

PURPOSE STATEMENT

THE PURPOSE OF THIS SDP AMENDMENT IS TO CREATE TWO TENANT PAD AREAS FOR FUTURE DEVELOPMENT. THIS SDP DOES NOT INCLUDE ANY BUILDINGS.

LEGAL DESCRIPTION

A PORTION OF LOT 1, BLOCK 1, OUTLETS AT CASTLE ROCK FILING NO. 1, ACCORDING TO THE PLAT RECORDED JANUARY 13, 2021, AT RECEPTION NO. 2021004687, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

BENCHMARK

DOUGLAS COUNTY BM 2.020020 - ELEVATION 6252.07 FEET (NAVD 1988 DATUM).

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE EAST LINE OF THE NE 1/4 OF SECTION 27, TOWNSHIP 7 SOUTH, RANGE 67 WEST, OF THE 6TH PRINCIPAL MERIDIAN BEARING S00°03'36"W AS BASED ON COLORADO STATE PLANE CENTRAL ZONE.

SITE ADDRESS

5050 FACTORY SHOPS BLVD. CASTLE ROCK, CO 80108

OWNER

CRAIG REALTY GROUP 4100 MACARTHUR BLVD, SUITE 220 NEWPORT BEACH, CA 92660 (949) 468-6864 CONTACT: PATRICK WENTLAND

CIVIL ENGINEER

STERLING DESIGN ASSOCIATES, LLC 2009 W. LITTLETON BLVD, SUITE 300 LITTLETON, CO 80120 (303) 794-4727 CONTACT: JAY NEWELL, PE

SURVEYOR

ENGINEERING SERVICE COMPANY 14190 EAST EVANS AVENUE AURORA, CO 80014 (303) 337-1380 CONTACT: CHARLES BECKSTROM

LANDSCAPE ARCHITECT

STERLING DESIGN ASSOCIATES, LLC 2009 W. LITTLETON BLVD, SUITE 300 LITTLETON, CO 80120 (303) 794-4727 CONTACT: MIKE HAFF, PLA

TOWN OF CASTLE ROCK GENERAL NOTES

- 1. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER. SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS, THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
2. PURSUANT TO SECTIONS 4.7 AND 9.3.2 OF THE TOWN OF CASTLE ROCK 2021 LANDSCAPE CRITERIA MANUAL, THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN, LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
3. THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
4. THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0167G DATED MARCH 16, 2016.
5. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
6. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
7. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
8. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN THE RIGHT-OF-WAY DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
9. ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
10. THIS SITE IS ZONED "IB" WITHIN THE CASTLE PINES COMMERCIAL PLANNED DEVELOPMENT.
11. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
12. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
13. RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND MUST RECEIVE A BUILDING PERMIT FROM THE TOWN OF CASTLE ROCK.
14. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
15. THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

TOWN OF CASTLE ROCK FIRE NOTES

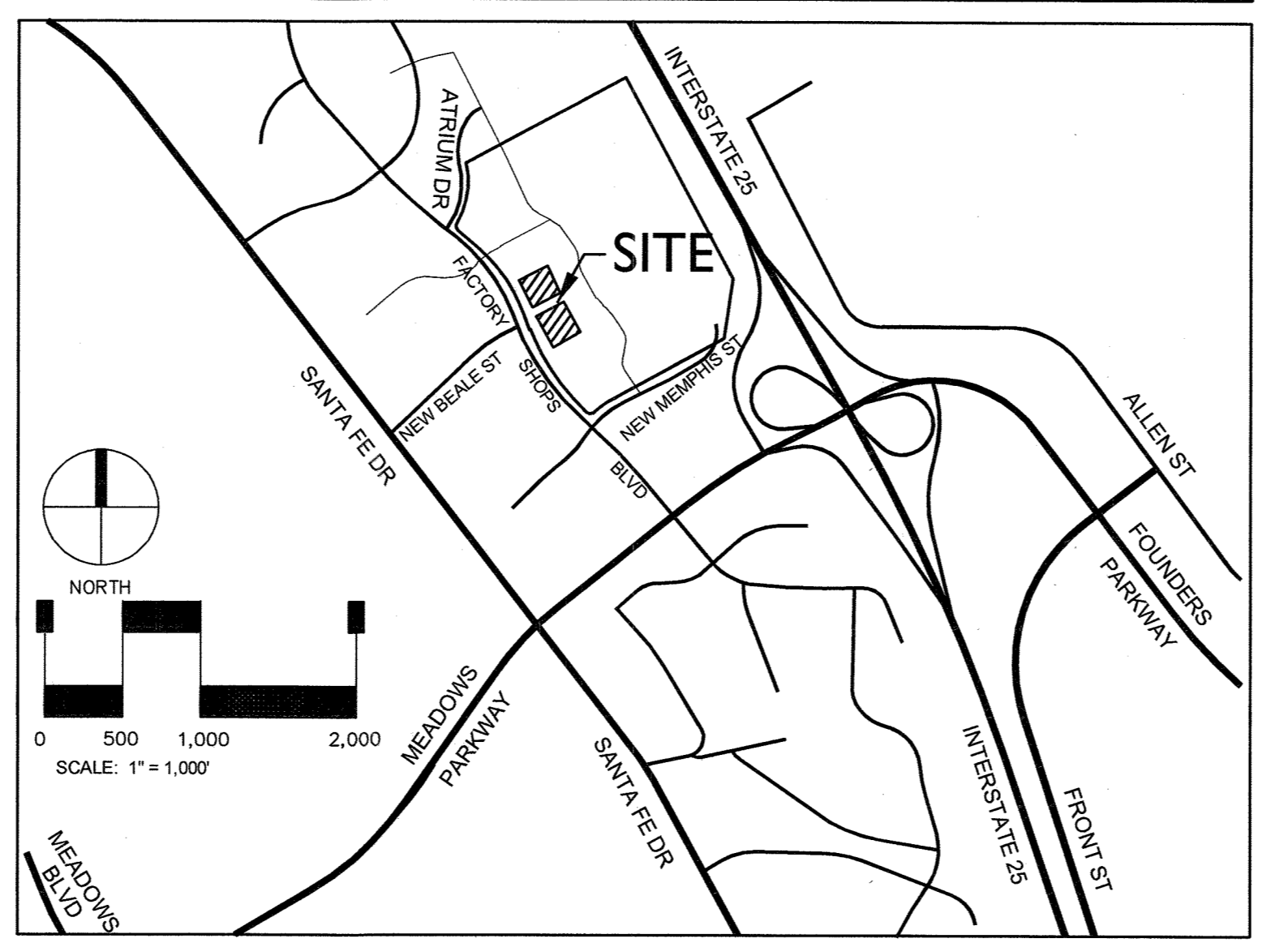
- 1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
4. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
5. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET-6 INCHES.
6. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 75,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
7. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE FIRE PREVENTION BUREAU. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
8. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
9. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

Table with 3 columns: Category, Required, Provided. Title: Parking Requirement for the Outlets at Castle Rock. Rows include Total GLA, GLA per use, Minimum & Maximum Required Parking, and Minimum ADA Parking.

* GLA is actual square footage based on recent survey information and is different than square footage shown on SDP's

SITE DEVELOPMENT PLAN, AMENDMENT NO. 14 FOR A PORTION OF LOT 1, BLOCK 1, OUTLETS AT CASTLE ROCK FILING NO. 1 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO SDP20-0004

VICINITY MAP



Zoning Comparison table comparing Castle Pines Commercial PD and Integrated Business (IB) regulations. Includes Lot 1 details, Permitted Uses, Gross Leasable Area, and Lot 1 Utilization (SDP20-0004) table.

History of Outlets at Castle Rock table with columns: Plan name, Reception #, Application, Project #, and Description. Lists various SDP amendments and their descriptions.

SHEET INDEX

Sheet index table listing sheets 1 through 9 and their corresponding titles: COVER SHEET, OVERALL SITE PLAN, SITE PLAN, GRADING PLAN, UTILITY PLAN, LANDSCAPE PLAN, LANDSCAPE WORKSHEETS, GENERAL LIGHTING PLAN, GENERAL LIGHTING DETAILS.

SURVEYOR'S CERTIFICATE

Charles N. Beckstrom, a REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THAT THE RESULTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

CIVIL ENGINEER'S STATEMENT

JAY M. NEWELL, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 22 DAY OF September, 2023.

TITLE CERTIFICATION

Seth Holley, an AUTHORIZED REPRESENTATIVE OF First American Title Insurance Company, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE AS OF 15th DAY OF June 9, 2023, THAT ALL OWNERS, MORTGAGEES AND RECORDED LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. Signed by Steven L. Craig, Manager of Craig Realty Group - Castle Rock, LLC. Includes a handwritten note: 'ANOTHER PUBLIC OR OTHER OFFICER CONSULTING THIS CERTIFICATE VERIFIED ONLY THE LEGIBILITY OF THE INDIVIDUAL WHO SIGNED THIS DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS OR ACCURACY OR VALIDITY OF THAT DOCUMENT.'

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED JUNE 29, 2022 AT RECEPTION NO. 2022046992 DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

EMPOWER ANNUITY INSURANCE COMPANY OF AMERICA, a Colorado corporation, f/k/a GREAT WEST LIFE & ANNUITY INSURANCE COMPANY, A COLORADO CORPORATION

BY: Janet Puente, Notary Public. My Commission Expires: May 11, 2026. Includes Notary Seal for Janet Puente.

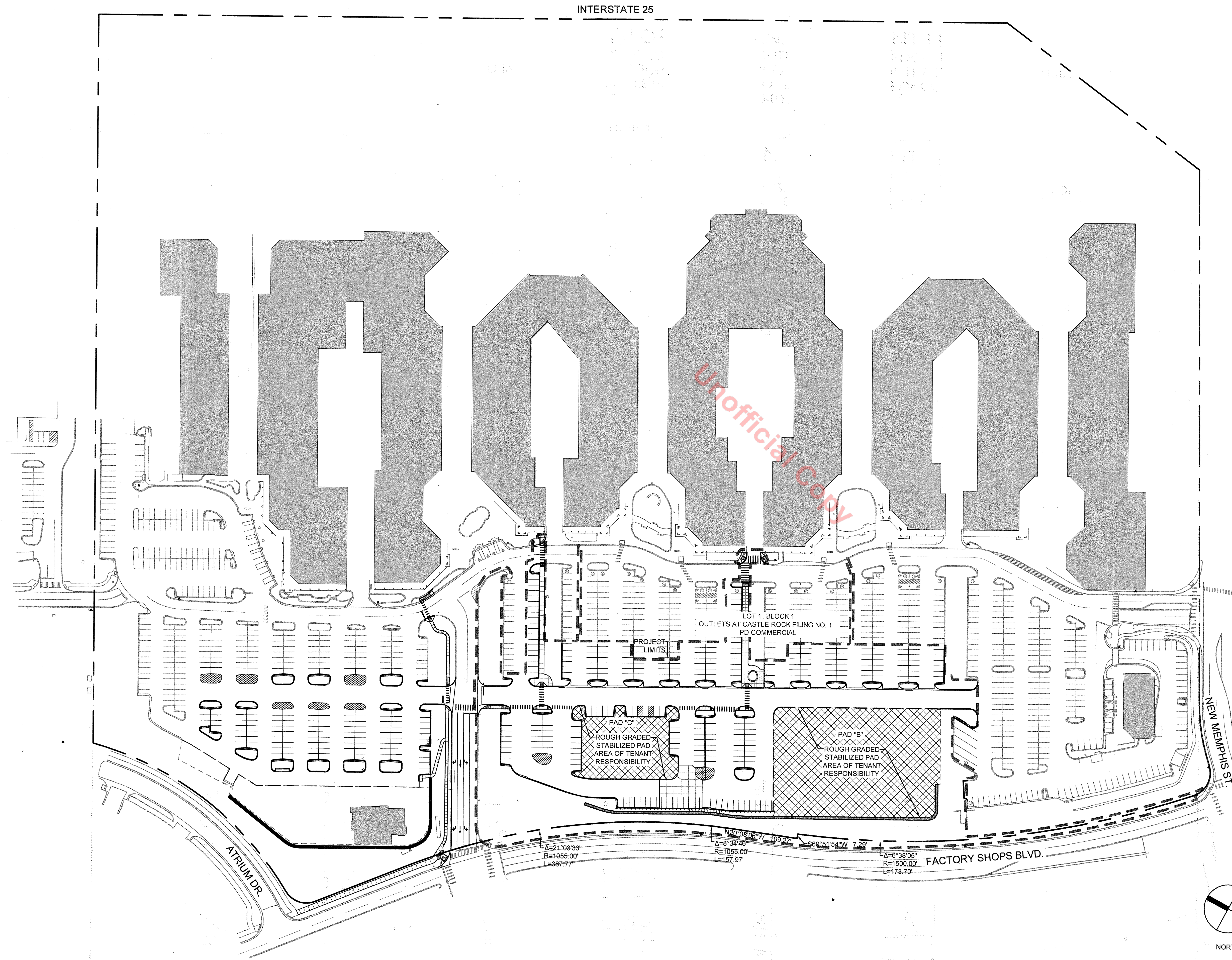
DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT 8:59 AM ON THE 26th DAY OF September, 2023. AT RECEPTION NO. 2023041344. Includes Notary Seal for Douglas County Clerk and Recorder.

STERLING DESIGN ASSOCIATES logo and contact information: 2009 W. Littleton Blvd, #300 Littleton, CO 80120. 303.794.4727 | www.SterlingDesignAssociates.com

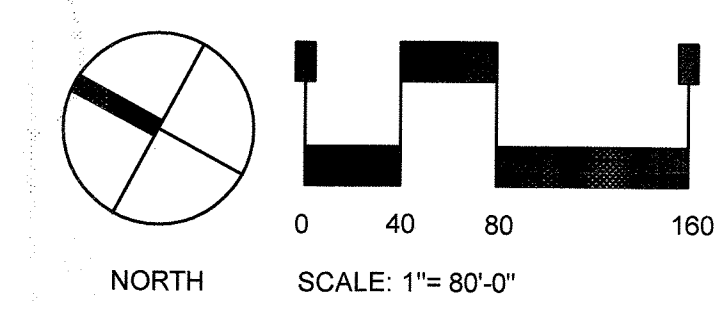
- 2020.01.15 FIRST SDP SUBMITTAL
2021.09.17 SECOND SDP SUBMITTAL
2021.11.17 THIRD SDP SUBMITTAL
2022.05.27 FOURTH SDP SUBMITTAL
2023.01.03 FIFTH SDP SUBMITTAL

SITE DEVELOPMENT PLAN, AMENDMENT NO. 14
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SHEET 2 OF 9
OVERALL SITE PLAN
PROJECT NO. SDP20-0004

SITE DEVELOPMENT PLAN, AMENDMENT NO. 14

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FREEBOARD

ADHERENCE TO THE FREEBOARD REQUIREMENTS DESCRIBED IN SECTION 5.4.6 OF THE TOWN OF CASTLE ROCK'S STORM DRAINAGE DESIGN AND TECHNICAL CRITERIA MANUAL IS NOT APPLICABLE TO THE SUBJECT SITE.

FLOODPLAIN

AS SHOWN ON THE DESIGN TOPOGRAPHIC SURVEY, LOTS 1, 2 AND 3, BLOCK 1 CASTLE PINES COMMERCIAL FILING NO. 5 SITUATED IN THE N 1/2 OF SECTION 27, T. 7S., R. 67W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, CASTLE ROCK OUTLET SHOPS, PREPARED BY ENGINEERING SERVICE COMPANY, DATED REVISED 09/01/2018. "BY GRAPHIC PLOTTING THE SUBJECT PROPERTY IS SITUATED IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 08035C0186G WITH AN EFFECTIVE DATE OF MARCH 16, 2016." PORTIONS OF THE SITE AS SHOWN ON FIRM COMMUNITY PANEL NO. 08035C0167G, EFFECTIVE DATE OF MARCH 16, 2016 ARE ALSO INDICATED TO BE SITUATED IN ZONE "X"

DRAINAGE

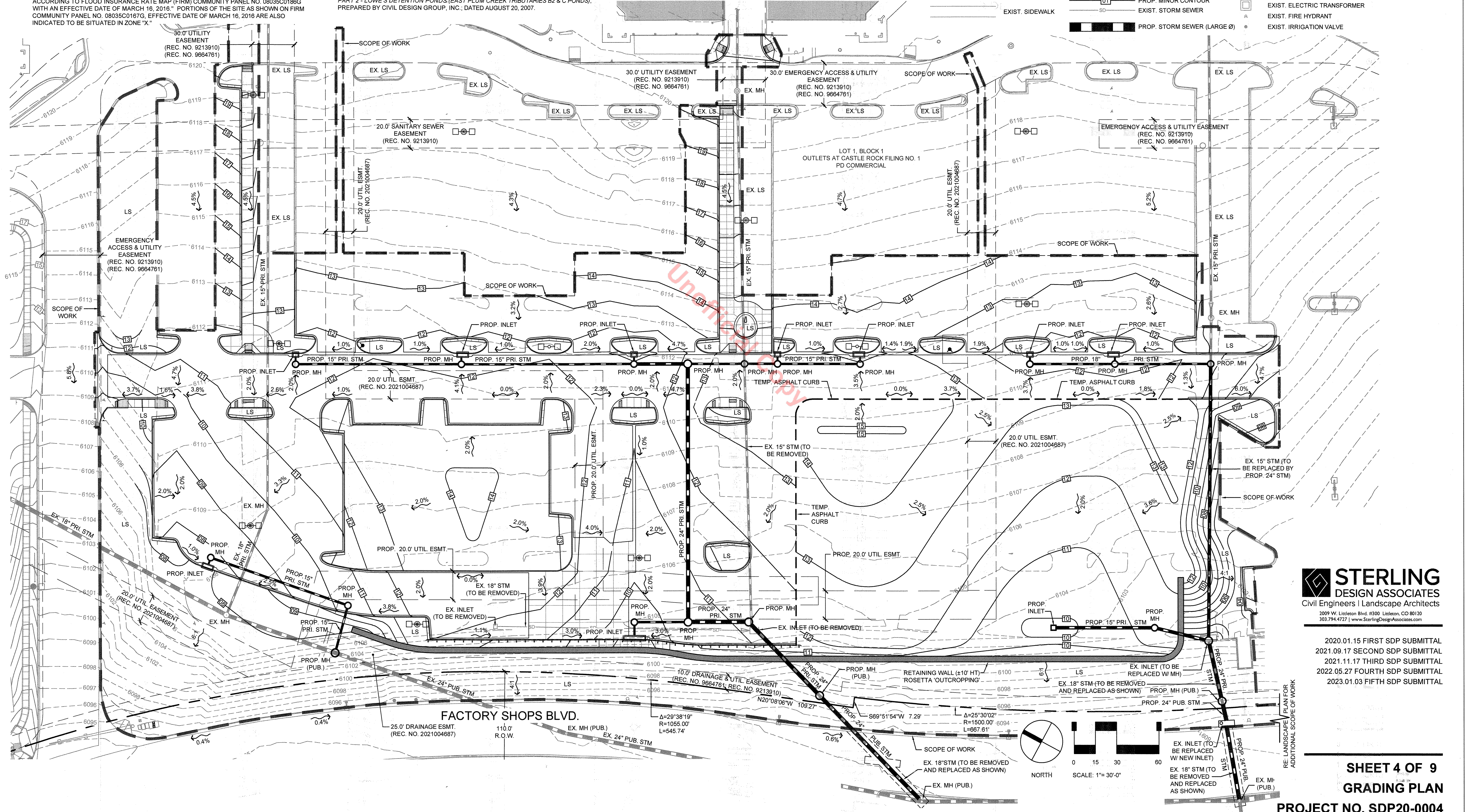
STORMWATER CONVEYANCE THROUGH THE SUBJECT SITE IS INTENDED TO BE ACHIEVED THROUGH USE OF CURB, GUTTER, INLETS, AND A STORM SEWER SYSTEM AS GENERALLY SHOWN ON THIS PLAN. DETENTION AND STORMWATER QUALITY FOR THE SUBJECT SITE IS PROVIDED BY THE EXISTING REGIONAL POND LOCATED SOUTH OF LOWE'S ON THE NORTH CORNER OF THE INTERSECTION OF U.S. HIGHWAY 85 AND MEADOWS PARKWAY AS DESCRIBED IN THE PHASE III DRAINAGE REPORT, CASTLE PINES COMMERCIAL FILING 10A, PART 2 - LOWE'S DETENTION PONDS (EAST PLUM CREEK TRIBUTARIES B2 & C PONDS), PREPARED BY CIVIL DESIGN GROUP, INC.; DATED AUGUST 20, 2007.

NATURAL FEATURES

BASED ON REVIEW OF THE DESIGN TOPOGRAPHIC SURVEY, LOTS 1, 2 AND 3, BLOCK 1 CASTLE PINES COMMERCIAL FILING NO. 5 SITUATED IN THE N 1/2 OF SECTION 27, T. 7S., R. 67W., OF THE 6TH P.M. TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, CASTLE ROCK OUTLET SHOPS, PREPARED BY ENGINEERING SERVICE COMPANY, DATED REVISED 09/01/2018; CONSIDERATION OF SIGNIFICANT NATURAL FEATURES IS NOT APPLICABLE TO THE SUBJECT SITE.

LEGEND

- | | | | | | |
|--|-----------------------------|--|-----------------|--|---------------------|
| | EXIST. CURB & GUTTER | | SCOPE OF WORK | | EXIST. LIGHT POLE |
| | PROP. SIDEWALK | | PROPERTY LINE | | EXIST. MANHOLE |
| | PROP. CURB & GUTTER | | EXIST. EASEMENT | | EXIST. SIGN |
| | EXIST. TRAFFIC LIGHT | | PROP. EASEMENT | | EXIST. STREET LIGHT |
| | SAWCUT LINE | | EXIST. SIDEWALK | | EXIST. TRAFFIC BOX |
| | -5280- | | | | EXIST. WATER VALVE |
| | -5281- | | | | LIGHT POLE |
| | 00 | | | | |
| | 01 | | | | |
| | 80 | | | | |
| | PROP. STORM SEWER (LARGE Ø) | | | | |



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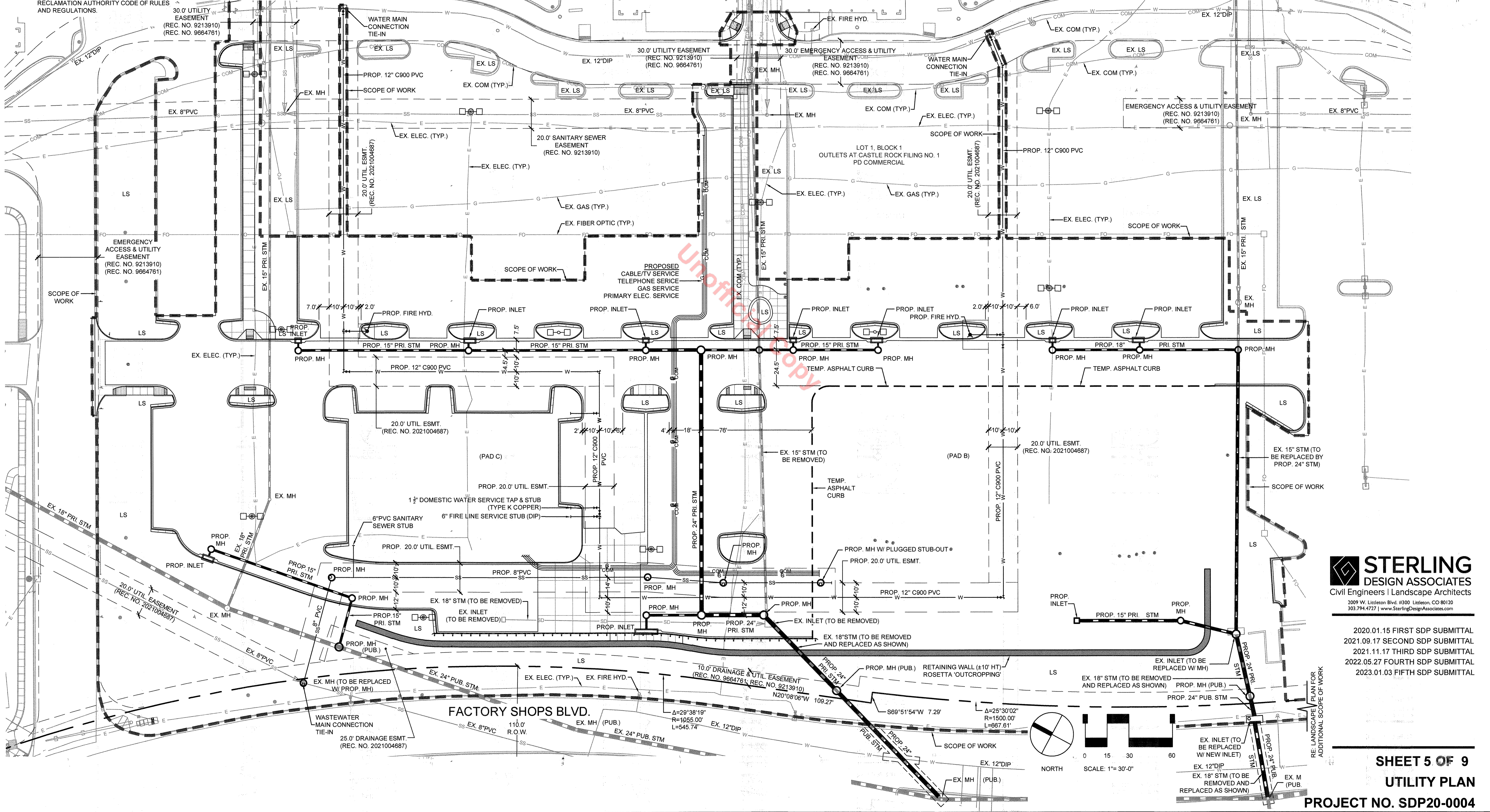
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TOWN OF CASTLE ROCK UTILITY NOTES

- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.
- ANY REQUIRED GREASE INTERCEPTOR SHALL BE IN ACCORDANCE WITH THE PLUM CREEK WATER RECLAMATION AUTHORITY CODE OF RULES AND REGULATIONS.

LEGEND

	SCOPE OF WORK		EXIST. CURB & GUTTER		SAWCUT LINE		PROP. GAS LINE		EXIST. WATER LINE
	PROPERTY LINE		PROP. SIDEWALK		EXIST. ELECTRIC LINE		EXIST. FIBER OPTIC LINE		PROP. WATER LINE
	EXIST. EASEMENT		PROP. CURB & GUTTER		PROP. TELEPHONE LINE		PROP. FIBER OPTIC LINE		EXIST. STORM SEWER
	PROP. EASEMENT		EXISTING TRAFFIC LIGHT		PROP. TELEPHONE LINE		EXIST. COMMUNICATIONS LINE (E.G. FO/TELE/CTV - RE. DESIGN TOPOGRAPHIC SURVEY)		PROP. STORM SEWER (LARGE Ø)
	EXIST. SIDEWALK				EXIST. GAS LINE		PROP. COMMUNICATIONS LINE		EXIST. SANITARY SEWER
									PROP. SANITARY SEWER



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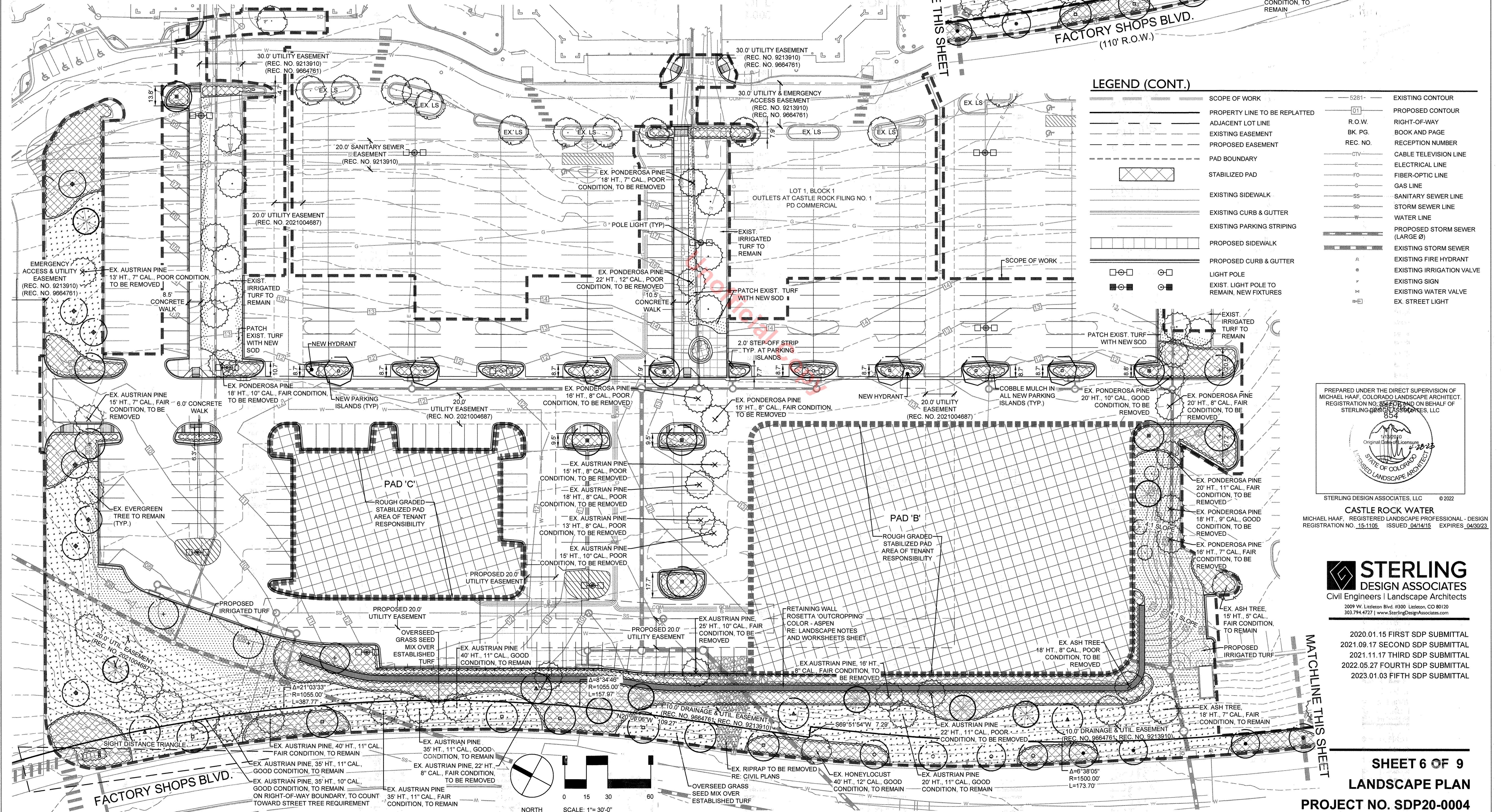
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LEGEND

SYMBOL	QTY	DESCRIPTION
	45	DECIDUOUS SHADE TREE (LOW-MOD WATER HYDROZONE)
	10	DECIDUOUS ORNAMENTAL TREE (LOW-MOD HYDROZONE)
	8	EVERGREEN TREE (LOW HYDROZONE)
	23	EXISTING PINE TO REMAIN (LOW HYDROZONE)
	8	EXISTING DECIDUOUS TREE TO REMAIN (LOW HYDROZONE)
		EXISTING DECIDUOUS TREE TO BE REMOVED
		EXISTING EVERGREEN TREE TO BE REMOVED
		MIXED SHRUB BED (VERY LOW-MODERATE HYDROZONE)
		FESCUE TURF SEED MIX - IRRIGATED (LOW HYDROZONE)
		STABILIZED PAD, TEMPORARY NON-IRRIGATED NATIVE SEED (VERY LOW HYDROZONE)
		TURF MASTERS NATURE'S PRAIRIE IRRIGATED SOD (LOW HYDROZONE)

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IRRIGATION NOTE:
 ALL NON-TURF PLANTED AREAS WILL BE DRIP IRRIGATED, ZONED SEPARATE FROM TURF AREAS. TREES IN NON-IRRIGATED SEED AREAS SHALL BE DRIP IRRIGATED. SODDED/SEEDED TURF AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.



LEGEND (CONT.)

	SCOPE OF WORK		EXISTING CONTOUR
	PROPERTY LINE TO BE REPLANTED		PROPOSED CONTOUR
	ADJACENT LOT LINE		R.O.W.
	EXISTING EASEMENT		BK. PG.
	PROPOSED EASEMENT		REC. NO.
	PAD BOUNDARY		CTV
	STABILIZED PAD		E
	EXISTING SIDEWALK		FO
	EXISTING CURB & GUTTER		G
	EXISTING PARKING STRIPING		SS
	PROPOSED SIDEWALK		SD
	PROPOSED CURB & GUTTER		W
	LIGHT POLE		PROPOSED STORM SEWER (LARGE Ø)
	EXIST. LIGHT POLE TO REMAIN, NEW FIXTURES		EXISTING STORM SEWER
	EXISTING FIRE HYDRANT		EXISTING IRRIGATION VALVE
	EXISTING SIGN		EXISTING WATER VALVE
	EX. STREET LIGHT		

PREPARED UNDER THE DIRECT SUPERVISION OF
 MICHAEL HAAF, COLORADO LANDSCAPE ARCHITECT.
 REGISTRATION NO. 5450 AND ON BEHALF OF
 STERLING DESIGN ASSOCIATES, LLC
 854

STERLING DESIGN ASSOCIATES, LLC © 2022

CASTLE ROCK WATER
 REGISTERED LANDSCAPE PROFESSIONAL - DESIGN
 REGISTRATION NO. 15-1105 ISSUED 04/14/15 EXPIRES 04/30/23

STERLING DESIGN ASSOCIATES
 Civil Engineers | Landscape Architects
 2029 W. Littleton Blvd. #300 Littleton, CO 80120
 303.794.4727 | www.sterlingdesignassociates.com

- 2020.01.15 FIRST SDP SUBMITTAL
- 2021.09.17 SECOND SDP SUBMITTAL
- 2021.11.17 THIRD SDP SUBMITTAL
- 2022.05.27 FOURTH SDP SUBMITTAL
- 2023.01.03 FIFTH SDP SUBMITTAL

SITE DEVELOPMENT PLAN, AMENDMENT NO. 14

FOR A PORTION OF LOT 1, BLOCK 1, OUTLETS AT CASTLE ROCK FILING NO. 1

LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SDP20-0004

LANDSCAPE WORKSHEET



Commercial Landscape Site Inventory

Town of Castle Rock Registered Professional Michael Haaf
 Town of Castle Rock Registration # 15-1105 State of Colorado License Landscape Architect # 854
 Company Name Sterling Design Associates, LLC Address 2009 W. Littleton Blvd, #300, Littleton, CO 80120
 Phone (303) 794-4727 x210 Email Mike@SterlingDesignAssociates.com Date 12/19/2022
 PROJECT NAME Castle Rock Factory Shops, Town of Castle Rock Project No. SDP20-0004

Scope of Work Area*	Landscape Area In Sq.Ft.	Turfgrass List Species (Area In Sq.Ft.)	Nonliving Ornamental (Area In Sq.Ft.)	No. of Trees Required**	No. of Trees Provided**	No. of Shrubs Required**	No. of Shrubs Provided**	Soil Prep Amounts (In cu.yds. per 1000 Sq.Ft.)	Separate Irrigation Service Connections
271,595 SF	72,785 SF Required min. = 27,160 sf (10% of scope of work)	44,805 SF (14,411 sf proposed Turf Masters Nature's Prairie Sod + 23,813 sf of proposed native over seed + 6,581 sf of existing native seed turf)	18,174 SF (required to be covered by min. 75% plant growth after 3 growing seasons)	55 (2 trees per 1,000 sf of required landscape area. Minimum 50% must be large tree species)	63 (40 proposed + 23 existing)	109 (4 shrubs per 1,000 sf of required landscape area)	656	4 yds/ 1,000 SF	Yes... NoX (Tied to ex. mail system. Act. No. 00004595-02, SW corner of Bldg 7, 2.5' meter)
Parking Lot (Area In Sq.Ft.)**	Parking Lot Landscape Area (Sq. ft.)	No. of Parking Spaces	Nonliving Ornamental (Area In Sq.Ft.)	No. of Interior Landscape Islands	Minimum Width of Interior Landscaped Islands	No. of Trees Required	No. of Trees Provided	No. of Shrubs Required	No. of Shrubs Provided
65,796 SF	16,139 (Required minimum = 6,580 sf (10% of parking lot area))	226 (within Scope of Work)	5,537 SF (required to be covered by min. 75% plant growth after 3 growing seasons)	25	8 FT	25 (1 large canopy tree per island (section 7.2.1.2 TOCR LICM))	25**** (22 proposed + 3 existing)	100 (4 shrubs per island (section 7.2.1.2 TOCR LICM))	114

* Scope of Work square footage does not include adjacent right-of-way.
 **Required and provided plant material excludes plant material in the right-of-way. Calculations and counts are for on site only. Refer to chart below for right-of-way landscape requirements.
 ***Parking area requirement is included in and counts towards the landscape requirements for the scope of work area.
 ****Light poles, storm sewer, and limited space in seven parking islands restrict tree placement. Seven parking island shade trees are proposed on-site.

LANDSCAPE RIGHT-OF-WAY INVENTORY

AREA	MEASURE- MENT	REQUIREMENT	REQUIRED TREES	PROPOSED TREES	REQUIRED SHRUBS	PROPOSED SHRUBS
Right of Way (Factory Shops Blvd)	1,241 lf	1 large tree per 40 lf. of r.o.w. & 4 shrubs per tree	31	31 (23 proposed + 8 existing)	124	124

CLWUR WORKSHEET - OVERALL LANDSCAPE AREA

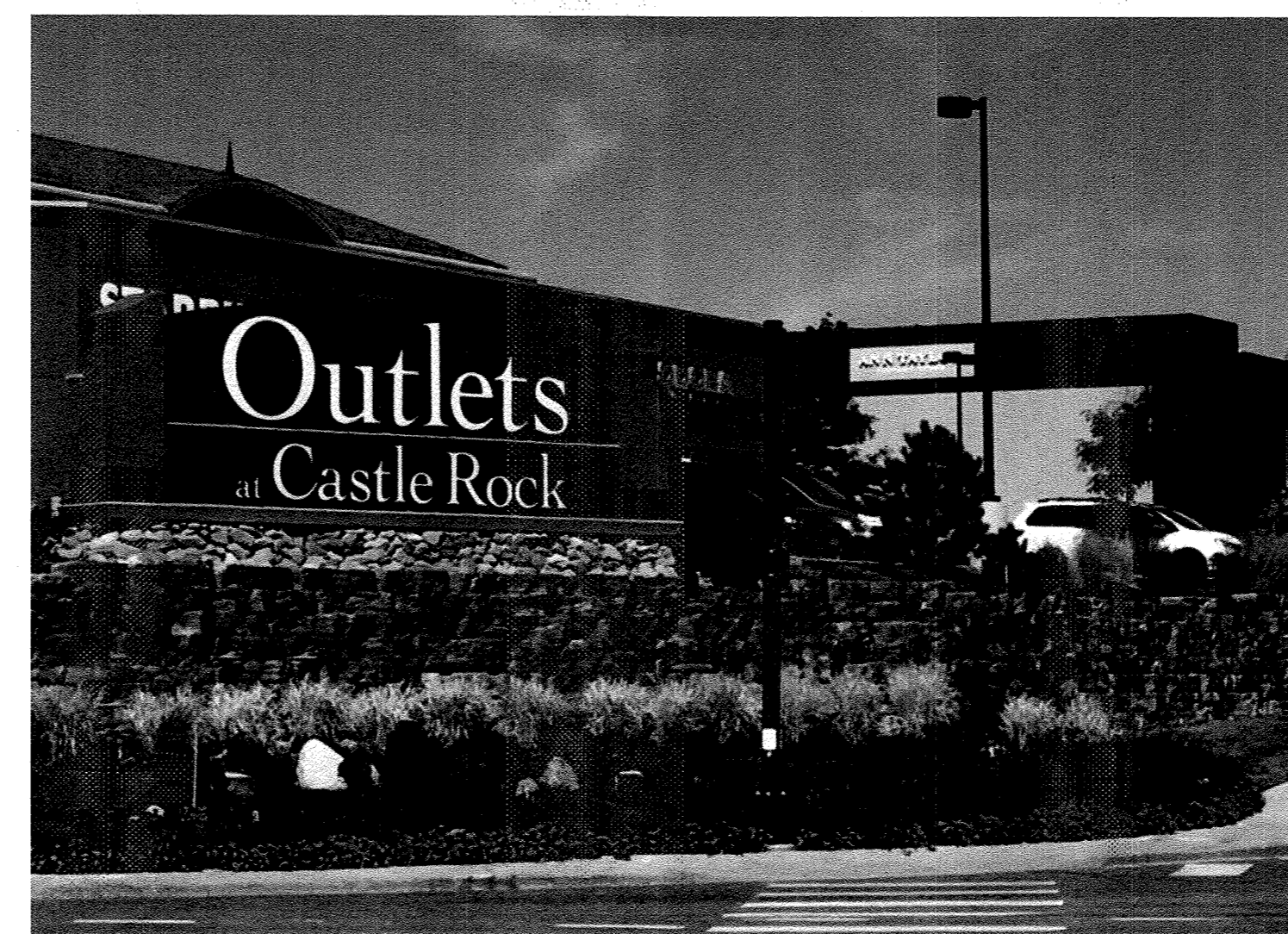
CLWUR Chart for the Town of Castle Rock								
Irrig. Zone	Plant Type	App Rate (inches/month)	Zone (VL, L, Mod, HW)	% of Total Area	IA (Irrigated area in sf for each zone)	LWUR (Landscape Water Use Rating)	TA (Total Area of all irrigated landscape Zones)*	CLWUR (LWUR x IA/TA)
A	Drip Irrigated Shrubs, Trees & Perennials	2.4	Low	40.37	36,557 sf	2.00	90,565 sf	2.0 x 36,557/90,565 = .81
B	Existing Spray Irrigated Turf	3.0	Mod	7.51	6,797 sf	3.00	90,565 sf	3.0 x 6,797/90,565 = .23
C	Overseeded Established Spray Irrigated Turf	2.4	Low	38.60	33,151 sf	2.00	90,565 sf	2.0 x 33,151/90,565 = .73
D	Low Water Use Spray Irrigated Turf	2.4	Low	15.52	14,060 sf	2.00	90,565 sf	2.0 x 14,060/90,565 = 0.31
Total of the CLWUR								= 2.08

*Area includes right-of-way landscaping.

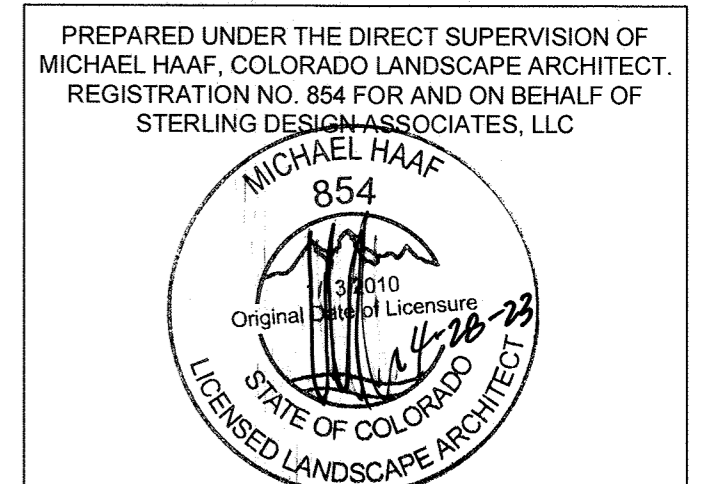
LANDSCAPE PLAN GENERAL NOTES

- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION MANUAL. CONCEPTUAL LANDSCAPE PLAN STANDARD NOTES - CONT'D.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE(45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

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ROSETTA WALL A
NOT TO SCALE



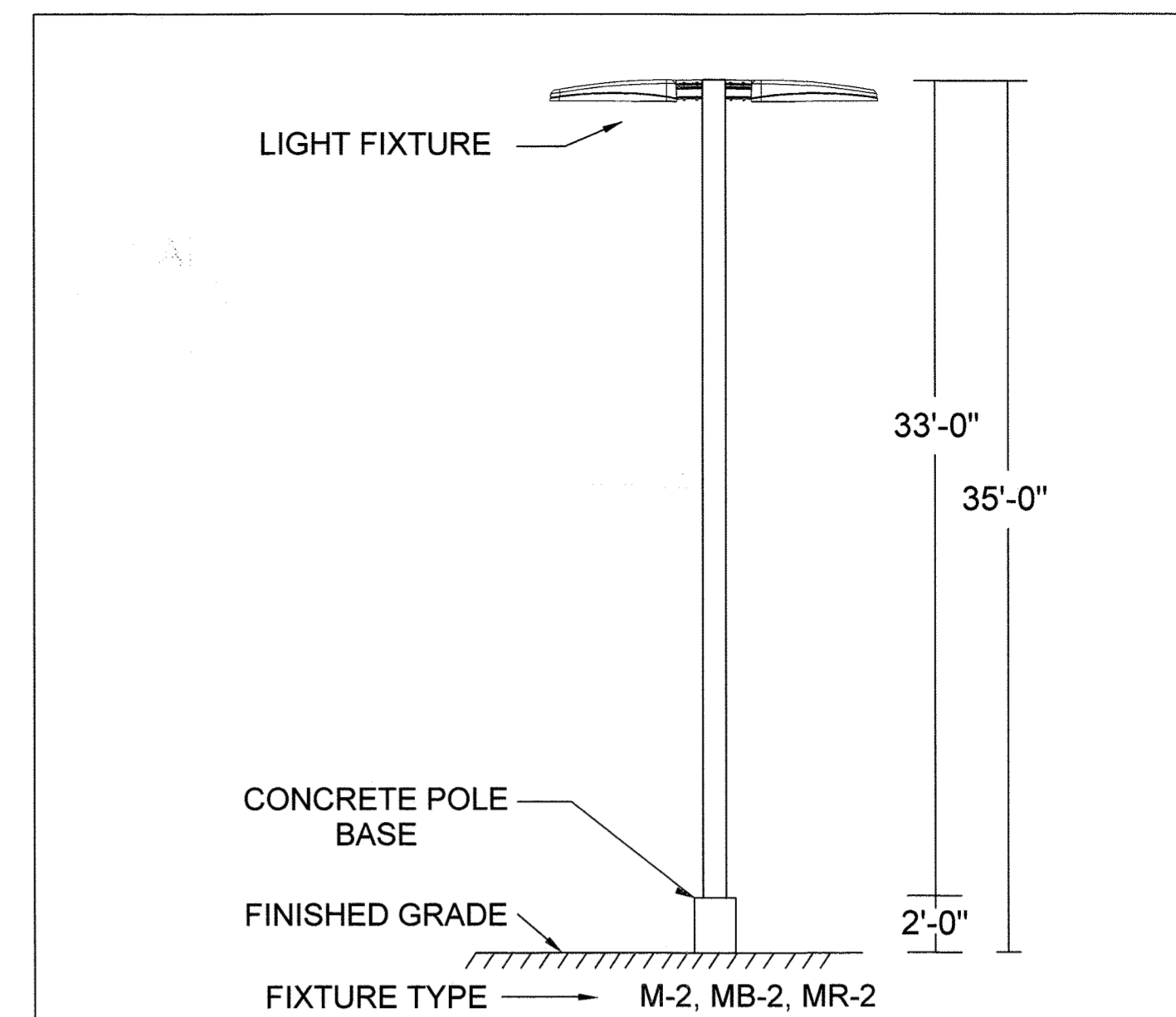
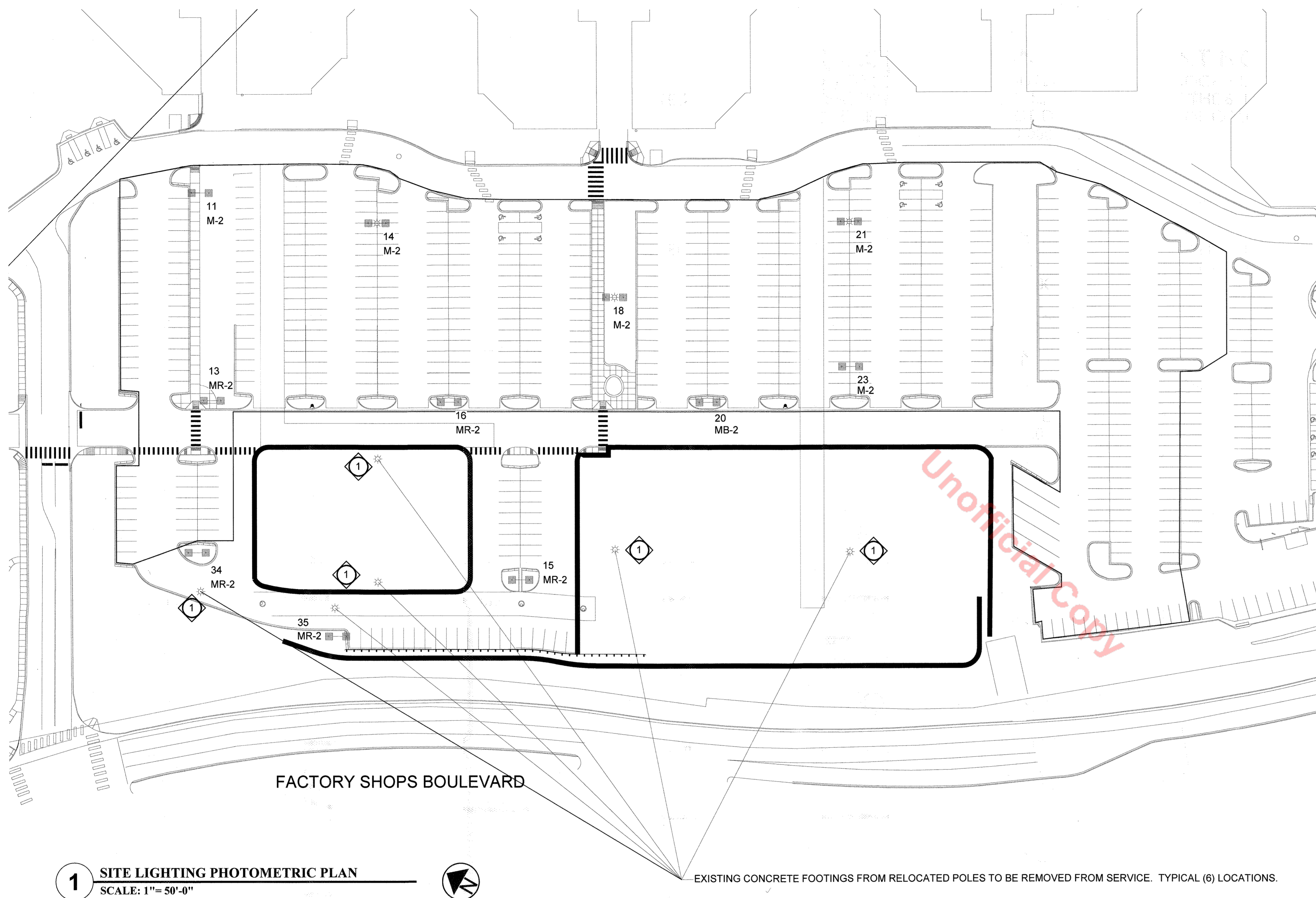
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 CASTLE ROCK WATER
 MICHAEL HAAF, REGISTERED LANDSCAPE PROFESSIONAL - DESIGN
 REGISTRATION NO. 15-1105 ISSUED 04/14/15 EXPIRES 04/30/23



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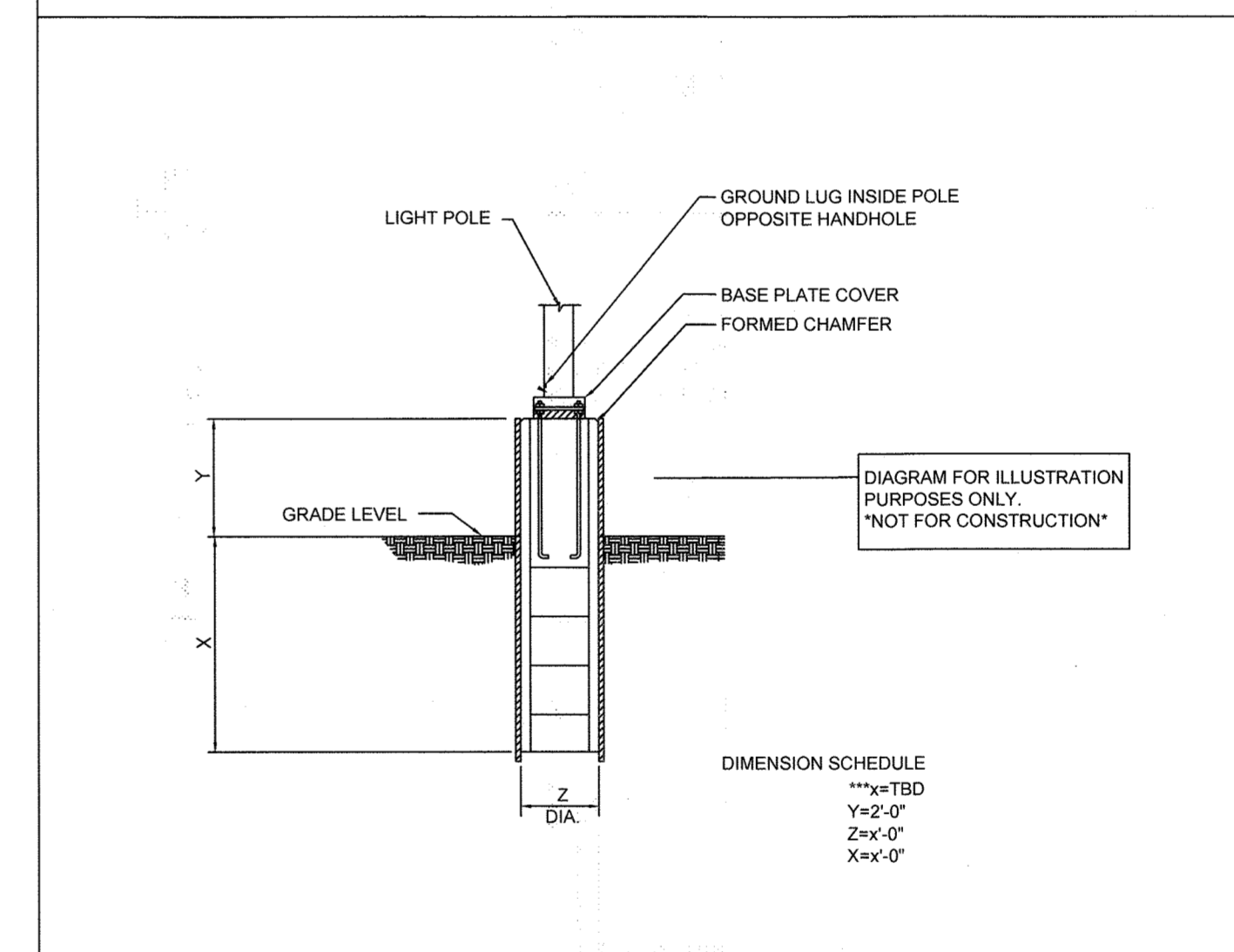
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SITE DEVELOPMENT PLAN, AMENDMENT NO. 14
 FOR A PORTION OF LOT 1, BLOCK 1, OUTLETS AT CASTLE ROCK FILING NO. 1
 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
 SDP20-0004



2 POLE DETAIL (TYPICAL)
 SCALE: NTS

***THIS POLE FOOTING DETAIL IS TYPICAL FOR INFORMATIONAL PURPOSES ONLY. ACTUAL FOOTING SHOULD BE DESIGNED FOR THE SPECIFIC APPLICATION AND LOCATION WITH CONSIDERATION TO ACTUAL REQUIRED SEISMIC, SOIL, WIND LOAD CONDITIONS, ETC.



3 POLE BASE DETAIL (TYPICAL) MB-2 & MR-2
 SCALE: NTS

1 SITE LIGHTING PHOTOMETRIC PLAN
 SCALE: 1"= 50'-0"

Symbol	Qty	Label	Arranged	LLF	Description	BUG Rating
	5	M-2	BACK-BACK	1.00	NEW PHASE 2 FIXT 264W LED T5 35'-0 MTG HT (4000K/39097 LUMENS) LUMARK PRV-XL-C125-D-UNV-T5-BZ	B5-U0-G5
	1	MB-2	BACK-BACK	1.00	NEW PHASE 2 BASE POLE & FIXT 264W LED T5 35'-0 MTG HT (4000K/39097 LUMENS) LUMARK PRV-XL-C125-D-UNV-T5-BZ	B5-U0-G5
	5	MR-2	BACK-BACK	1.00	RELOCATE POLE NEW PHASE 2 BASE & FIXT 264W LED T5 35'-0 Mtg Ht (4000K/39097 LUMENS) LUMARK PRV-XL-C125-D-UNV-T5-BZ	B5-U0-G5

GENERAL NOTE

- The lighting is intended to provide safe lighting levels to the parking lot and access drives.
- Hours of Lighting are 7pm-6am Summer & 4:30pm-6am Winter.
- Full cutoff fixtures are proposed to minimize light pollution and trespass to adjacent properties.
- The following lighting types are prohibited: Forward throw (Type IV) distribution, pole-mounted lights aimed at a building's facade, and unshielded wall packs.

FOR NATIONAL ACCOUNT MATERIAL PURCHASING AND PRICING INFORMATION PLEASE CONTACT:

BASED ON THE INFORMATION PROVIDED, ALL DIMENSIONS AND LUMINAIRE LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING OR FUTURE FIELD CONDITIONS.

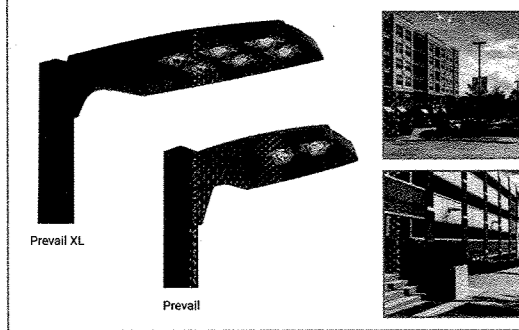
THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:
On-Site Lighting & Survey, LLC
 PH: 703.684.1548

2020.01.15 FIRST SDP SUBMITTAL
 2021.09.17 SECOND SDP SUBMITTAL
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SITE DEVELOPMENT PLAN, AMENDMENT NO. 14 FOR A PORTION OF LOT 1, BLOCK 1, OUTLETS AT CASTLE ROCK FILING NO. 1 LOCATED IN THE N 1/2 OF SECTION 27, TOWNSHIP 7S., RANGE 67W., OF THE 6TH PRINCIPLE MERIDIAN TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO SDP20-0004


Project	Outlets at Castle Rock	Catalog #	PRV-XL-C125-D-XXX-T5-SA-XX
Type	M-2, MB-2, MR-2	Prepared by	
Notes		Date	



Lumark
PRV / PRV-XL Preval LED
Area / Site Luminaire

Typical Applications
Outdoor - Parking Lots - Walkways - Roadways - Building Areas

Product Certifications


Product Features


Interactive Menu

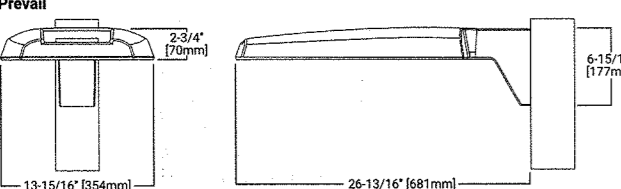
- Ordering Information [page 1](#)
- Mounting Details [page 2](#)
- Optical Configurations [page 3](#)
- Product Specifications [page 4](#)
- Energy and Performance Data [page 5](#)
- Control Options [page 6](#)

Quick Facts

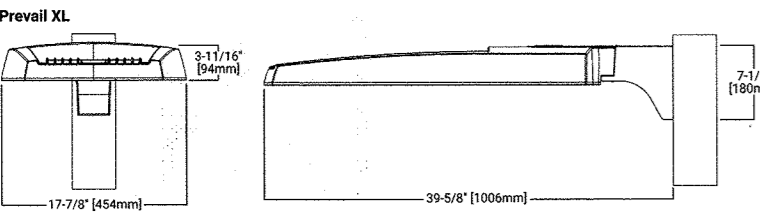
- Lumen packages range from 7,100 - 48,600 lumens (50W - 350W)
- Replaces 70W up to 1000W HID equivalents
- Efficacies up to 148 lumens per watt
- Energy and maintenance savings up to 85% versus HID solutions
- Standard universal quick mount arm with universal drill pattern

Dimensional Details

Preval



Preval XL



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August 29, 2023 11:02 AM

Lumark		PRV / PRV-XL Preval	
Ordering Information			
SAMPLE NUMBER: PRV-XL-C125-D-18V-T4-SA-BZ			
Product Family	Light Package	Driver	Voltage
PRV-Preval	C125-D-18V-T4-SA-BZ	800-Universal (30-277V)	120-277V
PRV-XL-Preval XL	C125-D-18V-T4-SA-BZ	800-Universal (30-277V)	120-277V
Options (Add as Suffix)		Accessories (Order Separately)	
<p>3500-10-01 3500W CCT*</p> <p>3500-10-02 3500W CCT*</p> <p>3500-10-03 3500W CCT*</p> <p>3500-10-04 3500W CCT*</p> <p>3500-10-05 3500W CCT*</p> <p>3500-10-06 3500W CCT*</p> <p>3500-10-07 3500W CCT*</p> <p>3500-10-08 3500W CCT*</p> <p>3500-10-09 3500W CCT*</p> <p>3500-10-10 3500W CCT*</p> <p>3500-10-11 3500W CCT*</p> <p>3500-10-12 3500W CCT*</p> <p>3500-10-13 3500W CCT*</p> <p>3500-10-14 3500W CCT*</p> <p>3500-10-15 3500W CCT*</p> <p>3500-10-16 3500W CCT*</p> <p>3500-10-17 3500W CCT*</p> <p>3500-10-18 3500W CCT*</p> <p>3500-10-19 3500W CCT*</p> <p>3500-10-20 3500W CCT*</p> <p>3500-10-21 3500W CCT*</p> <p>3500-10-22 3500W CCT*</p> <p>3500-10-23 3500W CCT*</p> <p>3500-10-24 3500W CCT*</p> <p>3500-10-25 3500W CCT*</p> <p>3500-10-26 3500W CCT*</p> <p>3500-10-27 3500W CCT*</p> <p>3500-10-28 3500W CCT*</p> <p>3500-10-29 3500W CCT*</p> <p>3500-10-30 3500W CCT*</p> <p>3500-10-31 3500W CCT*</p> <p>3500-10-32 3500W CCT*</p> <p>3500-10-33 3500W CCT*</p> <p>3500-10-34 3500W CCT*</p> <p>3500-10-35 3500W CCT*</p> <p>3500-10-36 3500W CCT*</p> <p>3500-10-37 3500W CCT*</p> <p>3500-10-38 3500W CCT*</p> <p>3500-10-39 3500W CCT*</p> <p>3500-10-40 3500W CCT*</p> <p>3500-10-41 3500W CCT*</p> <p>3500-10-42 3500W CCT*</p> <p>3500-10-43 3500W CCT*</p> <p>3500-10-44 3500W CCT*</p> <p>3500-10-45 3500W CCT*</p> <p>3500-10-46 3500W CCT*</p> <p>3500-10-47 3500W CCT*</p> <p>3500-10-48 3500W CCT*</p> <p>3500-10-49 3500W CCT*</p> <p>3500-10-50 3500W CCT*</p> <p>3500-10-51 3500W CCT*</p> <p>3500-10-52 3500W CCT*</p> <p>3500-10-53 3500W CCT*</p> <p>3500-10-54 3500W CCT*</p> <p>3500-10-55 3500W CCT*</p> <p>3500-10-56 3500W CCT*</p> <p>3500-10-57 3500W CCT*</p> <p>3500-10-58 3500W CCT*</p> <p>3500-10-59 3500W CCT*</p> <p>3500-10-60 3500W CCT*</p> <p>3500-10-61 3500W CCT*</p> <p>3500-10-62 3500W CCT*</p> <p>3500-10-63 3500W CCT*</p> <p>3500-10-64 3500W CCT*</p> <p>3500-10-65 3500W CCT*</p> <p>3500-10-66 3500W CCT*</p> <p>3500-10-67 3500W CCT*</p> <p>3500-10-68 3500W CCT*</p> <p>3500-10-69 3500W CCT*</p> <p>3500-10-70 3500W CCT*</p> <p>3500-10-71 3500W CCT*</p> <p>3500-10-72 3500W CCT*</p> <p>3500-10-73 3500W CCT*</p> <p>3500-10-74 3500W CCT*</p> <p>3500-10-75 3500W CCT*</p> <p>3500-10-76 3500W CCT*</p> <p>3500-10-77 3500W CCT*</p> <p>3500-10-78 3500W CCT*</p> <p>3500-10-79 3500W CCT*</p> <p>3500-10-80 3500W CCT*</p> <p>3500-10-81 3500W CCT*</p> <p>3500-10-82 3500W CCT*</p> <p>3500-10-83 3500W CCT*</p> <p>3500-10-84 3500W CCT*</p> <p>3500-10-85 3500W CCT*</p> <p>3500-10-86 3500W CCT*</p> <p>3500-10-87 3500W CCT*</p> <p>3500-10-88 3500W CCT*</p> <p>3500-10-89 3500W CCT*</p> <p>3500-10-90 3500W CCT*</p> <p>3500-10-91 3500W CCT*</p> <p>3500-10-92 3500W CCT*</p> <p>3500-10-93 3500W CCT*</p> <p>3500-10-94 3500W CCT*</p> <p>3500-10-95 3500W CCT*</p> <p>3500-10-96 3500W CCT*</p> <p>3500-10-97 3500W CCT*</p> <p>3500-10-98 3500W CCT*</p> <p>3500-10-99 3500W CCT*</p> <p>3500-10-100 3500W CCT*</p>			

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August 29, 2023 11:02 AM

1 FIXTURE TYPE M-2, MB-2, MR-2 SPECIFICATION SHEET

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2020.01.15 FIRST SDP SUBMITTAL
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**FOR NATIONAL ACCOUNT MATERIAL
PURCHASING AND PRICING INFORMATION
PLEASE CONTACT:**

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LOCATIONS SHOWN REPRESENT RECOMMENDED POSITIONS. THE ENGINEER AND/OR
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FUTURE FIELD CONDITIONS.

THE LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM
LABORATORY DATA TAKEN UNDER THE CONTROLLED CONDITIONS UTILIZING
CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING
ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY
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VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

FOR ADDITIONAL LIGHTING INFORMATION CONTACT:
On-Site Lighting & Survey, LLC
PH: 763.684.1548

**SHEET 9 OF 9
GENERAL LIGHTING DETAILS
PROJECT NO. SDP20-0004**