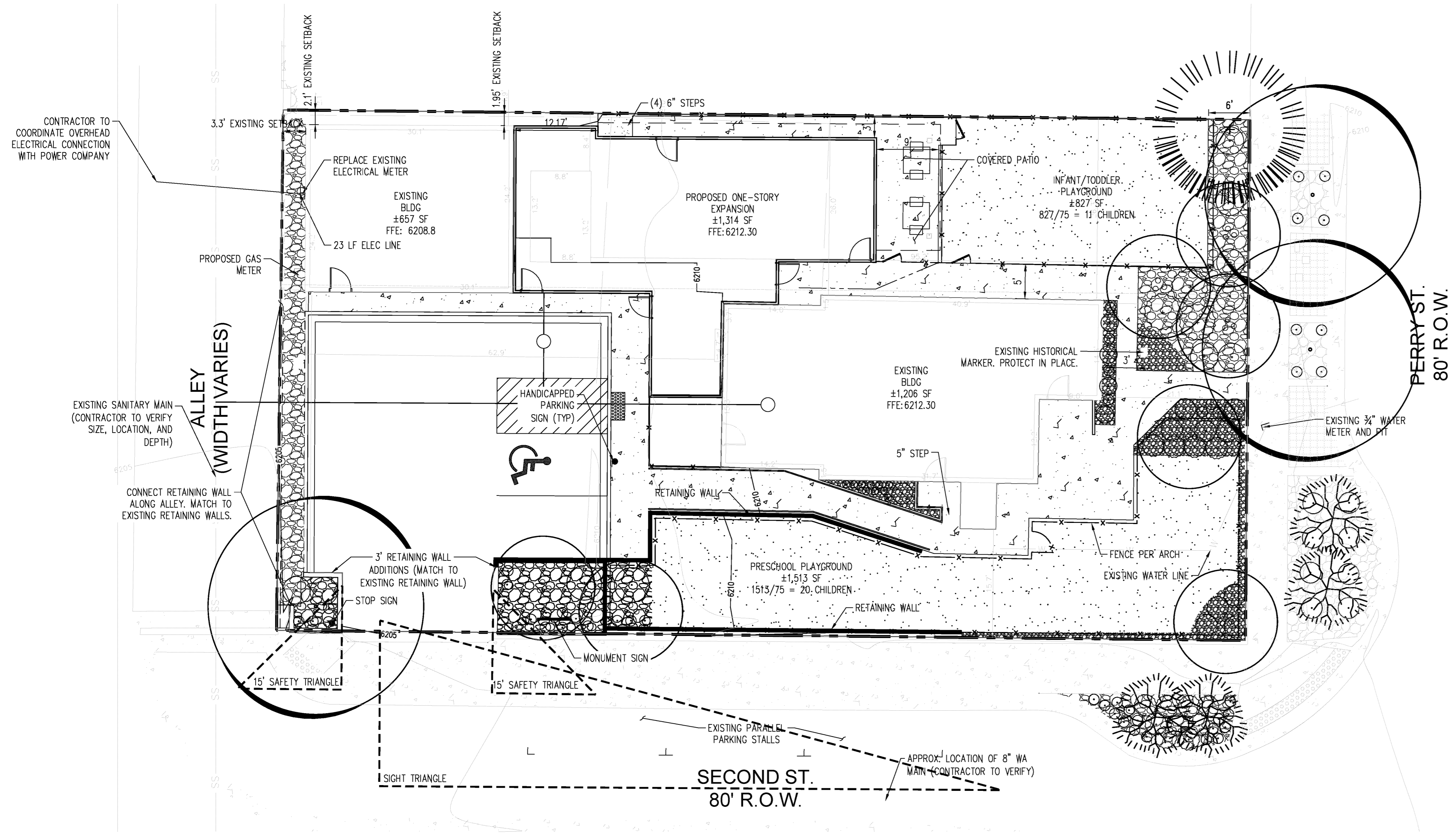
-  DECIDUOUS CANOPY TREES
-  ORNAMENTAL TREES
-  EVERGREEN TREES
-  EXISTING TREE
-  EVERGREEN SHRUBS
-  EXISTING ROCK MULCH
-  3/4" RIVER ROCK
-  SYNTHETIC TURF
-  1" DECORATIVE ROCK



PROJECT TITLE  
**LITTLE SCHOOL ON PERRY ST**

203 PERRY ST.  
 CASTLE ROCK, CO 80104

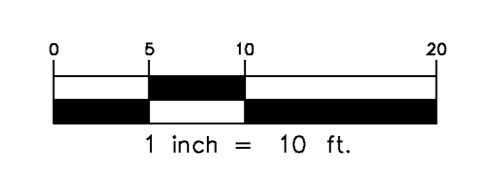
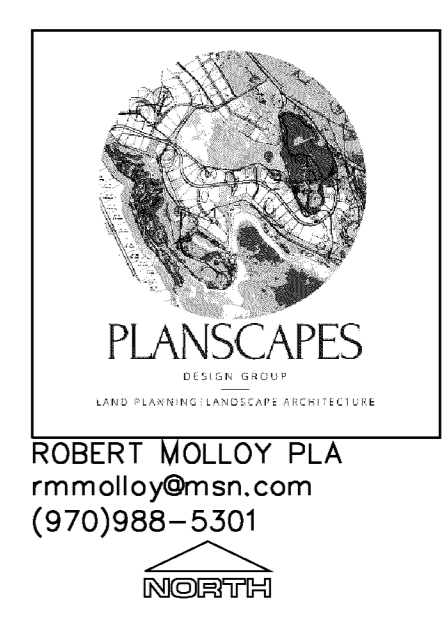
PREPARED FOR  
**PROPERTY CAPITAL PROPERTIES BAYSIDE**



### SITE DEVELOPMENT PLAN PLANT SCHEDULE

PLANT CATEGORY	HYDROZONE	LOW	QUANTITY
DECIDUOUS SHADE TREES	Low		3
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 2" INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GROUND			
DECIDUOUS SHADE TREES	Low		7
ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" INCHES IN CALIPER, MEASURED SIX (6) INCHES ABOVE GROUND			
EVERGREEN TREES (existing)	Low		1
EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, MEASURED TO THE MID-POINT OF THE MOST RECENT YEAR'S GROWTH			
DECIDUOUS SHRUBS	Low		8
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE			
EVERGREEN SHRUBS	Low		22
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE			
ORNAMENTAL GRASSES	Low		27
ORNAMENTAL GRASSES SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE			
PERENNIAL PLANTING BEDS	Low	AREA	29
PERENNIALS, GROUND COVERS, AND VINES SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER IN SIZE			
ANNUAL PLANTING BEDS	N/A	AREA	0
ANNUALS SHALL BE SIZED SHALL BE APPROPRIATE TO APPLICATION, WHETHER PLANTS, FOUR (4) INCH POTS OR LARGER AND SPACED TO PROVIDE SEVENTY-FIVE (75) PERCENT GROUND COVER			
NATIVE SEED	N/A	AREA	0
GRASS SEED PLANTING QUALITY AND QUANTITY IN IRRIGATED AREAS SHALL BE IN COMPLIANCE WITH NURSERY STANDARDS AND SHALL PROVIDE A MINIMUM GROUND COVER OF EIGHTY (80) PERCENT WITHIN THE FIRST GROWING SEASON			
APPROVED NATIVE GRASS SEED MIXES: [Low Grow Mix/Foothills Mix/Colorado Native Mix]			

\*Choose one symbol for each tree category.  
 \*\*Choose one pattern for each category of ground cover, shrubs, and grasses.



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
 LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: ###  
 CHECKED BY: MRB  
 PROJECT NO.: 23-222-002

REVISIONS

NO.	DATE	DESCRIPTION
SDP 2ND SUBMITTAL	10.18.23	

DATE  
**08/31/2023**

SHEET TITLE  
**LANDSCAPE PLAN**

SHEET INFORMATION  
**LS1**

6 Of 12

# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

### DOWNTOWN LANDSCAPE TABLES

The required number of trees is based off the total linear feet of property fronting along a public roadway.  
 Large canopy trees receive a credit of 22 linear feet and small canopy trees receive a credit of 15 linear feet.  
 The total linear feet credit must equal or exceed total linear feet of public roadway frontage

Street Name	Linear Feet (LF)
Wilcox Street	76
Fourth Street	140
<b>Total</b>	<b>216</b>

Tree Type	Number of Trees	Linear Credit per Tree	Linear Credit
Small Canopy Trees	11	15	165
Large Canopy Trees	4	22	88
<b>Total</b>			<b>253</b>

AT

Plantings	Number of Plantings	Tree Credit
Shrubs	25	5
Perennials	56	8
Trees above minimum requirements	2	0
<b>Total</b>		<b>13</b>

The Required Number of Plantings is based off the number of trees  
 Five Shrubs per required tree  
 Seven Perennial plants per required tree  
 One Tree per required tree

### SITE UTILIZATION TABLE

	SF	AC	%
BUILDING FOOTPRINT	3,290	0.07	31%
OPEN SPACE	3,153	0.07	30%
PARKING, DRIVES & SIDEWALKS	4,102	0.09	39%
<b>TOTAL</b>	<b>10,545</b>	<b>0.24</b>	<b>100%</b>

### COMPOSITE LANDSCAPE WATER USE RATING CHART

LANDSCAPE ZONE	LWU RATING RANGE
Very low	0.0 to 1.5
Low Water Use	+1.5 to 3.0
Moderate Water Use	+3.0 to 4.5
High Water Use	+4.5

### CLWUR CHART (LWUR X IA) /TA

IRRIGATION ZONE	PLANT NAME	APP RATE (INCHES/MONTH)	ZONE (VL, L M, H)	% OF TOTAL AREA	IA (Irrigated area in SF for each zone)	LWUR (Landscape Water Use Rating)	TA (Total area of all irrigated landscape zones)	CLWUR (LWUR X IA/TA)
Drip	Deciduous Shrub and Perennial beds	2	Low	100%	1,010 SF	2	1,010 SF	2
<b>TOTALS</b>					<b>1,010 SF</b>			<b>2</b>

## LANDSCAPE NOTES

- Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this drawing and shall conform to subsequent submittal requirements.
- Location of plant materials are approximated and may change slightly due to unforeseen field constraints.
- All plants are to be properly hydrozoned per Town of Castle Rock Plant list.
- Distance of trees to wet utility lines should be a minimum of 10 feet.
- Permanent irrigation is required for all landscaped areas greater than 500 square feet, per Section 4.2.3 of the Landscape and Irrigation Manual.
- Design must accommodate the watering restrictions as outlined in the Town of Castle Rock Water Use Management Plan (WUMP).
- Irrigation systems are to be designed to operate within the Town of Castle Rock Water Use Management Plan.
- Irrigation systems are to be designed per the Town of Castle Rock Landscape and Irrigation regulations Section 4.2.3 and to correlate with the use type on the property.
- If any transformers, ground-mounted HVAC units, utility pedestals, or similar features existing on site, but not shown on the Site Development Plan, additional landscaping and screening may be required based upon field conditions determined during the site inspection. Installation will be required prior to the final inspection and the issuance of the certificate of occupancy, as applicable.
- No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including, but not limited to building, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms shall be placed in sight distance triangles or easements as shown on the plan.
- No trees, large shrubs, or permanent structures are allowed in wet utility and drainage easements.
- An irrigation plan is required with the first submittal of the Construction Documents. Please see Sections 3.1.2B and 4.2.3 of the Town of Castle Rock Landscape and Irrigation Performance Standards and Criteria Manual for irrigation submittal and design requirements. Changes to the landscape plan may be necessary due to Construction Documents Irrigation Plan review comments.
- Landscape and irrigation shall be installed by a Town of Castle Rock registered landscape contract professional.
- Dead plant materials shall be removed and replaced with healthy planting materials of comparable size and species that meet the original intent of the approved landscape design within forty-five(45) days or sooner in the event of a contagious disease or invasive insect species. Town of Castle Rock is not responsible for plant replacements.
- Slopes steeper than 3:1 are not permitted on landscape plans in the Town of Castle Rock.



SEAL

PROJECT TITLE  
**LITTLE SCHOOL ON PERRY ST**

203 PERRY ST.  
 CASTLE ROCK, CO 80104

PREPARED FOR  
**MISSION CAPITAL PROPERTIES BAYSIDE**

SUBMITTAL  
**SITE DEVELOPMENT PLAN**

DRAWN BY: ###  
 CHECKED BY: MRB  
 PROJECT NO.: 23-222-002

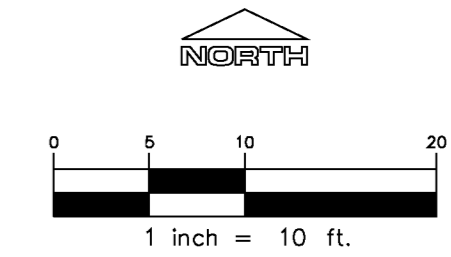
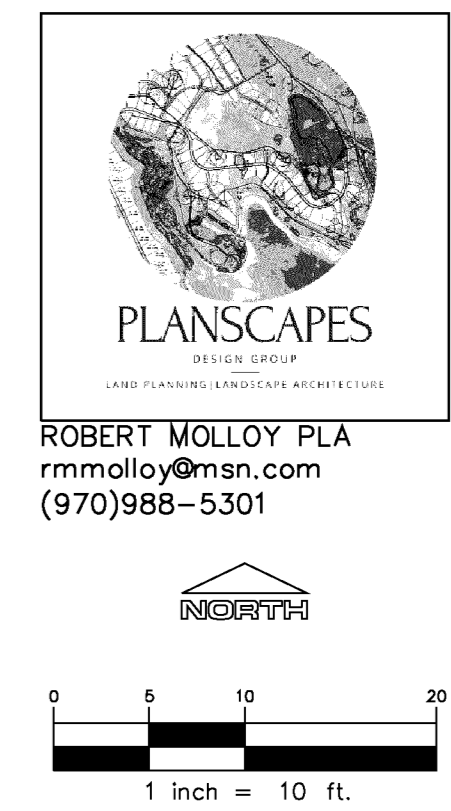
REVISIONS	DATE
SDP 2ND SUBMITTAL	10.18.23

DATE  
**08/31/2023**

SHEET TITLE  
**LANDSCAPE NOTES**

SHEET INFORMATION  
**LS2**

7 Of 12



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION

SITE DEVELOPMENT PLAN  
 LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 TOWN OF CASTLE ROCK PROJECT NO.: SDP23-0032

# SITE DEVELOPMENT PLAN

## LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK

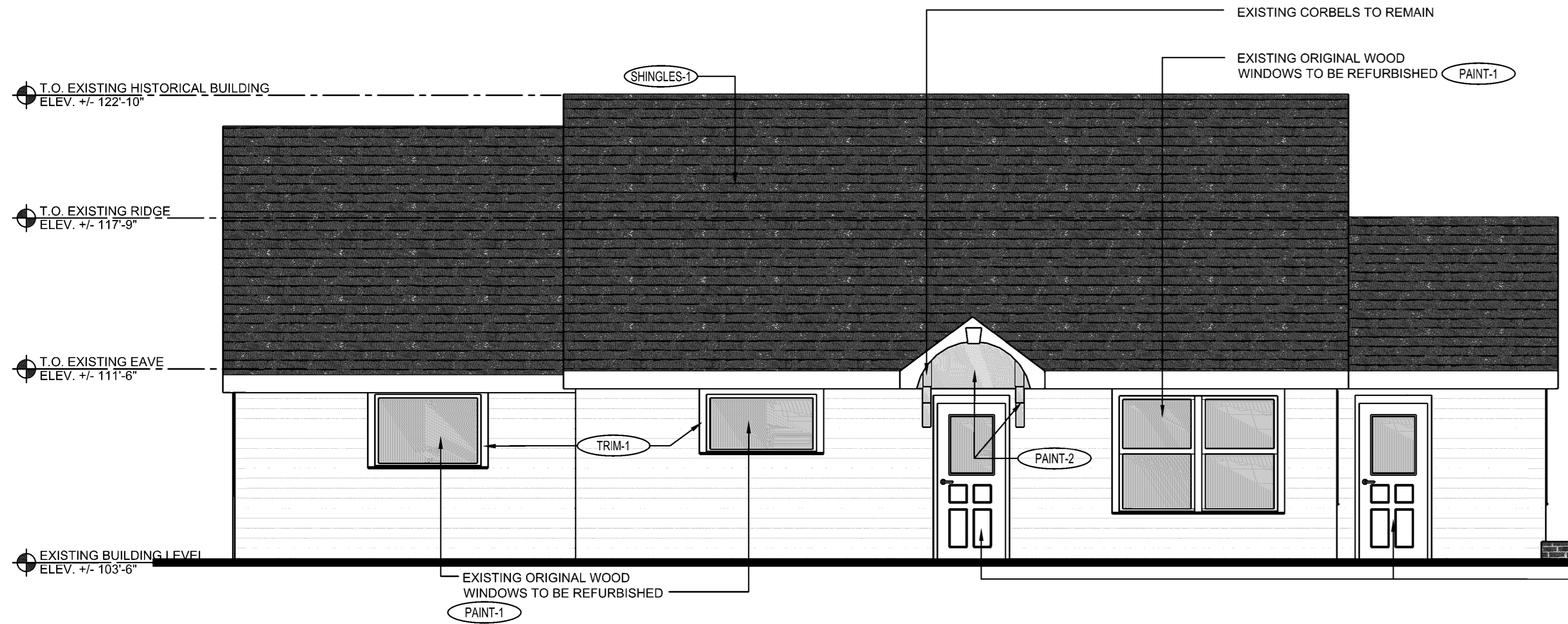
### LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.

#### TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

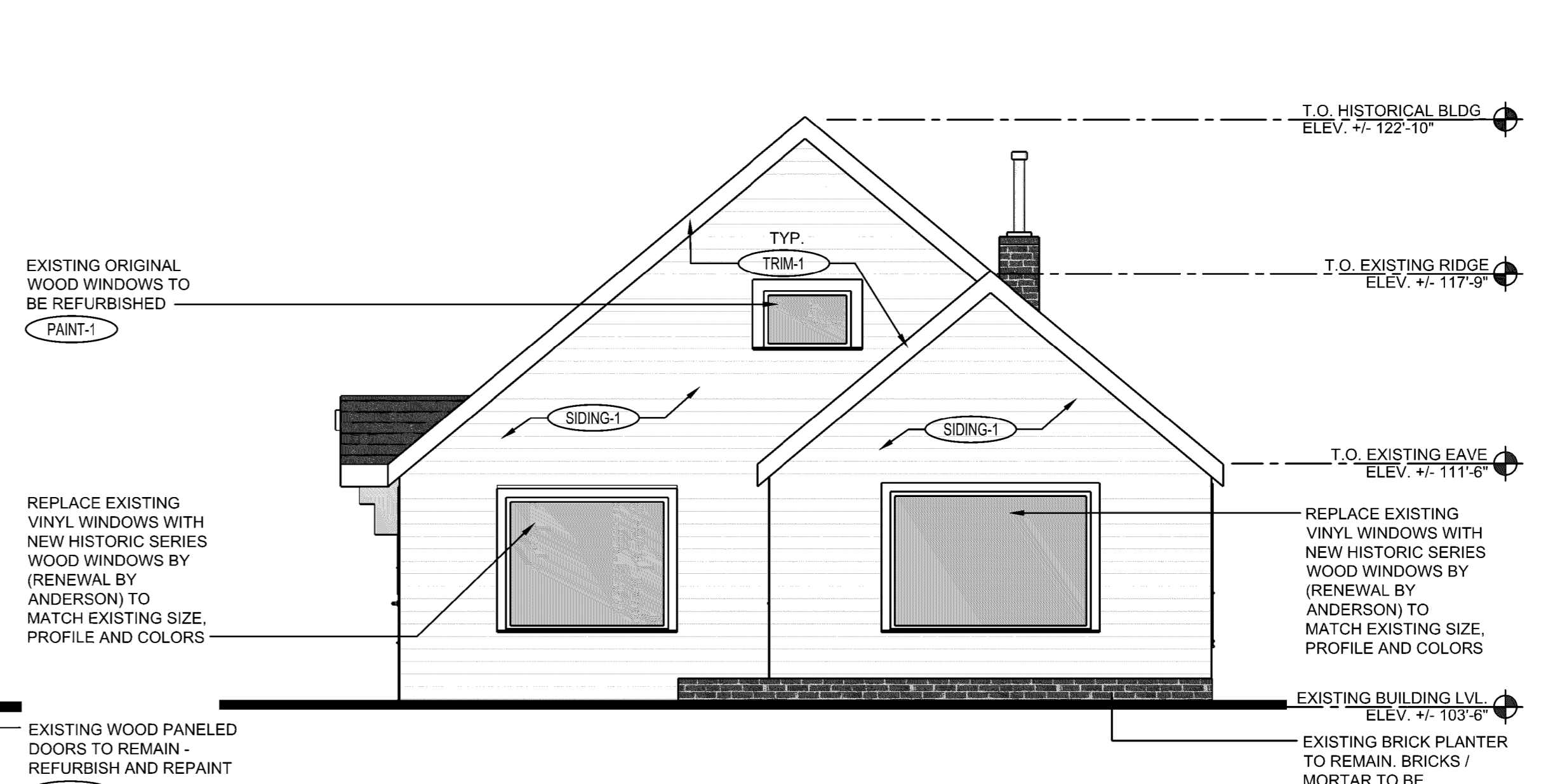
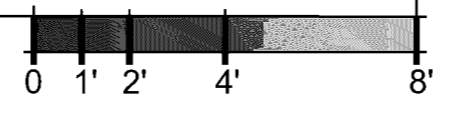
**BDS**  
BODUCH DESIGN GROUP  
A VISION ENLIGHTENED

**LOGO**  
**RIDGE TOP**  
ENGINEERING & SURVEYING  
541 E. Garden Drive, Unit N Windsor, CO 80550  
T (970) 663-4592 W ridgepeng.com

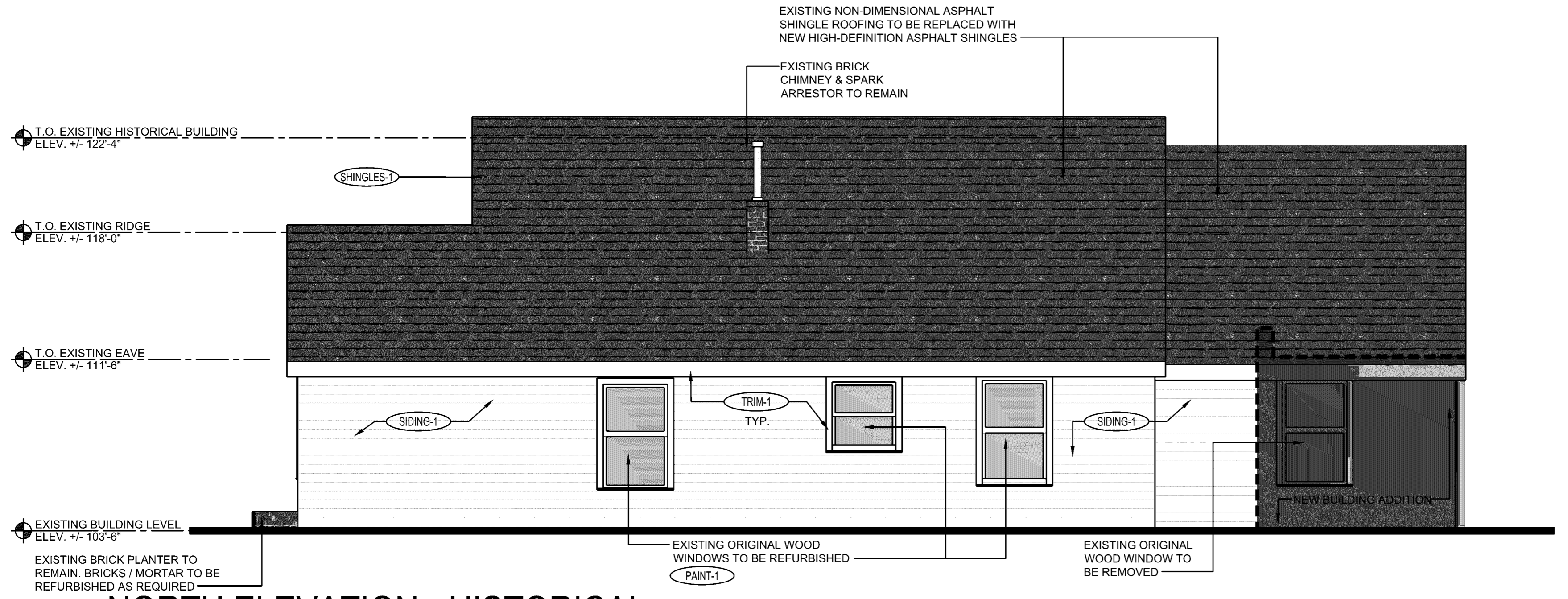
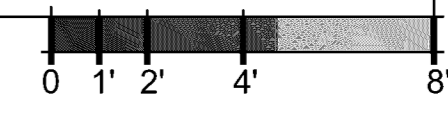
SEAL



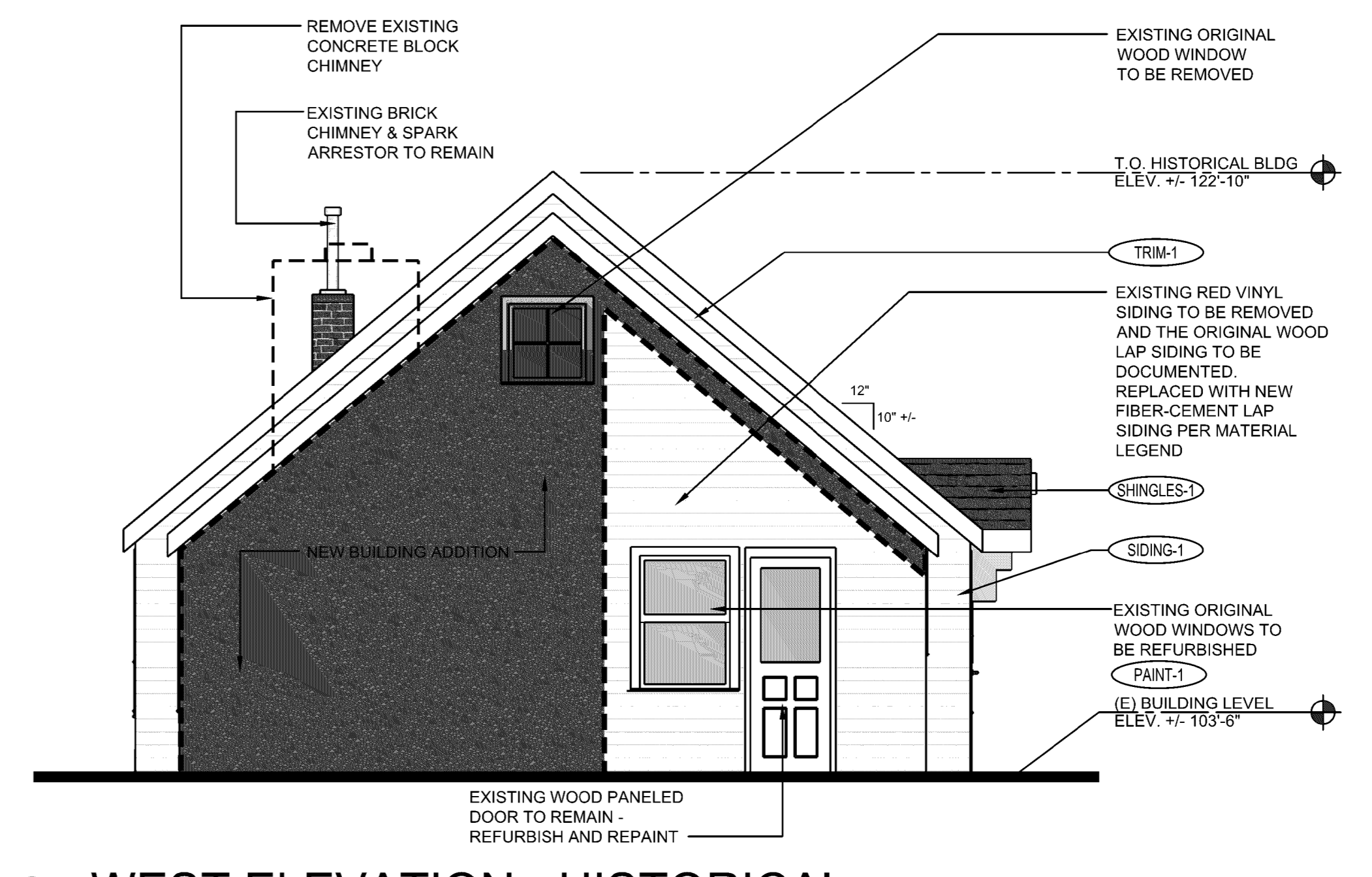
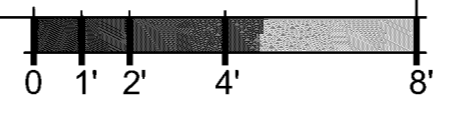
**1 SOUTH ELEVATION - HISTORICAL**  
A3.0 SCALE: 1/4" = 1'-0"



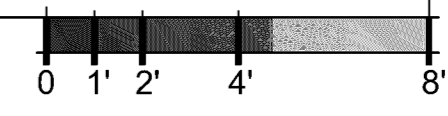
**2 EAST ELEVATION - HISTORICAL**  
A3.0 SCALE: 1/4" = 1'-0"



**3 NORTH ELEVATION - HISTORICAL**  
A3.0 SCALE: 1/4" = 1'-0"



**4 WEST ELEVATION - HISTORICAL**  
A3.0 SCALE: 1/4" = 1'-0"



**MATERIAL LEGEND**

<b>SIDING-1</b>	SIDING -1: 5" HIGH LAP FIBER-CEMENT SMOOTH SIDING TO MATCH ORIGINAL WOOD CLAP BOARD SIDING COLOR: PAINTED SW #0053 - PORCELAIN (SHERWIN WILLIAMS HISTORIC SERIES) MFR: JAMES HARDIE SIDING	<b>SHINGLES-1</b>	SHINGLES -1: COLOR: HERITAGE - WEATHERED WOOD MFR: TAMKO ROOF SHINGLES
<b>SIDING-2</b>	SIDING -2: 10" HIGH LAP FIBER-CEMENT SMOOTH SIDING TO MATCH ORIGINAL WOOD CLAP BOARD SIDING COLOR: PAINTED SW #0037 - MORRIS ROOM GRAY (SHERWIN WILLIAMS HISTORIC SERIES) MFR: JAMES HARDIE SIDING	<b>PAINT-1</b>	PAINT -1: COLOR: PAINTED FINISH SW #7005 - PURE WHITE - PORCELAIN (SHERWIN WILLIAMS HISTORIC SERIES)
<b>SIDING-3</b>	SIDING -3: FIBER-CEMENT CEDARMILL STAGGERED SHAKE SIDING COLOR: AGED PEWTER (STANDARD JAMES HARDIE COLOR) MFR: JAMES HARDIE SIDING	<b>PAINT-2</b>	PAINT -2: COLOR: PAINTED FINISH SW #0037 - MORRIS ROOM GRAY (SHERWIN WILLIAMS HISTORIC SERIES)
<b>TRIM-1</b>	TRIM -1: 5" FIBER-CEMENT SMOOTH TRIM TO MATCH ORIGINAL WOOD COLOR: SW #7005 - PURE WHITE (SHERWIN WILLIAMS HISTORIC SERIES) MFR: JAMES HARDIE TRIM		

PROJECT TITLE  
**LITTLE SCHOOL ON PERRY STREET**

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR  
**MISSION CAPITAL PROPERTIES BAYSIDE**

4969 S. AKIRE ST.  
MORRISON, CO 80465

SUBMITTAL  
**SITE DEV. PLAN**

DRAWN BY:  
CHECKED BY:  
PROJECT NO.:

REVISIONS	
SDP 2ND SUBMITTAL	10.18.23
FINAL MYLARS	01.29.24

DATE  
**08/31/2023**

SHEET TITLE  
**HISTORIC LANDMARK ELEVATIONS**

SHEET INFORMATION  
**A3.0**



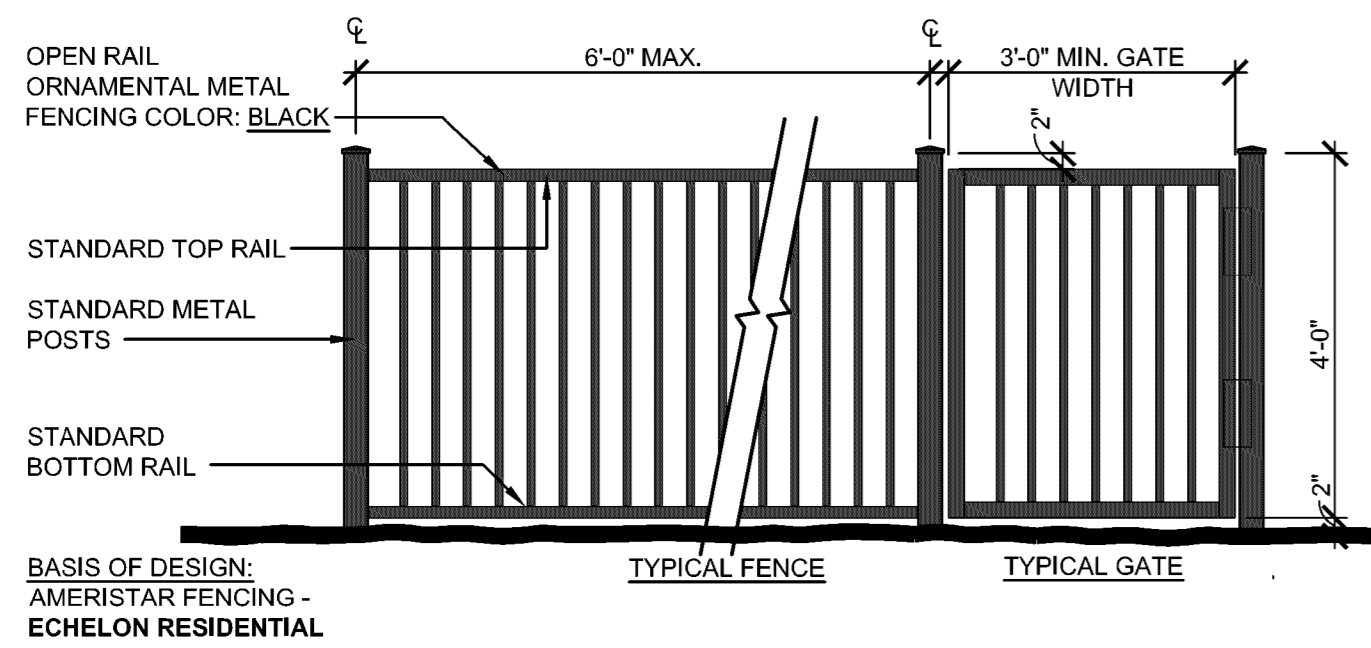
NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION.

SITE DEVELOPMENT PLAN  
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

File: 23.024 - A3.0 - Historic Exterior Elevations.dwg Path: D:\BDS Projects\23.024 - Little School on Perry - Castle Rock, CO\CAD\Site Submittal\ Plotted by: ScottBoduch Date: 18-Oct-23 4:53:23pm

# SITE DEVELOPMENT PLAN

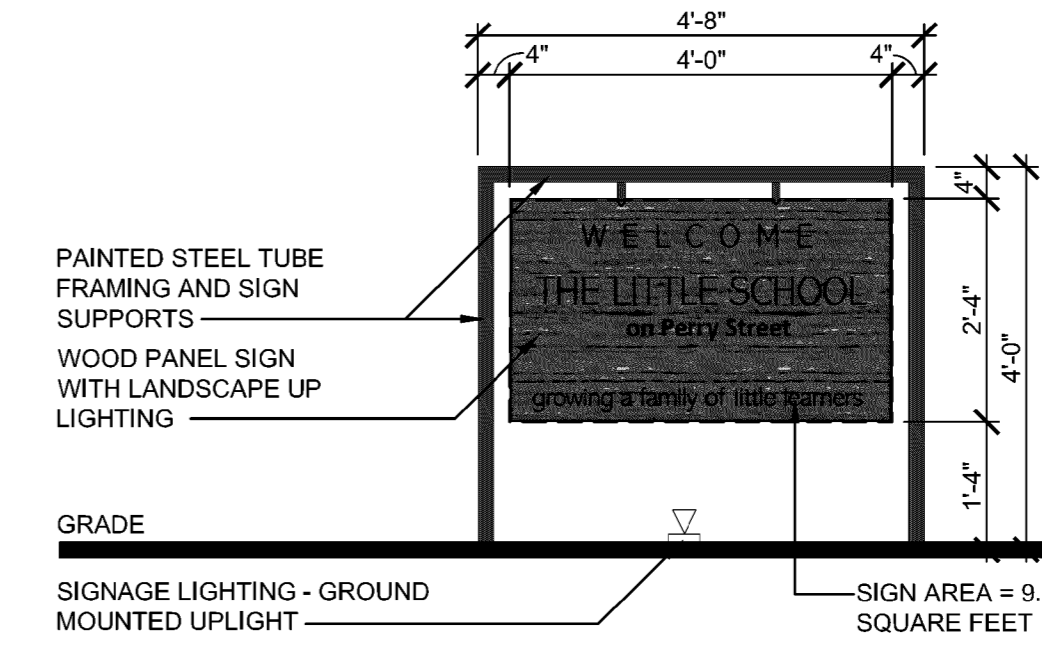
LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



**3**  
 A3.1  
**TYPICAL FENCE DETAIL**  
 SCALE: 1/2" = 1'-0"

	NUMBER OF SIGNS		SIGN AREA	
	ALLOWED	PROPOSED	ALLOWED	PROPOSED
FREESTANDING SIGNS	2	1	50 SQ. FT.	9.3 SQ. FT.

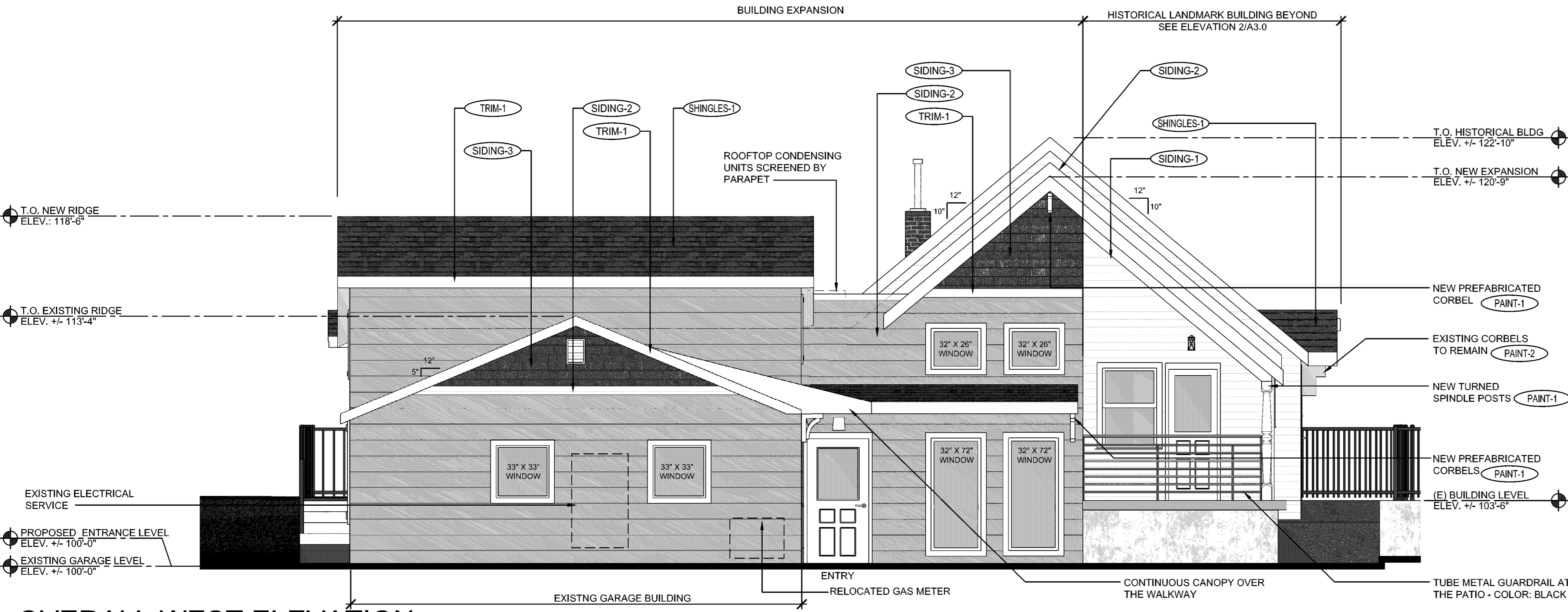
\* - ALLOWED BUILDING SIGNAGE BASED ON 50'-8" BUILDING FRONTAGE



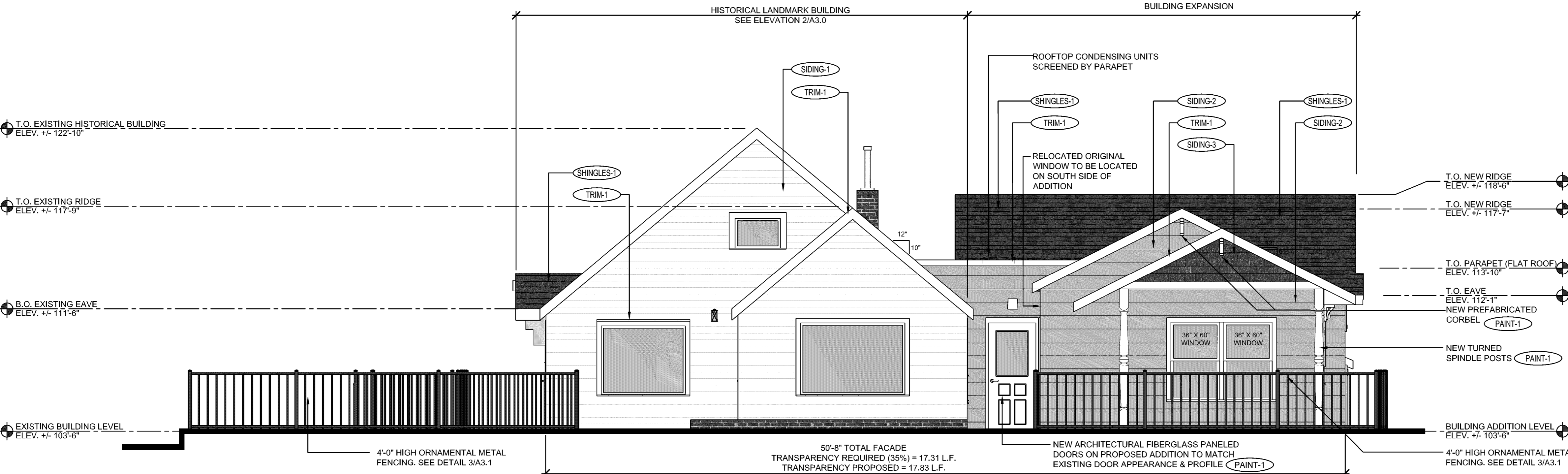
**4**  
 A3.1  
**PROPOSED MONUMENT SIGN**  
 SCALE: 1/2" = 1'-0"

**MATERIAL LEGEND**

- SIDING-1**: SIDING -1: 5" HIGH LAP FIBER-CEMENT SMOOTH SIDING TO MATCH ORIGINAL WOOD CLAP BOARD SIDING  
 COLOR: PAINTED SW #0053 - PORCELAIN (SHERWIN WILLIAMS HISTORIC SERIES)  
 MFR: JAMES HARDIE SIDING
- SIDING-2**: SIDING -2: 10" HIGH LAP FIBER-CEMENT SMOOTH SIDING TO MATCH ORIGINAL WOOD CLAP BOARD SIDING  
 COLOR: PAINTED SW #0037 - MORRIS ROOM GRAY (SHERWIN WILLIAMS HISTORIC SERIES)  
 MFR: JAMES HARDIE SIDING
- SIDING-3**: SIDING -3: FIBER-CEMENT CEDARMILL STAGGERED SHAKE SIDING  
 COLOR: AGED PEWTER (STANDARD JAMES HARDIE COLOR)  
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- TRIM-1**: TRIM -1: 5" FIBER-CEMENT SMOOTH TRIM TO MATCH ORIGINAL WOOD  
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 MFR: JAMES HARDIE TRIM
- SHINGLES-1**: SHINGLES -1: HERITAGE - WEATHERED WOOD  
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- PAINT-1**: PAINT -1: PAINTED FINISH  
 COLOR: SW #7005 - PURE WHITE - PORCELAIN (SHERWIN WILLIAMS HISTORIC SERIES)
- PAINT-2**: PAINT -2: PAINTED FINISH  
 COLOR: SW #0037 - MORRIS ROOM GRAY (SHERWIN WILLIAMS HISTORIC SERIES)



**1**  
 A3.1  
**OVERALL WEST ELEVATION**  
 SCALE: 1/4" = 1'-0"



**2**  
 A3.1  
**OVERALL EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"



Know what's below.  
 Call before you dig.

NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION.

SITE DEVELOPMENT PLAN  
 LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
 TOWN OF CASTLE ROCK PROJECT NO: SDP23-0032

LOGO  
**RIDGE TOP**  
 ENGINEERING & SURVEYING  
 541 E. Garden Drive, Unit N Windsor, CO 80550  
 T (970) 663-4552 W ridgetopeng.com

PROJECT TITLE  
**LITTLE SCHOOL ON PERRY STREET**

203 PERRY ST.  
 CASTLE ROCK, CO 80104

PREPARED FOR  
**PROPERTY CAPITAL PROPERTIES BAYSIDE**

4969 S. AKIRE ST.  
 MORRISON, CO 80465

SUBMITTAL  
**SITE DEV. PLAN**

DRAWN BY:  
 CHECKED BY:  
 PROJECT NO.:

REVISIONS	
SDP 2ND SUBMITTAL	10.18.23
FINAL MYLARS	01.29.24

DATE  
**08/31/2023**

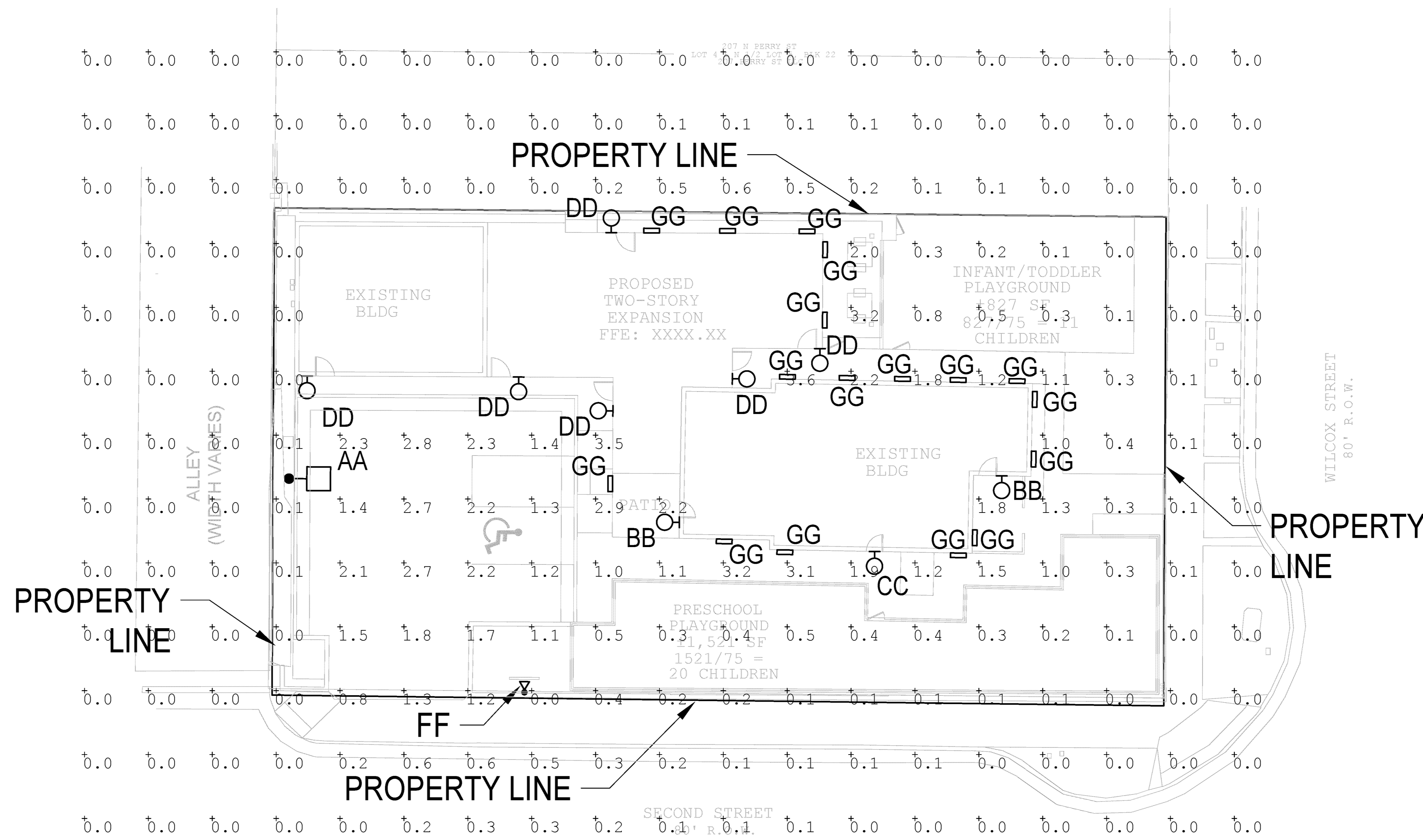
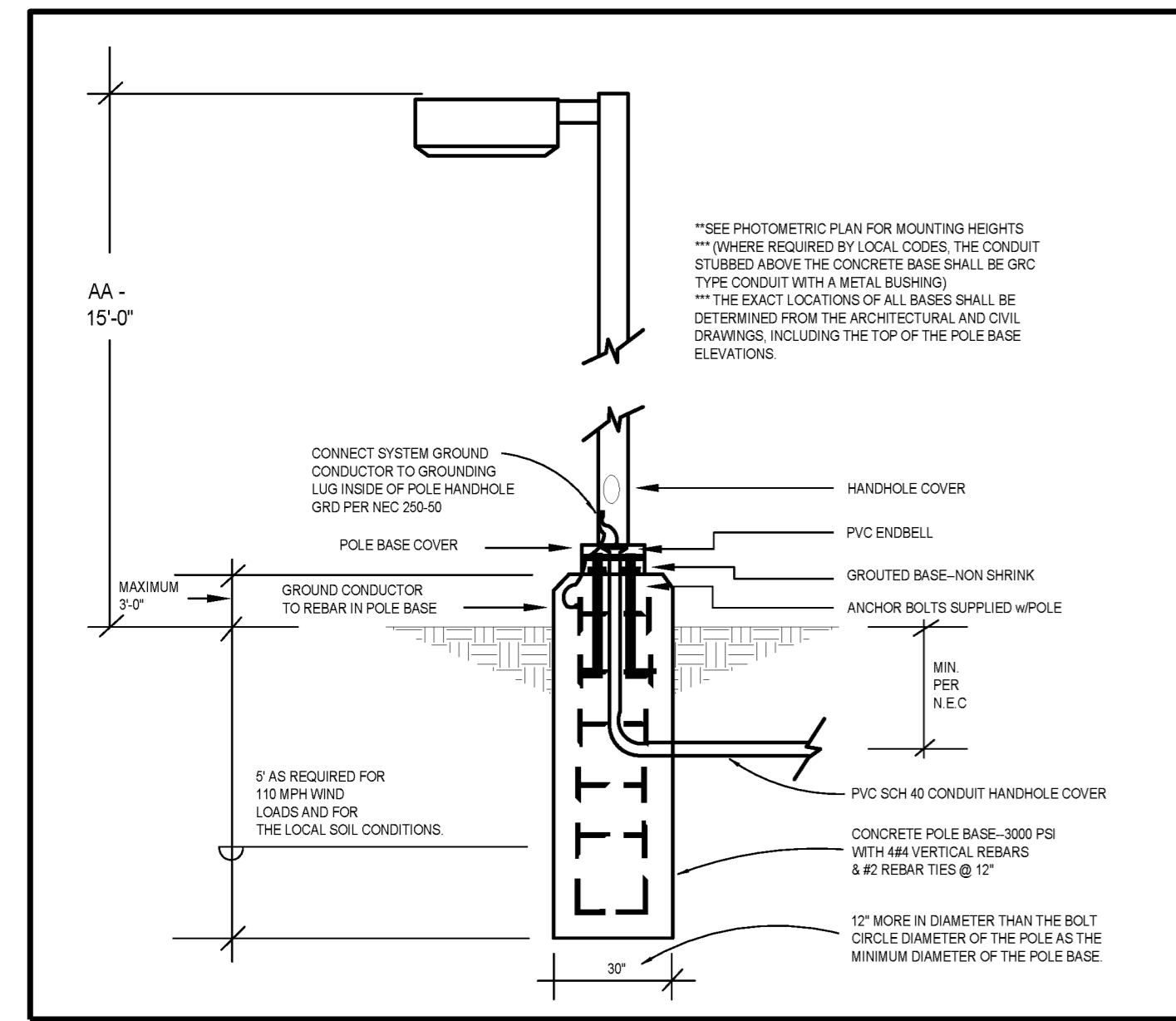
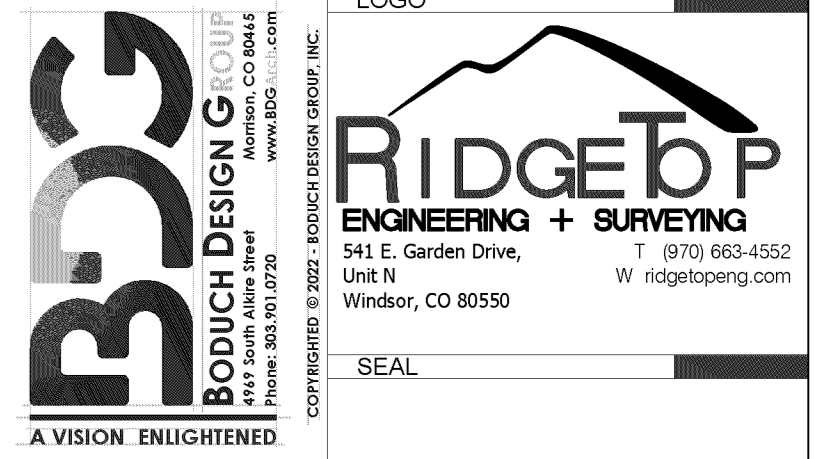
SHEET TITLE  
**PROPOSED OVERALL ELEVATIONS**

SHEET INFORMATION  
**A3.1**



# SITE DEVELOPMENT PLAN

LOT 6 & S 1/2 OF LOT 5, BLOCK 22, TOWN OF CASTLE ROCK  
LOCATED IN THE NORTHWEST QUARTER OF SECTION 11, TOWNSHIP 8, RANGE 67 WEST OF THE 6TH P.M.  
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE	Illuminance	Fc	0.43	3.6	0.0	N.A.	N.A.
PARKING	Illuminance	Fc	1.97	2.8	1.2	1.64	2.33

FIXT. TYPE	MANUFACTURER		FINISH	LAMP DATA / INITIAL LUMEN RATING	LAMP WATTS	LIGHT LOSS FACTOR (LLF)	MOUNTING METHOD	QUANTITY	MTG HEIGHT	DESCRIPTION WITH DISTRIBUTION TYPE	VOLTS	CUTOFF
	NAME	CATALOG NUMBER										
AA	LSI INDUSTRIES	MRS-LED-9L-SIL-3-UNV-30-70CRI-BLK-IL	BLACK	LED / 6016	63	1.0	POLE	1	15'-0"	SITE LIGHTING SINGLE HEAD TYPE III WITH HOUSE SIDE SHIELD, 3000K 70CRI	UNV	FULL CUTOFF
BB	TRANSGLLOBE	40455-BK	BLACK	LED / 906	9	1.0	SURFACE	2	6'-0"	8" WALL LANTERN, 1 E26 60W LED EQUIVALENT BULB, 3000K, VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION	120	NON-FULL CUTOFF
CC	TRANSGLLOBE	51390-BK	BLACK	LED / 806	9	1.0	SURFACE	1	-	1LT WALL LANTERN, 1 E26 60W LED EQUIVALENT BULB, 3000K, VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION	120	NON-FULL CUTOFF
DD	WAC LIGHTING	DS-WS0517-N-30-S-BK	BLACK	LED / 2300	17	1.0	SURFACE	6	8'-0"	LED DOWNLIGHT, 3000K, VERIFY MOUNTING HEIGHT PRIOR TO INSTALLATION	120	FULL CUTOFF
FF	KIM	EL218-F-3-8L-3K-UV-BK, LED LAMP	BLACK	LED / 889	16	1.0	GROUND	1	-	WATERPROOF SPOT LIGHTIN FOR MONUMENT SIGN, PROVIDE WITH LOUVERS (NARROW FLOOD), 3000K	UNV	NON-FULL CUTOFF
GG	REBELLE	1645-15L-30-120-LV-EM-BT	BLACK	LED / 1580	11.2	1.0	SURFACE	17	3'-0"	WALKWAY AREA LIGHT WITH INTEGRATED BATTERY BACKUP AND INTEGRATED LOUVER, 3000K	120	FULL CUTOFF

GENERAL LIGHTING PLAN STANDARD NOTES:  
1. ALL BUILDING MOUNTED FIXTURES FOR SAFETY AND EGRESS. ALL POLE MOUNTED FIXTURES ARE FOR PARKING AREA AND DRIVING ACCESS PATHWAY.  
2. ALL FIXTURES TO BE CONTROLLED VIA TIMECLOCK. TIMER TO BE SET TO GO OFF AFTER 30MIN CLOSE OF BUSINESS. FIXTURES TO TURN ON 30MIN PRIOR TO OPENING OF BUSINESS. BUILDING HOURS OF OPERATION TO BE FROM 6:30AM-7:00PM.  
3. PROVIDE HOUSE SIDE SHIELD TO POLE MOUNTED FIXTURES ALONG ADJACENT PROPERTIES.  
4. THE FOLLOWING LIGHT TYPES ARE PROHIBITED: FORWARD THROW (TYPE IV) DISTRIBUTION, POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS.



PROJECT TITLE  
**LITTLE SCHOOL ON PERRY STREET**

203 PERRY ST.  
CASTLE ROCK, CO 80104

PREPARED FOR  
**MISSION CAPITAL PROPERTIES BAYSIDE**

4969 S. AKIRE ST.  
MORRISON, CO 80465

SUBMITTAL	
SITE DEV. PLAN	

DRAWN BY: ATE	
CHECKED BY: ATE	
PROJECT NO.: 23.024	

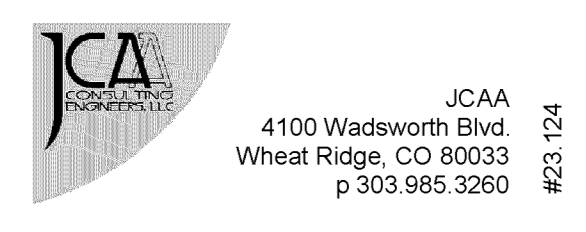
  

REVISIONS	
SDP 2ND SUBMITTAL	10.18.23
FINAL MYLARS	01.29.24

DATE
08/31/2023

SHEET INFORMATION  
**EP-100**  
PHOTOMETRIC PLAN



NOTE: CURRENT PLAN SET IS NOT FOR CONSTRUCTION.

File: 23124\_EP101.dwg Path: \\jpc02\shared\folders\Projects\JCAA\_2023\23124 - Perry, Street School - Castle Rock - Family.ms Amsys\DRAWINGS\JCAA\ELECTRICAL\PTP\2023-10-17\_NER\_2\ Plotted by: CYork Date: 18-Oct-23 3:17:15pm

### Mirada Small Area (MRS)

Outdoor LED Area Light



OVERVIEW	
Lumen Package	6,000 - 24,000
Wastage Range	39 - 196
Efficiency Range (LPW)	102 - 158
Weight Range	20 (lb)
Control Options	IM581, ALB, A1.5, 7-Rel, PCl

**FEATURES & SPECIFICATIONS**

**Construction**

- Rugged die-cast aluminum housing contains factory pre-wired driver and optical unit. Cast aluminum wiring access door located underneath.
- Fixtures are finished with LSI's DuraGrip polyester powder coat finishing process. The DuraGrip finish withstands extreme weather changes without cracking or peeling. Other standard LSI finishes available. Consult factory.
- Shipping weight: 27 lbs in carton.

**Optical System**

- State-of-the-art one piece silicone optic sheet delivers industry leading optical control with an integrated gasket to provide IP66 rated seal.
- Proprietary silicone refractor optic provides excellent coverage and uniformity in distribution types 2, 3, 4, 5W, FT, and LC/RC.
- Silicone optical material does not yellow or crack with age and provides a typical light transmission of 93-95%.
- Zero uplight.
- Available in 8000K, 4000K, and 3000K color temperatures per ANSI C78.377
- Minimum CRI of 70
- Integral hanger (H) and integral half hanger (HH) options available for enhanced backlight control.

**Electrical**

- High-performance driver features over-voltage, under-voltage, short-circuit and over temperature protection.
- 0-10V dimming (10% - 100%) standard.
- Standard Universal Voltage (120-277 VAC) Input 50/60 Hz or optional High Voltage (347-480 VAC).
- Total Calculated Life: >60K Hours
- High efficiency >90%
- Operating temperature: -40°C to +50°C (-40°F to +122°F)
- Power factor > 90
- Input power stays constant over life
- Field replaceable 10kV surge protection device carries a 5-year limited warranty. Refer to <https://www.lsi.com/resources/technical-support/faq/faq-warranty> for more information.
- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/resources/technical-support/faq/faq-warranty> for more information.

**Installation**

- Designed to mount to square or round holes.
- A single fastener secures the hinged door, underneath the housing and provides quick & easy access to the electrical compartment.
- Included terminal block accepts up to 12 ga wire.
- Utilizes LSI's traditional B5 drill pattern.
- LSI luminaires carry a 5-year limited warranty. Refer to <https://www.lsi.com/resources/technical-support/faq/faq-warranty> for more information.

**Controls**

- Optional integral passive infrared Bluetooth™ motion and photoelectric sensor. Fixtures operate independently and can be commissioned via iOS or Android configuration app.
- LSI's AirLink™ wireless system options reduce energy and maintenance costs while optimizing light quality 24/7

**LSI Industries Inc.** 17000 A Avenue Rd, Knoxville, OH 45242 | 615-372-2200 | [www.lsi.com](http://www.lsi.com)  
 17000 A Avenue Rd, Knoxville, OH 45242 | 615-372-2200 | [www.lsi.com](http://www.lsi.com)  
 POC: 314-8-1122

### Mirada Small Area Light (MRS)

Ordering Guide

Profile	Light Source	Lumen Package	Lens	Distribution	Orientation	Voltage	Driver
MRS - Mirada Small Area Light	LED	6,000lm, 27W 12,000lm, 54W 18,000lm, 81W 24,000lm, 108W 30,000lm, 135W 36,000lm, 162W 42,000lm, 189W 48,000lm, 216W Custom Lumens Packages	ET-30mm ET-30mm ET-30mm ET-30mm ET-30mm ET-30mm ET-30mm ET-30mm ET-30mm Custom Lens Packages	2-Light 4-Light 6-Light 8-Light 10-Light 12-Light 14-Light 16-Light 18-Light 20-Light Custom Lens Packages	Standard Options: 10° Options: 20° Options: 30° Options: 40° Options: 50° Options: 60° Options: 70° Options: 80° Options: 90° Options: 100° Options: 110° Options: 120° Options: 130° Options: 140° Options: 150° Options: 160° Options: 170° Options: 180° Options: 190° Options: 200° Options: 210° Options: 220° Options: 230° Options: 240° Options: 250° Options: 260° Options: 270° Options: 280° Options: 290° Options: 300° Options: 310° Options: 320° Options: 330° Options: 340° Options: 350° Options: 360° Options: 370° Options: 380° Options: 390° Options: 400° Options: 410° Options: 420° Options: 430° Options: 440° Options: 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