

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

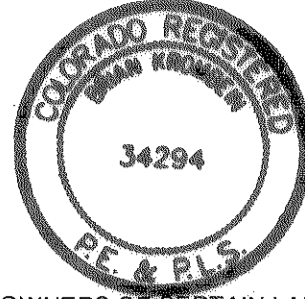
3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SURVEYOR'S CERTIFICATE:

I, Brian Krumbert, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY LOT 1, AUBURN RIDGE WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE PLAN ACCURATELY REPRESENTS THAT SURVEY.

Brian Krumbert
 REGISTERED LAND SURVEYOR



OWNERSHIP CERTIFICATION:
 THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN HERIN AS LOT 1, AUBURN RIDGE IN THE TOWN OF CASTLE ROCK.

Jessica Breen
 AUBURN VENTURES, LP, A COLORADO LIMITED PARTNERSHIP
 SIGNED THIS 12th DAY OF March, 2013
 NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 12th DAY OF March, 2013
 BY Jessica Breen

Adam Jaffe
 WITNESS MY HAND AND OFFICIAL SEAL



NOTARY PUBLIC
 MY COMMISSION EXPIRES 10/25/2013

TITLE CERTIFICATION:

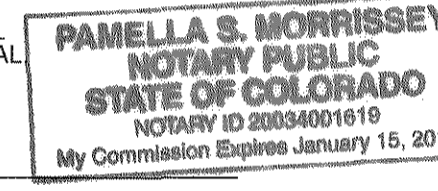
I, Brandon, AN AUTHORIZED REPRESENTATIVE OF Land Title, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE
 SIGNED THIS 20th DAY OF March, 2013

Brandon
 AUTHORIZED REPRESENTATIVE

Land Title Guaranty Company
 TITLE INSURANCE COMPANY

NOTARY BLOCK
 SUBSCRIBED AND SWORN TO BEFORE ME THIS 20th DAY OF March, 2013
 BY

WITNESS MY HAND AND OFFICIAL SEAL



NOTARY PUBLIC
 MY COMMISSION EXPIRES 1-15-15

TOWN CERTIFICATION:

THIS FINAL PD SITE PLAN WAS APPROVED BY THE TOWN OF CASTLE ROCK, COLORADO, ON THE 20th DAY OF April, 2013
[Signature]
 DIRECTOR OF DEVELOPMENT SERVICES DATE 4/20/13

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE:

THIS FINAL PD SITE PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT (TIME) ON THE 7th DAY OF April, 2013 AT RECEPTION NO. 2013065915
 DOUGLAS COUNTY CLERK AND RECORDER

BY: Tulay
 DEPUTY



Planning Commission Recommendation

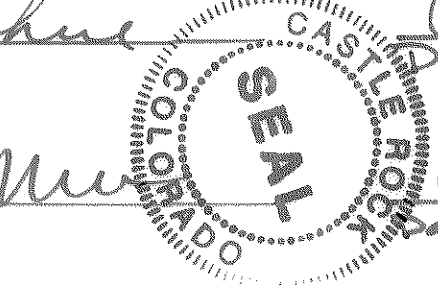
This Final PD Site Plan was recommended for approval by the Planning Commission of the Town of Castle Rock, Colorado on the 8th day of November, 2012.
[Signature] 4/25/13
 Chair Date

[Signature] 4/22/13
 Director of Development Services Date

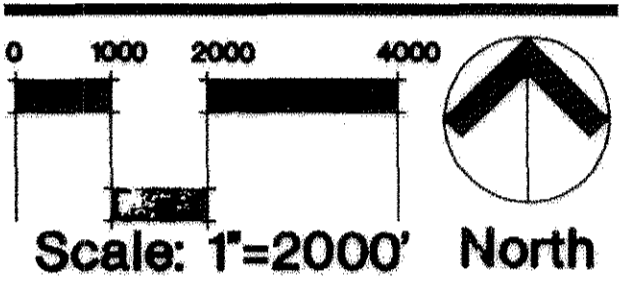
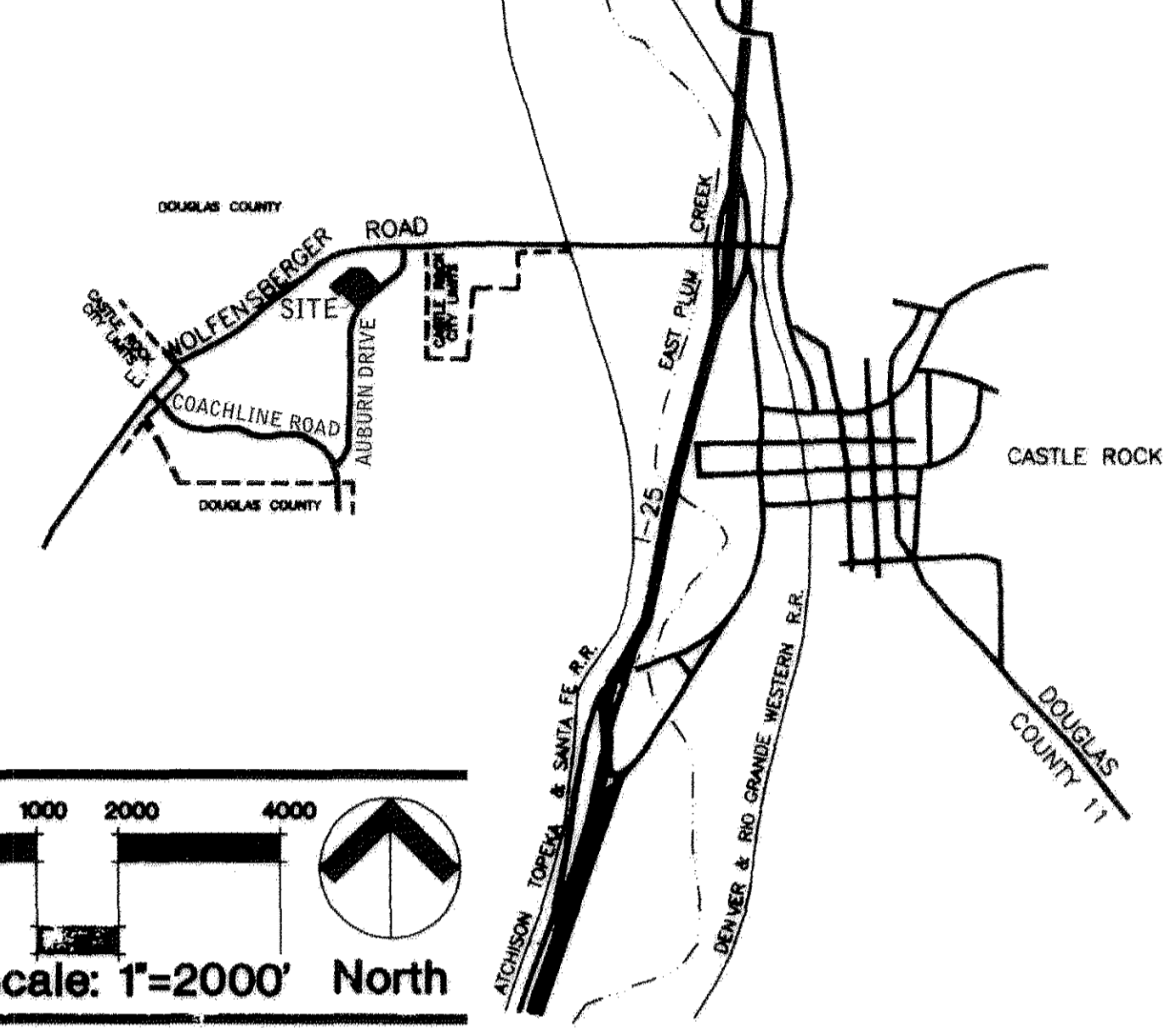
Town Council Approval

This Final PD Site Plan was approved by the Town Council of Castle Rock, Colorado, on the 10th day of January, 2013.

Paul Donohue 6-4-13
 Mayor Date
 Attest: [Signature] 6-4-13
 Town Clerk Date



VICINITY MAP



SHEET NUMBER	SHEET NAME
1	COVER SHEET
2	SITE PLAN
3	PHASING PLAN
4	GRADING PLAN
5	UTILITY PLAN
6	LANDSCAPE PLAN
7	LANDSCAPE SCHEDULES
8	LANDSCAPE DETAILS
9	PRELIMINARY IRRIGATION PLAN
10	PRELIMINARY IRRIGATION SCHEDULE
11	PRELIMINARY IRRIGATION SCHEDULE
12	PRELIMINARY IRRIGATION DETAILS
13	PRELIMINARY IRRIGATION DETAILS
14	PRELIMINARY IRRIGATION DETAILS
15	BUILDING ELEVATIONS
16	BUILDING ELEVATIONS
17	BUILDING ELEVATIONS
18	PHOTOMETRIC PLAN
19	PHOTOMETRIC DATA

LEGAL DESCRIPTION
 LOT 1, AUBURN RIDGE, ACCORDING TO THE RECORDED PLAT THEREOF, COUNTY OF DOUGLAS, STATE OF COLORADO.

GENERAL NOTES

- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to: inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 15% fee.
- Pursuant to Section 3.3.4E5-7 and 4.2.5 of the Town of Castle Rock Landscape Regulations, the Owner of the property, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Final PD Site Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowners Association, if applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have six (6) months to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- No FEMA regulated floodplains or wetlands exist on the site.
- Any street signs, striping and street lights are conceptual only and subject to Town review with the CDs. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock 'Water Use Management Program Implementation Policy', as amended from time to time, for this project.
- Approval of the Final PD Site Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval.
- No solid object exceeding 30" in height above the flowline elevation of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, trees, landscape plantings, cut slopes and berms, shall be placed in Sight Distance Easements as shown on this Plan.

WATER RIGHTS DEDICATION STATEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE AUBURN RIDGE ANNEXATION AND DEVELOPMENT AGREEMENT RECORDED SIMULTANEOUSLY HERewith, AND ACCORDINGLY 7.34 SFE ARE DEBITED HERewith.

LIST OF CONTACTS:

ARCHITECT: PWN ARCHITECTS 9250 E. COSTILLA AVE., SUITE 620 GREENWOOD VILLAGE, CO 80111	CIVIL ENGINEER / SURVEYOR: JONES ENGINEERING ASSOCIATES 2120 W. LITTLETON BLVD., SUITE 205 LITTLETON, CO 80120/LANDSCAPE
OWNER: AUBURN VENTURES LP 15957 N 81ST STREET, SUITE 101 SCOTTSDALE, AZ 85260	LANDSCAPE ARCHITECT: GROUNDED BY DESIGN P.O. BOX 1953 WHEAT RIDGE, CO 80034

SITE DATA:

SITE BREAKDOWN:

PHASE I:			
TOTAL NET SITE AREA:	140,700 S.F.	3.23 AC	100%
DRIVE, WALKS & PARKING:	61,858 S.F.	1.42 AC	43.96%
BUILDING COVERAGE:	34,282 S.F.	0.79 AC	24.46%
HARDSCAPE TOTAL:	96,140 S.F.	2.21 AC	68.42%
OPEN SPACE/LANDSCAPE:	44,560 S.F.	1.02 AC	31.58%
PHASE II:			
TOTAL NET SITE AREA:	263,538 S.F.	6.05 AC	100%
ALLOWABLE BUILDING COVERAGE:			40%

DENSITY CALCULATION:

PHASE I:	
TOTAL NUMBER OF DWELLING UNITS:	90
90 UNITS ON 3.23 ACRES:	28 UNITS/ACRE
PHASE II:	
TOTAL NUMBER OF DWELLING UNITS:	103
103 UNITS ON 6.05 ACRES:	17 UNITS/ACRE

BUILDING COVERAGE:

	GROUND	1ST FLOOR	2ND FLOOR	
BLDG 1 - MAIN BUILDING:	31,575 S.F.	31,173 S.F.	31,173 S.F.	= 93,928 G.S.F.
BLDG 2 - STORAGE UNITS:	898 S.F.			
BLDG 3 - DETACHED GARAGE:	1,809 S.F.			
TOTAL:	34,282 S.F.			

PARKING REQUIRED:

UNIT A (1 BEDROOM)	54 UNITS		
UNIT B (2 BEDROOMS)	24 UNITS		
UNIT C (2 BEDROOMS)	12 UNITS		
PUD REQUIRED PARKING	90 UNITS	x	1.20 = 108
HANDICAP PARKING	101-150	=	5 SPACES REQUIRED OF TOTAL (1 VAN, 4 STANDARD REQUIRED)
TOTAL REQUIRED	108 TOTAL SPACES		

PARKING PROVIDED:

STANDARD SURFACE PARKING STALLS:	100
STANDARD GARAGE PARKING:	7
TOTAL STANDARD PARKING	107
HANDICAP PARKING STALLS:	
STANDARD SURFACE:	4
VAN ACCESSIBLE:	1
GARAGE:	1
TOTAL HANDICAP STALLS	6
TOTAL PARKING PROVIDED:	113 TOTAL SPACES ON SITE

PROPOSED BUILDING HEIGHTS:

MAIN BUILDING	45' - 0" MAX. RIDGE HEIGHT
MAIN BUILDING - TOWER FEATURE	60' - 0" MAX. HEIGHT
STORAGE UNITS	15' - 6" MAX. RIDGE HEIGHT
DETACHED GARAGE	15' - 6" MAX. RIDGE HEIGHT

SETBACK DATA:

15'-0" FRONT SETBACK
 20'-0" REAR SETBACK
 10'-0" SIDE SETBACK

**LOT 1, AUBURN RIDGE
 FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:
AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
 SCOTTSDALE, AZ 85260

SHEET
 1 OF 19

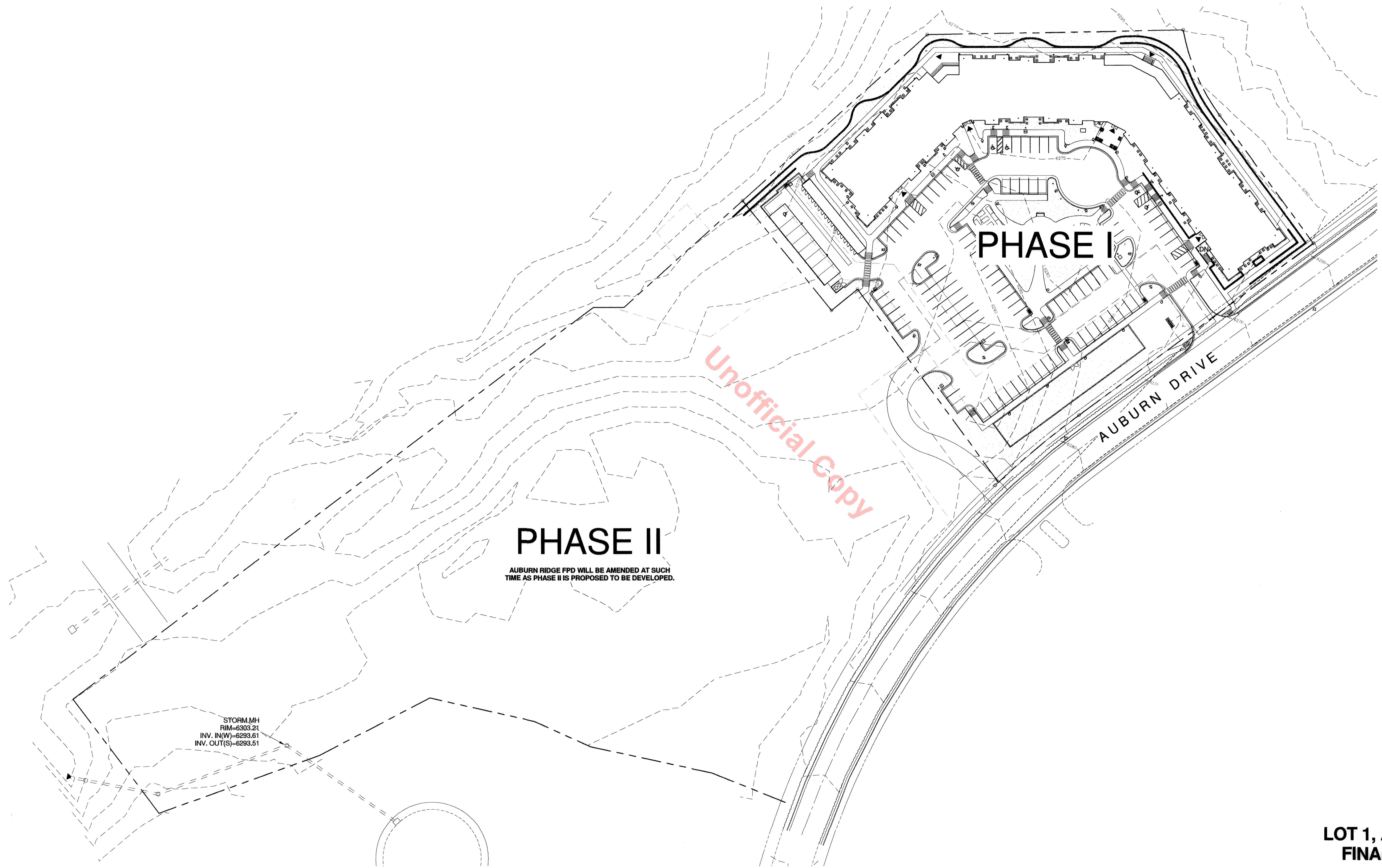


9250 E Costilla Avenue | Suite 620
 Greenwood Village, CO 80112
 voice: 303.649.9860 fax: 303.649.9870
 pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



PHASE I

PHASE II

AUBURN RIDGE FPD WILL BE AMENDED AT SUCH TIME AS PHASE II IS PROPOSED TO BE DEVELOPED.

STORMMH
RIM=6303.21
INV. IN(W)=6293.61
INV. OUT(S)=6293.51

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
3 OF 19



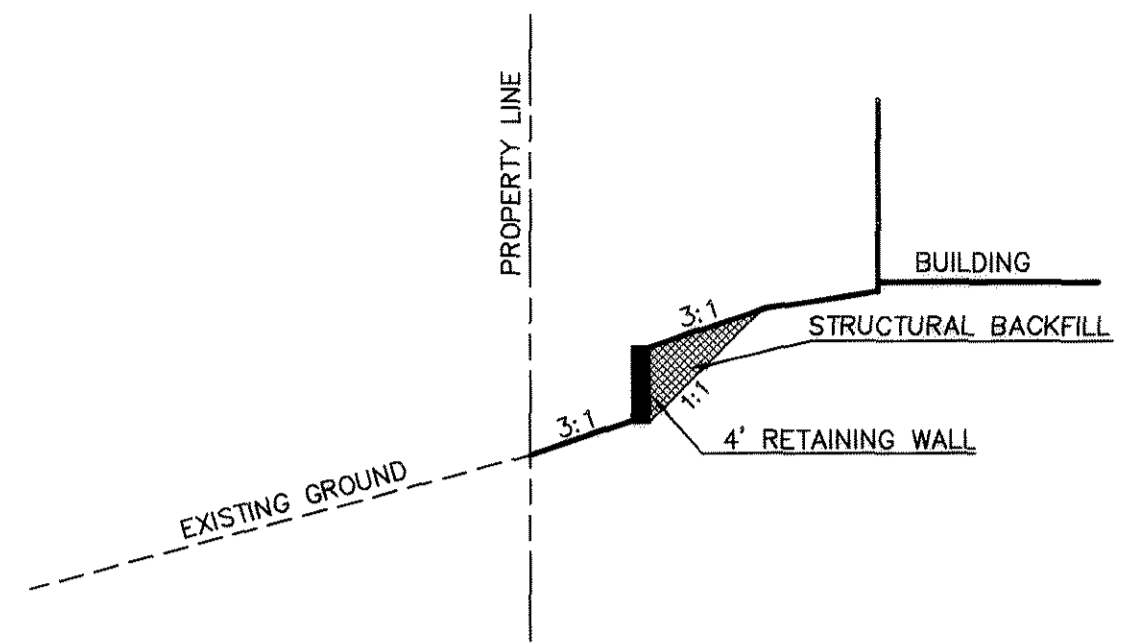
3250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

1 PHASING PLAN
1" = 50'-0"

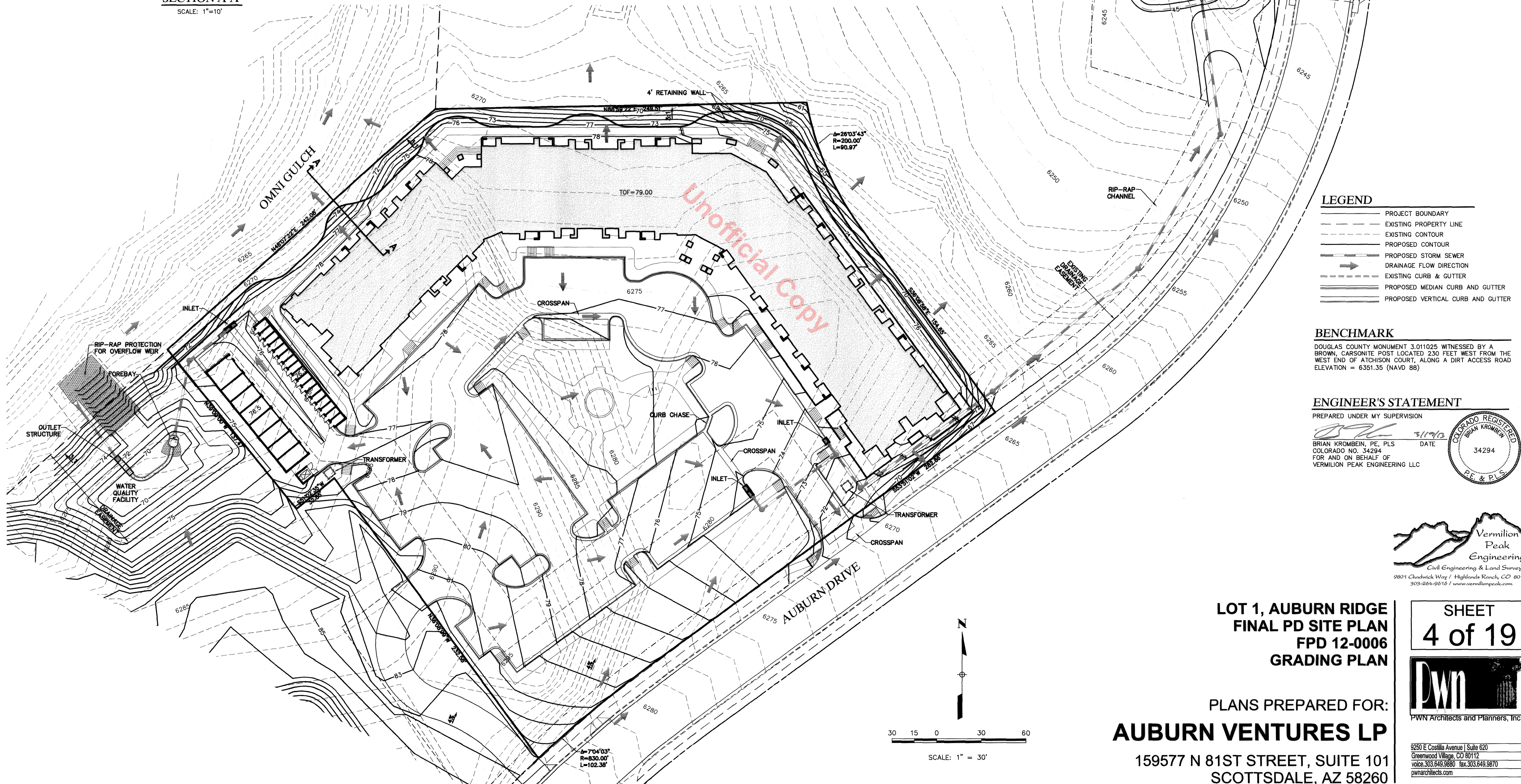
LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.25 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
GRADING PLAN



SECTION A-A
SCALE: 1"=10'



Unofficial Copy

- LEGEND**
- PROJECT BOUNDARY
 - - - EXISTING PROPERTY LINE
 - - - EXISTING CONTOUR
 - PROPOSED CONTOUR
 - PROPOSED STORM SEWER
 - ➔ DRAINAGE FLOW DIRECTION
 - - - EXISTING CURB & GUTTER
 - PROPOSED MEDIAN CURB AND GUTTER
 - PROPOSED VERTICAL CURB AND GUTTER

BENCHMARK
DOUGLAS COUNTY MONUMENT 3.011025 WITNESSED BY A BROWN, CARSONITE POST LOCATED 230 FEET WEST FROM THE WEST END OF ATCHISON COURT, ALONG A DIRT ACCESS ROAD ELEVATION = 6351.35 (NAVD 88)

ENGINEER'S STATEMENT
PREPARED UNDER MY SUPERVISION
Brian Krombein 3/19/13
BRIAN KROMBEIN, PE, PLS DATE
COLORADO NO. 34294
FOR AND ON BEHALF OF
VERMILION PEAK ENGINEERING LLC



**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN
FPD 12-0006
GRADING PLAN**

**SHEET
4 of 19**

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260



9250 E Castilla Avenue | Suite 620
Greenwood Village, CO 80112
voice: 303.649.9880 fax: 303.649.9870
pwnarchitects.com

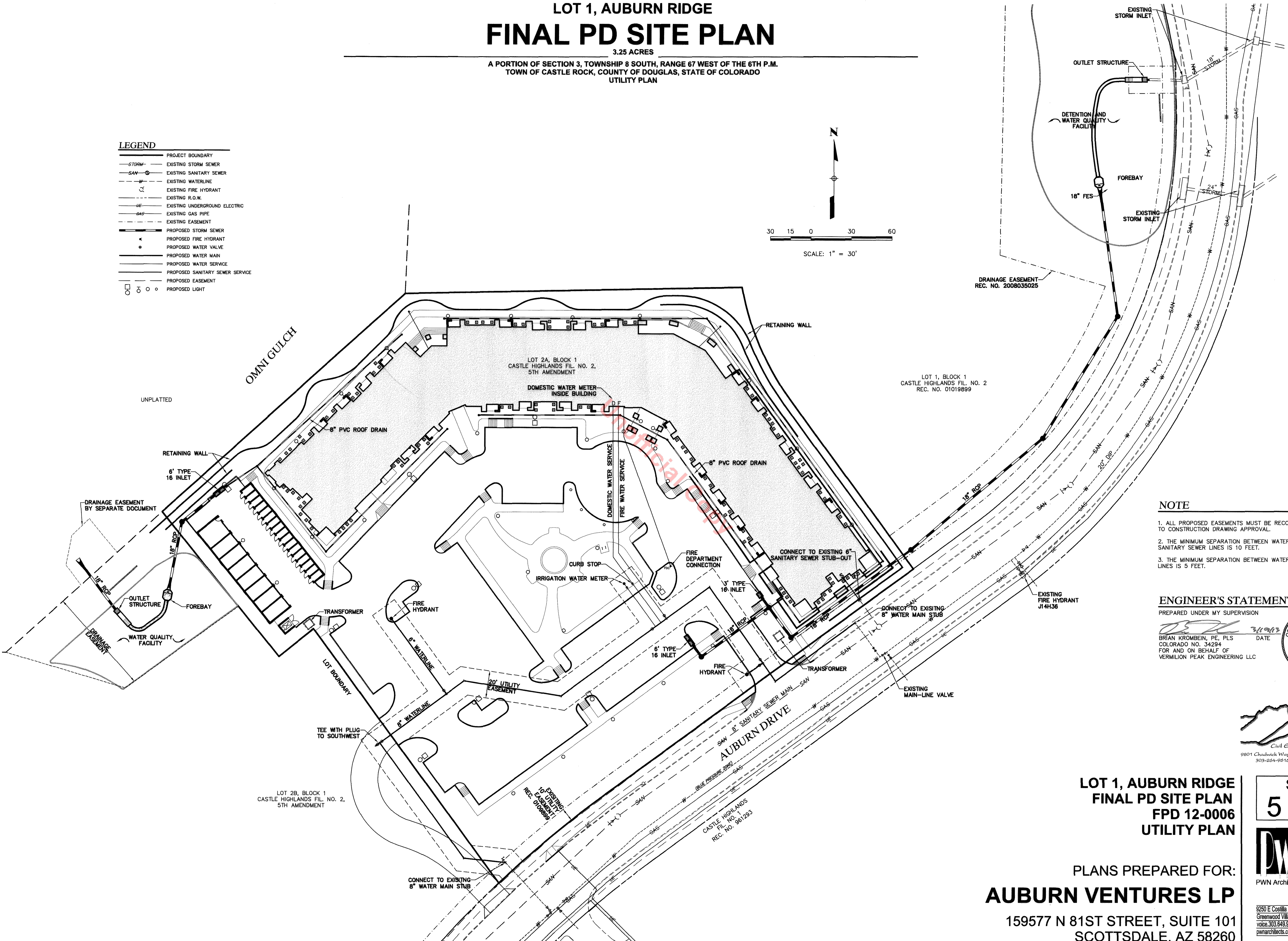
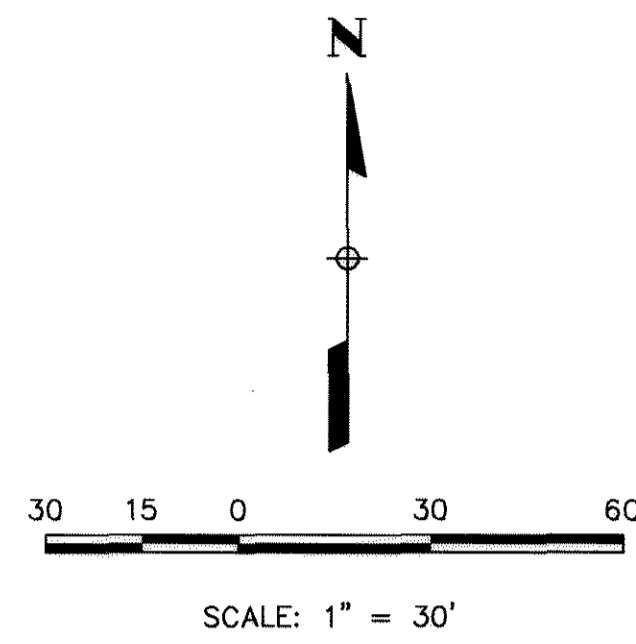
LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.25 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
UTILITY PLAN

LEGEND

	PROJECT BOUNDARY
	EXISTING STORM SEWER
	EXISTING SANITARY SEWER
	EXISTING WATERLINE
	EXISTING FIRE HYDRANT
	EXISTING R.O.W.
	EXISTING UNDERGROUND ELECTRIC
	EXISTING GAS PIPE
	EXISTING EASEMENT
	PROPOSED STORM SEWER
	PROPOSED FIRE HYDRANT
	PROPOSED WATER VALVE
	PROPOSED WATER MAIN
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED EASEMENT
	PROPOSED LIGHT



DRAINAGE EASEMENT
REC. NO. 2008035025

NOTE

1. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO CONSTRUCTION DRAWING APPROVAL.
2. THE MINIMUM SEPARATION BETWEEN WATERLINES AND SANITARY SEWER LINES IS 10 FEET.
3. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.

ENGINEER'S STATEMENT

PREPARED UNDER MY SUPERVISION

Brian Krombein 3/19/13
 BRIAN KROMBEIN, PE, PLS DATE
 COLORADO NO. 34294
 FOR AND ON BEHALF OF
 VERMILION PEAK ENGINEERING LLC

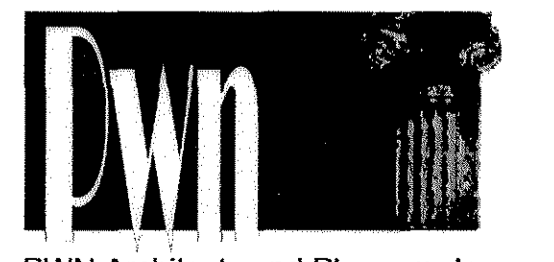


**LOT 1, AUBURN RIDGE
 FINAL PD SITE PLAN
 FPD 12-0006
 UTILITY PLAN**

**SHEET
 5 of 19**

PLANS PREPARED FOR:
AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
 SCOTTSDALE, AZ 85260



PWN Architects and Planners, Inc.
 9250 E Costilla Avenue | Suite 620
 Greenwood Village, CO 80112
 voice.303.649.9880 fax.303.649.9870
 pwnarchitects.com

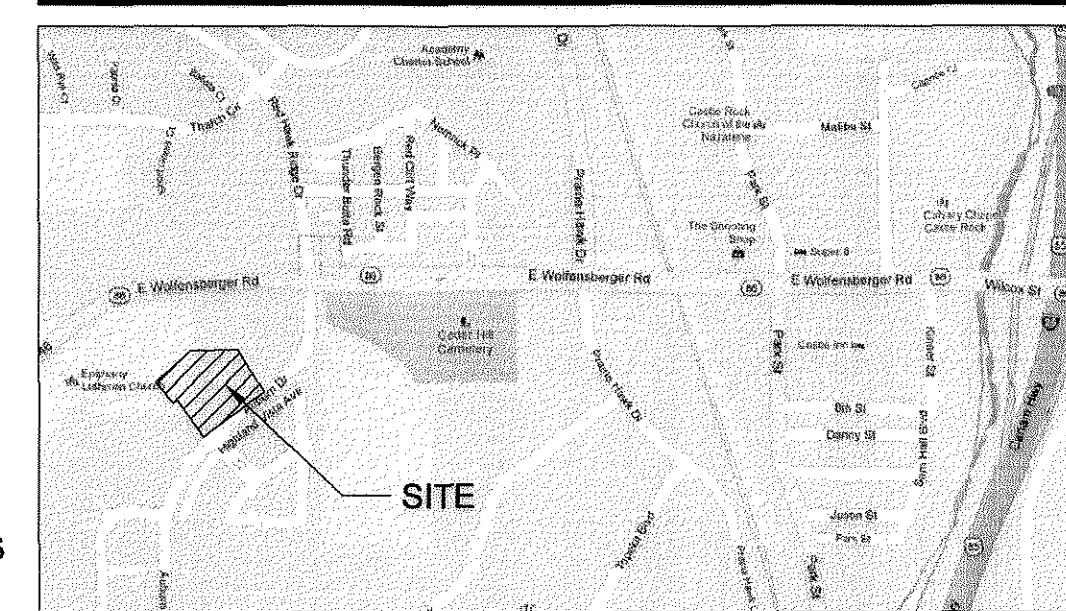
LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

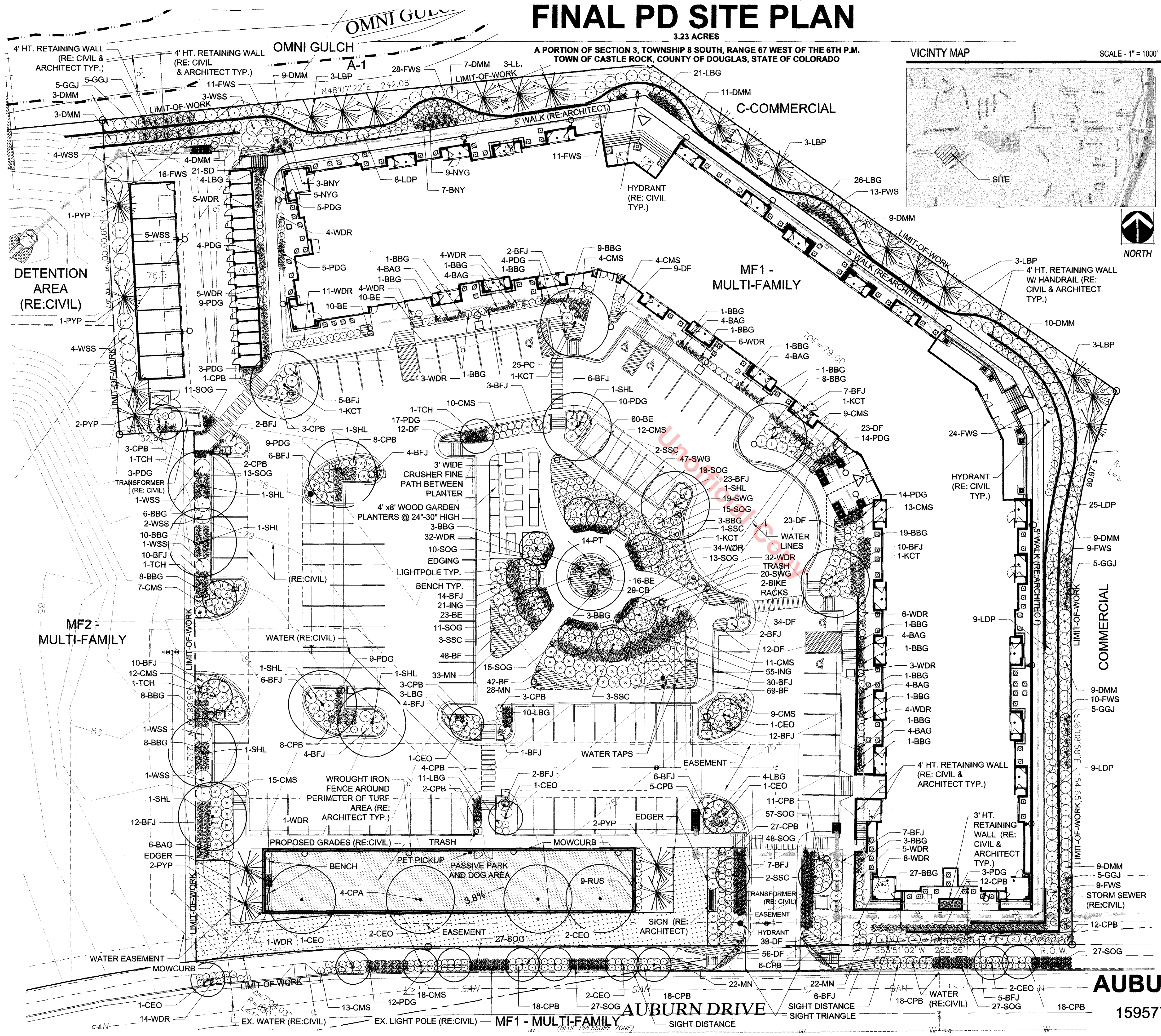
A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

VICINITY MAP

SCALE - 1" = 100'



NORTH

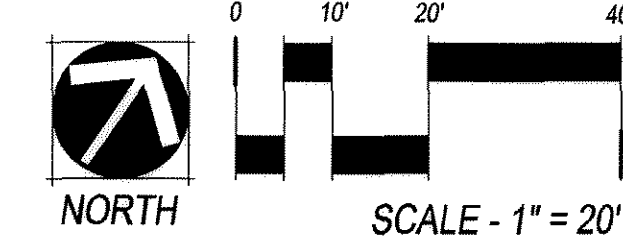
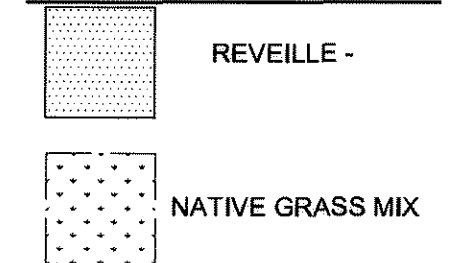


*PARTIAL PLANT SCHEDULE
(SEE SHEET 7 FOR COMPLETE SCHEDULE)

SYMBOL	TAG	COMMON NAME	BOTANICAL NAME	QTY
DECIDUOUS CANOPY TREES				
KCT		KENTUCKY COFFEE TREE	GYMNOCLADUS DIOICUS	5
CEO		COLUMNAR ENGLISH OAK	QUERCUS ROBUR 'FASTIGIATA'	14
SHL		SHADEMASTER HONEY LOCUST	GLEDTISIA TRIANCANTHOS VAR. INERMIS 'SHADEMASTER'	9
CPA		CATALPA	CATALPA SPECIOSA	4
ORNAMENTAL TREES				
TCH		THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI VAR. INERMIS	4
SSC		SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	11
EVERGREEN TREES				
LBP		LIMBER PINE	PINUS FLEXILIS	15
PYP		PINON PINE	PINUS EDULIS	8
EVERGREEN GROUNDCOVERS				
BFJ		BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	205
UPRIGHT EVERGREENS				
GGJ		GRAY GLEAM JUNIPER	JUNIPERUS SCOPIULORUM 'GRAY GLEAM'	25
BNY		BANANA YUCCA	YUCCA BACCATA	10
NYG		NATIVE YUCCA	YUCCA GLAUCA	14
DECIDUOUS SHRUBS				
LDP		LEADPLANT	AMORPHA CANESCENS	52
FWS		FOUR WING SALTBUSH	ATRIPLEX CANESCENS	131
CPB		CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	184
CMS		COMPACT BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS FIRST CHOICE	137
DMM		DWARF MOUNTAIN MAHOGANEY	CERCOCARPUS INTRICATUS	83
WSS		WESTERN SAND CHERRY	PRUNUS BESSEYI	23
WDR		WOODS ROSE	ROSA WOODSII	182
PERENNIALS				
PT		PUSSYTOES	ANTENNARIA DIOICA	14
CB		COLUMBINE	AQUILEGIA HYBRIDS	29
SD		SUNDRUPS	CALYOPHUS HARTWEGII VAR. FENLERI	21
PC		PURPLE CONEFLOWER	ECHINEACEA PURPUREA	25
BF		BLANKET FLOWER	GAILLARDIA ARISTATA	159
DF		DWARF BLANKET FLOWER	GAILLARDIA ARISTATA 'GOBLIN'	208
MN		MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	105
BE		BEE BALM	MONARDA FISTULOSA	119
RUS		RUSSIAN SAGE	PEROVSKIA ATRIPLICIFOLIA	9
ORNAMENTAL GRASSES				
SOG		SIDEOATS GRASS	BOUPELLOUA CURTIPENDULA	320
BAG		BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	34
LBG		LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	78
BBG		BIG BLUESTEM GRASS	ANDROPOGON GERARDII	131
ING		INDIAN GRASS	SORGHASTUM NUTANS	76
SWG		SWITCHGRASS	PANICUM VIRGATUM	86
PDG		PRAIRIE DROPS EED	SPOROBOLUS HETEROLEPIS	121

NOTE: SEE CIVIL FOR DIMENSIONED PROPERTY LINES

*PARTIAL SEED MIX
(SEE SHEET 7 FOR COMPLETE SCHEDULE)



NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 872.7807
www.groundedbydesign.com

SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #630
TOWN OF CASTLE ROCK #1128
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN LLC.

LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN
FPD 12-0006
PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
6 OF 19



PWN Architects and Planners, Inc.
9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PLANT SCHEDULE										
SYMBOL	TAG	COMMON NAME	BOTANICAL NAME	QTY	SIZE	HT	WIDTH	HYDRO-ZONE	TYPE	REMARKS
DECIDUOUS CANOPY TREES										
	KCT	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS	5	2" CAL.	50	35	2	ADAPTIVE	MALE
	CEO	COLUMNAR ENGLISH OAK	QUERCUS ROBUR 'FASTIGIATA'	14	2" CAL.	50	10	2 & 3	ADAPTIVE	
	SHL	SHADEMASTER HONEY LOCUST	GLEDISIA TRIANCANTHOS VAR. INERMIS 'SHADEMASTER'	9	2" CAL.	45	40	2 & 3	ADAPTIVE	
	CPA	CATALPA	CATALPA SPECIOSA	4	2" CAL.	50	30	2 & 3 & 4	ADAPTIVE	
ORNAMENTAL TREES										
	TCH	THORNLESS COCKSPUR HAWTHORN	CRATAEGUS CRUS-GALLI VAR. INERMIS	4	1.5" CAL.	15	15	1 & 2	ADAPTIVE	
	SSC	SPRING SNOW CRABAPPLE	MALUS 'SPRING SNOW'	11	1.5" CAL.	25	15	2	ADAPTIVE	
EVERGREEN TREES										
	LBP	LIMBER PINE	PINUS FLEXILIS	15	6' HT.	30	15	1 & 2	NATIVE	
	PYP	PINON PINE	PINUS EDULIS	8	6' HT.	25	20	1	NATIVE	
EVERGREEN GROUNDCOVERS										
	BFJ	BUFFALO JUNIPER	JUNIPERUS SABINA 'BUFFALO'	205	5 GAL.	1	8	2	ADAPTIVE	
UPRIGHT EVERGREENS										
	GGJ	GRAY GLEAM JUNIPER	JUNIPERUS SCOPULORUM 'GRAY GLEAM'	25	6' HT.	15	6	1 & 2	ADAPTIVE	
	BNY	BANANA YUCCA	YUCCA BACCATA	10	5 GAL.	3	3	1	NATIVE	
	NYG	NATIVE YUCCA	YUCCA GLAUCA	14	5 GAL.	2	2	1	NATIVE	
DECIDUOUS SHRUBS										
	LDP	LEADPLANT	AMORPHA CANESCENS	52	5 GAL.	4	4	1 & 2	NATIVE	
	FWS	FOUR WING SALT BUSH	ATRIPLEX CANESCENS	131	5 GAL.	6	3	1	NATIVE	
	CPB	CRIMSON PYGMY BARBERRY	BERBERIS THUNBERGII 'CRIMSON PYGMY'	184	5 GAL.	2	3	2 & 3	ADAPTIVE	
	CMS	COMPACT BLUE MIST SPIREA	CARYOPTERIS X CLANDONENSIS FIRST CHOICE'	137	5 GAL.	3	3	2 & 3	ADAPTIVE	
	DMM	DWARF MOUNTAIN MAHOGANEY	CERCOCARPUS INTRICATUS	83	5 GAL.	4	4	1	NATIVE	
	WSS	WESTERN SAND CHERRY	PRUNUS BESSEYI	23	5 GAL.	6	5	2 & 3	NATIVE	
	WDR	WOODS ROSE	ROSA WOODSII	182	5 GAL.	3	4	1 & 2	NATIVE	
PERENNIALS										
	PT	PUSSYTOES	ANTENNARIA DIOICA	14	1 GAL.	2	1	2 & 3	NATIVE	
	CB	COLUMBINE	AQUILEGIA HYBRIDS	29	1 GAL.	3		2 & 3	NATIVE	
	SD	SUNDRUPS	CALYOPHUS HARTWEGII VAR. FENLERI	21	1 GAL.	0.5		1	NATIVE	
	PC	PURPLE CONEFLOWER	ECHINEACEA PURPUREA	25	1 GAL.	3		2 & 3	NATIVE	
	BF	BLANKET FLOWER	GAILLARDIA ARISTATA	159	1 GAL.	2.5	2.5	2	NATIVE	
	DF	DWARF BLANKET FLOWER	GAILLARDIA ARISTATA 'GOBLIN'	208	1 GAL.	1		2 & 3	NATIVE	
	MN	MAY NIGHT SALVIA	SALVIA NEMOROSA 'MAY NIGHT'	105	1 GAL.	1.5	1.5	2 & 3	NATIVE	
	BE	BEE BALM	MONARDA FISTULOSA	119	1 GAL.	3	1.5	2 & 3	NATIVE	
	RUS	RUSSIAN SAGE	PEROVSKIA ATRIPPLICIFOLIA	9	1 GAL.	5	4	1 & 2	ADAPTIVE	
ORNAMENTAL GRASSES										
	SOG	SIDEOATS GRASS	BOUTELOUA CURTIPENDULA	320	1 GAL.	2	1	2	NATIVE	
	BAG	BLUE AVENA GRASS	HELICTOTRICHON SEMPERVIRENS	34	1 GAL.	4	3	2 & 3	ADAPTIVE	
	LBG	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM	78	1 GAL.	3	3	1 & 2	NATIVE	
	BBG	BIG BLUESTEM GRASS	ANDROPOGON GERARDII	131	1 GAL.	6	3	1 & 2	NATIVE	
	ING	INDIAN GRASS	SORGHASTUM NUTANS	76	1 GAL.	6	3	1 & 2	ADAPTIVE	
	SWG	SWITCHGRASS	PANICUM VIRGATUM	86	1 GAL.	5	2	1 & 2	NATIVE	
	PDG	PRAIRIE DROPSSEED	SPOROBOLUS HETEROLEPIS	121	1 GAL.	3	3	2 & 3	NATIVE	

- GENERAL NOTES:**
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL PLANT QUANTITIES. THE PLANT LIST IS INTENDED AS A REFERENCE ONLY.
 - OWNERS REPRESENTATIVE IS TO APPROVE ALL PLANT MATERIAL PRIOR TO INSTALLATION WITH PRIOR NOTICE OF 48 HOURS.
 - PLANT MATERIAL IS TO HAVE IDENTIFICATION TAGS ON 10 OF EACH SPECIES SHOWING GENUS, SPECIES AND VARIETY, ETC. PLANT TAGS TO REMAIN ON TREES AND SHRUBS UNTIL TOWN INSPECTION.
 - ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH AAN SPECIFICATIONS FOR NUMBER ONE GRADE.
 - ALL TREES TO BE BALLED AND BURLAPPED, ROOT CONTROL BAGS OR CONTAINERIZED.
 - MINOR CHANGES IN SPECIES AND PLANT LOCATIONS MAY BE MADE DURING CONSTRUCTION, AS REQUIRED BY SITE CONDITIONS OR PLANT AVAILABILITY. OVERALL QUANTITY AND DESIGN CONCEPT TO BE CONSISTENT WITH APPROVED PLANS.
 - PRIOR TO INSTALLATION OF PLANT MATERIALS AND SOD, AREAS THAT HAVE BEEN COMPACTED SHALL BE THOROUGHLY LOOSENEED.
 - ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT THE RATE OF 3 CUBIC YARDS PER 1000 SF ROTOTILLED TO A DEPTH OF 4". NO ORGANIC SOIL PREPARATION WITHIN THE FIRST FIVE FEET ADJACENT TO BUILDING.
 - ALL SHRUB AND ORNAMENTAL GRASS BEDS ARE TO BE MULCHED WITH MIN. 3" DEPTH ROCK MULCH OVER SPECIFIED GEO-TEXTILE WEED CONTROL FABRIC. ROCK MULCH SHALL BE 1-1/2" WESTERN RIVER ROCK OR APPROVED EQUAL. CONTRACTOR SHALL PROVIDE SAMPLES OF ROCK MULCH FOR LANDSCAPE ARCHITECT'S APPROVAL, PRIOR TO PURCHASE OR INSTALLATION. FINAL SELECTION SHALL BE MADE FROM SAMPLES. CUT WEED CONTROL FABRIC AROUND INDIVIDUAL ORNAMENTAL GRASS TO ALLOW FOR FULL GROWTH OF EACH PLANT. ALL PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 4" DEPTH SHREDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED IN PERENNIAL AREAS.
 - SHRUB BEDS ARE TO BE CONTAINED BY EDGING 5.5" MIN. DEPTH, (PERMALOCK ALUMINUM 'CLEANLINE', CONCRETE MOWCURE OR EQUAL). EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, OR WALKS. MATERIAL TO BE APPROVED BY OWNER.
 - THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
 - THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
 - LANDSCAPE TO BE INSTALLED PER CITY STANDARDS AND SPECIFICATIONS. IN CASES WHERE DISCREPANCIES EXIST BETWEEN PLANS AND CITY STANDARDS, CONTACT LANDSCAPE ARCHITECT FOR CLARIFICATION.
 - ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE.
 - ALL SHRUB BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP OR SPRAY IRRIGATION SYSTEM OR ACCEPTABLE ALTERNATIVE. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF THE INDIVIDUAL PLANT MATERIAL.
 - KEEP ALL TREES 10' CLEAR FROM WATER AND SANITARY SEWER MAINS AND 4' CLEAR FROM GAS LINES. KEEP SHRUBS 4' CLEAR FROM WATER AND SANITARY SEWER LINES.
 - A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE NINYO & MOORE GEO-TECHNICAL REPORT PAGE 30, 9.10: "VEGETATION THAT MAY NEED IRRIGATION SHOULD NOT BE LOCATED WITHIN 5 FEET OF STRUCTURE FOUNDATION PERIMETERS. PLANTERS, IF ANY, SHOULD BE MAINTAINED 5 FEET OR MORE FROM THE BUILDING AND CONSTRUCTED WITH CLOSED BOTTOMS OR WITH DRAINAGE SYSTEMS TO DRAIN EXCESS IRRIGATION AWAY FROM THE BUILDING. IRRIGATION SPRINKLER HEADS SHOULD BE DEPLOYED SO THAT APPLIED WATER IS NOT INTRODUCED WITHIN 5 FEET OF THE FOUNDATION PERIMETERS. LANDSCAPE IRRIGATION OUTSIDE THE 5-FOOT LIMIT SHOULD BE LIMITED TO SUSTAIN HEALTHY PLANT GROWTH."
 - TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL SHALL INSTALL THE LANDSCAPE AND IRRIGATION.
 - MAINTENANCE SHALL MEET THE TOWN OF CASTLE ROCK REQUIREMENTS.

SEED MIX - ROTOR & SPRAY IRRIGATED

	REVELLE - KENTUCKY AND TEXAS BLUEGRASS F1 HYBRID.
	NATIVE GRASS MIX

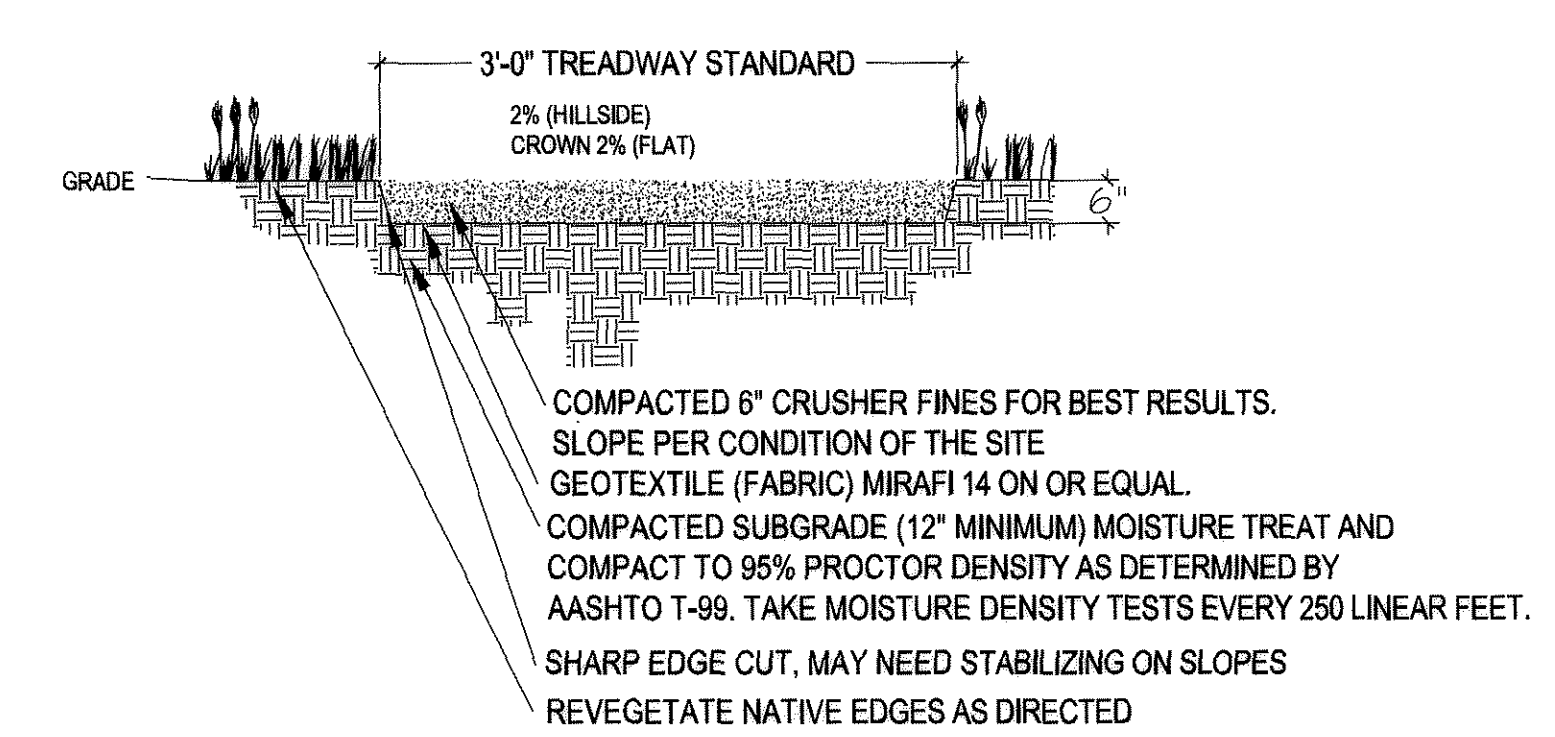
CASTLE ROCK - COLORADO MIX		
COMMON NAME	% OF TOTAL	PLS PER ACRE
WESTERN WHEATGRASS	20	5.0
SODAR STREAMBANK WHEATGRASS	15	3.8
SLENDER WHEATGRASS	20	5.0
CANADA WILDRYE	5	1.3
BUFFALO GRASS	15	3.8
SHERMAN BIG BLUEGRASS	10	2.5
BLUE GRAMA	15	3.8
TOTAL	100	25

SITE ANALYSIS	
NATURAL FEATURES:	NONE
PREVAILING WINDS:	NORTH/NORTH-EAST
EXPOSURE:	NORTH
SLOPE:	4-12% NORTHWEST & NORTHEAST
SOIL TYPE PER GEOTECH REPORT:	CLAYEY ALLUVIUM
VEGETATION:	GRASSES
USE ANALYSIS	
LAND USE:	MF1 - MULTI-FAMILY
FUNCTIONS:	SENIOR APARTMENT RENTAL
ACTIVITIES:	SENIOR HOUSING, PASSIVE AREA, GARDENS

LANDSCAPE BUFFER REQUIREMENTS						
Buffer Description / Length / Adj. Land Use	Actual Square Footage	Minimum Square Footage	Trees Required 2/1000 SF	Trees Provided	Shrubs Required 4/1000 SF	Shrubs Provided
Parking Lot Landscape Area	8,098	N.A.	16	18	32	260
20% Min. Landscaped Area	N.A.	28,140	56	60	113	687
R.O.W. Landscaped Area	1,580	N.A.	N.A.	10	N.A.	81

SITE DATA TABLE						
Site Data	Actual Square Footage	Minimum Area SF Required	Maximum %	% Required	% Provided	
Gross Site Area: (3.23 Acres)	140,700	N.A.	N.A.	N.A.	100.0	
Building Coverage	35,412	N.A.	N.A.	N.A.	25.2	
Hardscape Area	60,728	N.A.	N.A.	N.A.	43.2	
Total Landscaped Area (Excluding R.O.W.)	44,560	28,140	N.A.	20	31.7	
Landscaped Area (Shrubs, Perennials, Ornamental Grasses)	36,122	N.A.	N.A.	N.A.	N.A.	
Irrigated Turf & Native Grass	8,438	N.A.	60	N.A.	18.9	
Total Non-Living Ornamental	6,872	N.A.	N.A.	N.A.	N.A.	
Permanently Irrigated Landscape	37,688	N.A.	N.A.	N.A.	N.A.	
R.O.W. Landscaped Area	1,580	N.A.	N.A.	N.A.	N.A.	

1 CRUSHER FINES DETAIL NTS



- NOTE:**
- THE EXCAVATED AREA TO BE COMPACTED USING A DOUBLE-DRUM VIBRATORY ROLLER.
 - TREAD SURFACE ("CRUSHERFINE" OR "GRANITE SANDS") TO BE RAKED BY HAND OR MACHINE TO PROVIDE ADEQUATE OUTSLOPING (2%).
 - WHILE WET, THE SURFACE IS COMPACTED DOWN TO THE FINAL GRADE WITH THE VIBRATORY ROLLER.
 - IN WET AREAS THE TRENCH SHOULD BE COMPACTED TO 8" DEPTH. COMPACTED SUBGRADE IS TO BE COVERED WITH GEOTEXTILE FABRIC PRIOR TO INSTALLATION OF GRANITE SANDS. FOR AREAS WITH A CROSS SLOPE, A DRAINAGE SWALE IS INSTALLED ON THE UPHILL SIDE OF THE TRAIL.
 - TRAIL ALIGNMENT SHOULD WORK WITH THE NATURAL TOPOGRAPHY.
 - PROVIDE OCCASIONAL VIEWING AND SEATING AREAS ALONG THE PATH TO ACCOMMODATE PASSIVE RECREATION AREAS.
 - TRAIL COLOR TO BE APPROVED BY OWNER'S REPRESENTATIVE.
 - AGGREGATE PAVING TO BLEND 'STABILIZER' OR EQUAL. BINDER ADDITIVE TO BE MIXED PER MANUFACTURER'S RECOMMENDATION.
 - CONTACT: STABILIZER SOLUTIONS INC. 205 SOUTH 28TH ST., PHOENIX, AZ 85034; PHONE (602) 225-5900, (800) 336-2468; FAX (602) 225-5902; WEBSITE STABILIZERSOLUTIONS.COM

- NOTE:**
- PARKING LOT TREES ARE INCLUDED IN THE 20% MIN. LANDSCAPED AREA COUNT.
 - R.O.W. LANDSCAPED AREA TREES ARE NOT INCLUDED IN THE 20% MIN. LANDSCAPED AREA COUNT.

NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 872-7807
www.groundedbydesign.com
SCOTT OHM, P.L.L.C.
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #630
TOWN OF CASTLE ROCK #1128
THIS DOCUMENT AND THE DESIGN AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

**SHEET
7 OF 19**

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260



9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9800 fax.303.649.9870
pwnarchitects.com

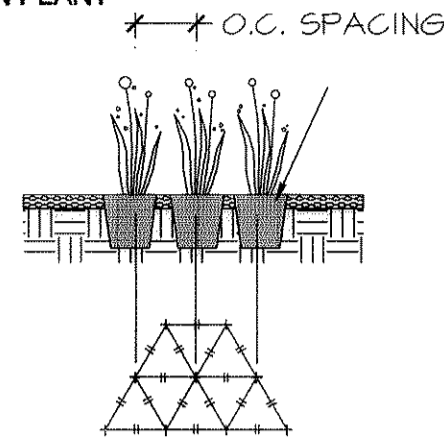
LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

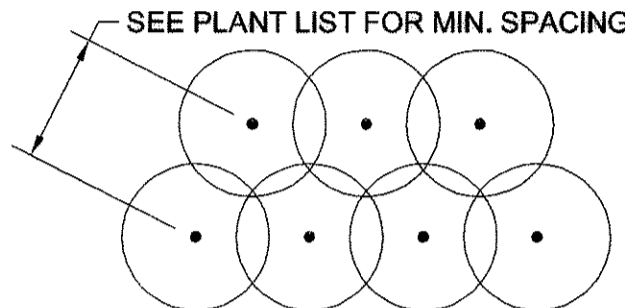
A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

1 PERENNIAL / POTTED DETAILS NTS

+ - CENTER OF PLANT
PLANT SPACING AS
SPECIFIED ON PLANT
SCHEDULE

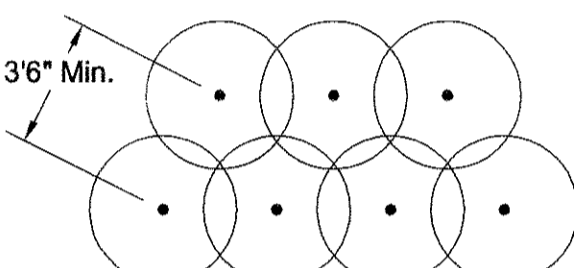


LAYOUT DETAIL



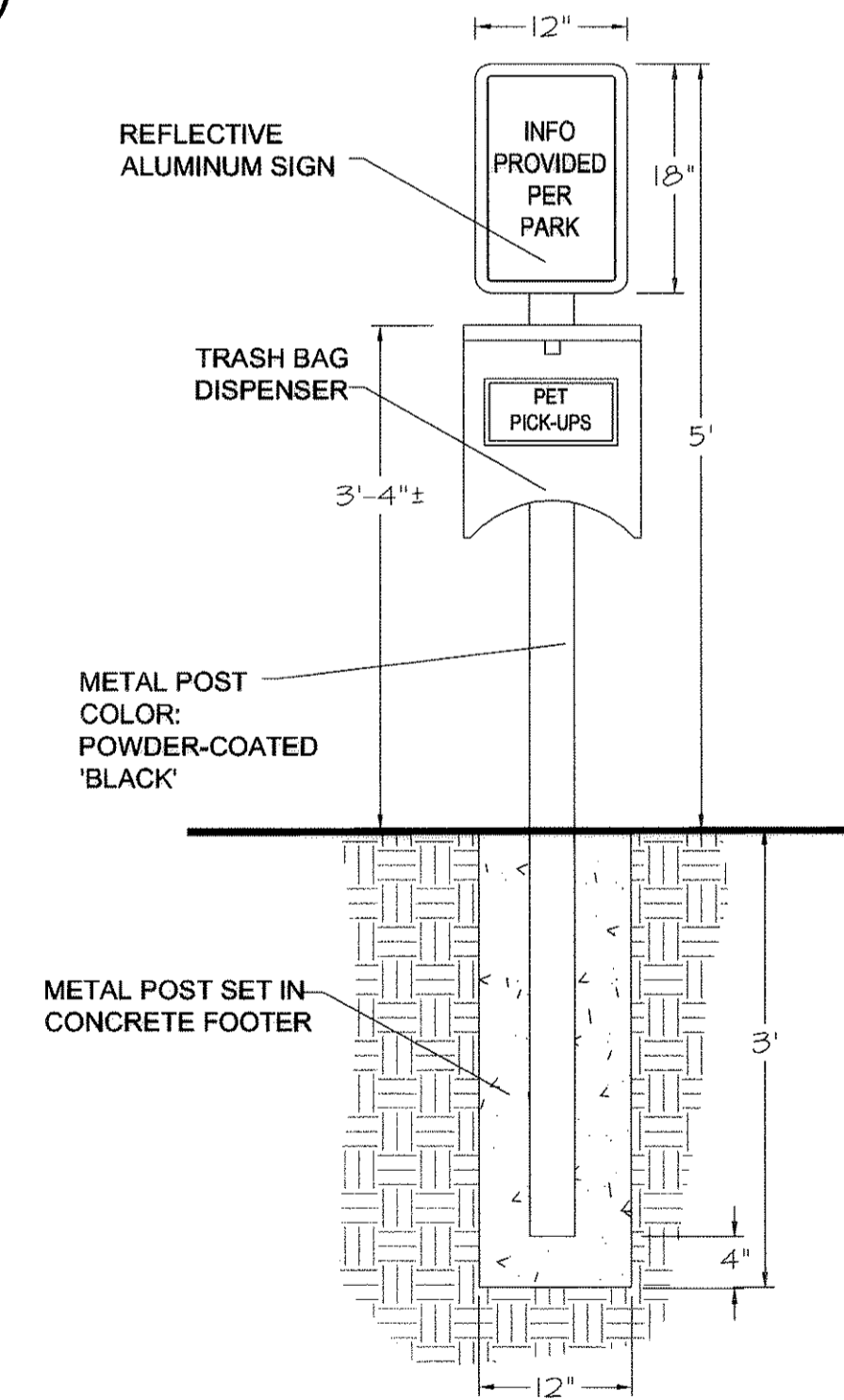
NOTE:
1. STANDARD TRIANGULATION TO FOLLOW SPACING
REQUIREMENTS FOUND ON PLANT LIST.
2. PLAN TO TAKE PRECEDENT OVER GENERAL DETAIL.

SHRUB LAYOUT DETAIL



NOTE:
1. STANDARD TRIANGULATION TO BE NO LESS THAN 3'6"
BETWEEN SHRUBS.
2. PLAN TO TAKE PRECEDENT OVER GENERAL DETAIL.

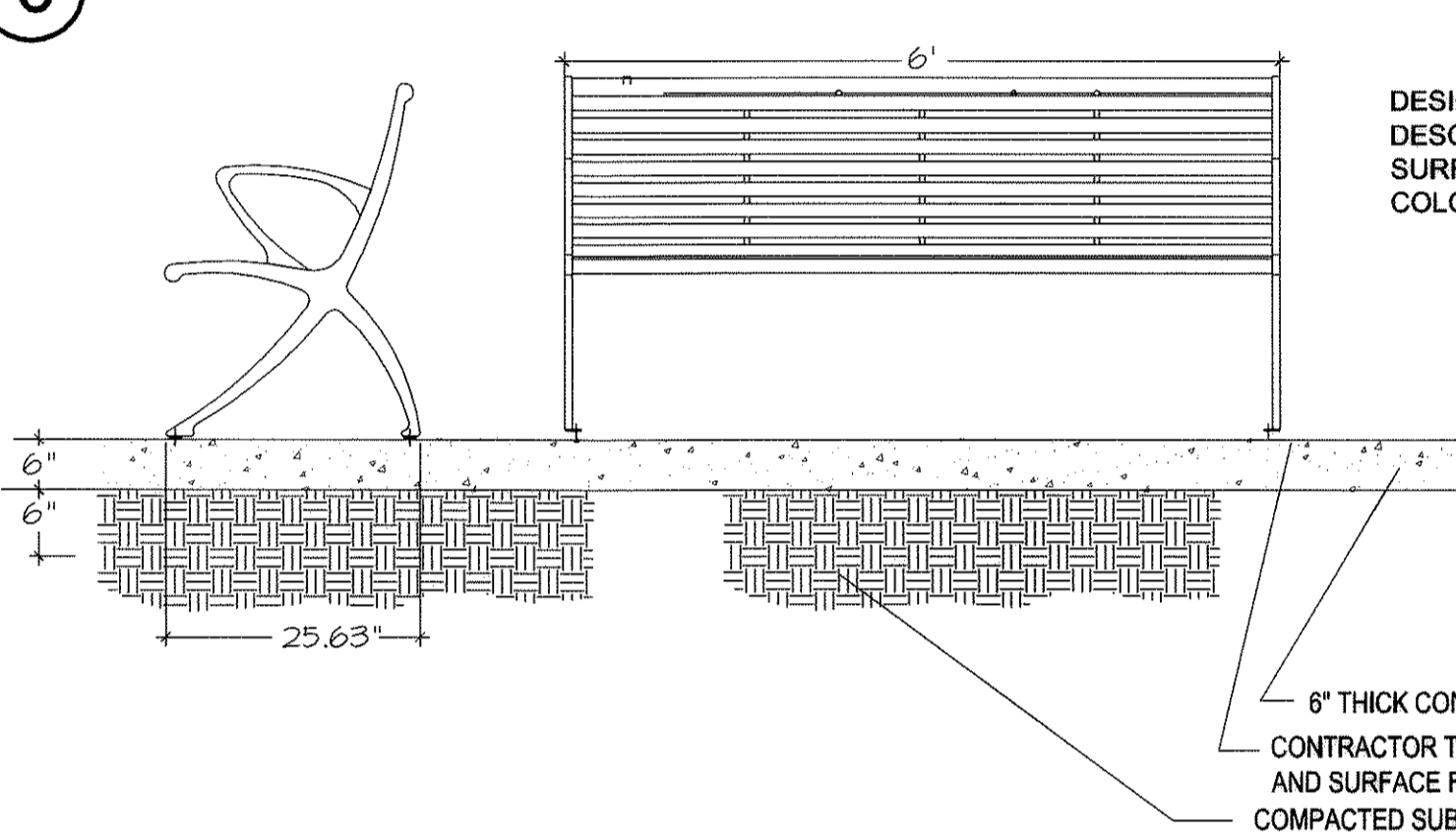
9 DOGGIE PICK UP STATION NTS



2 SHRUB PLANTING NTS

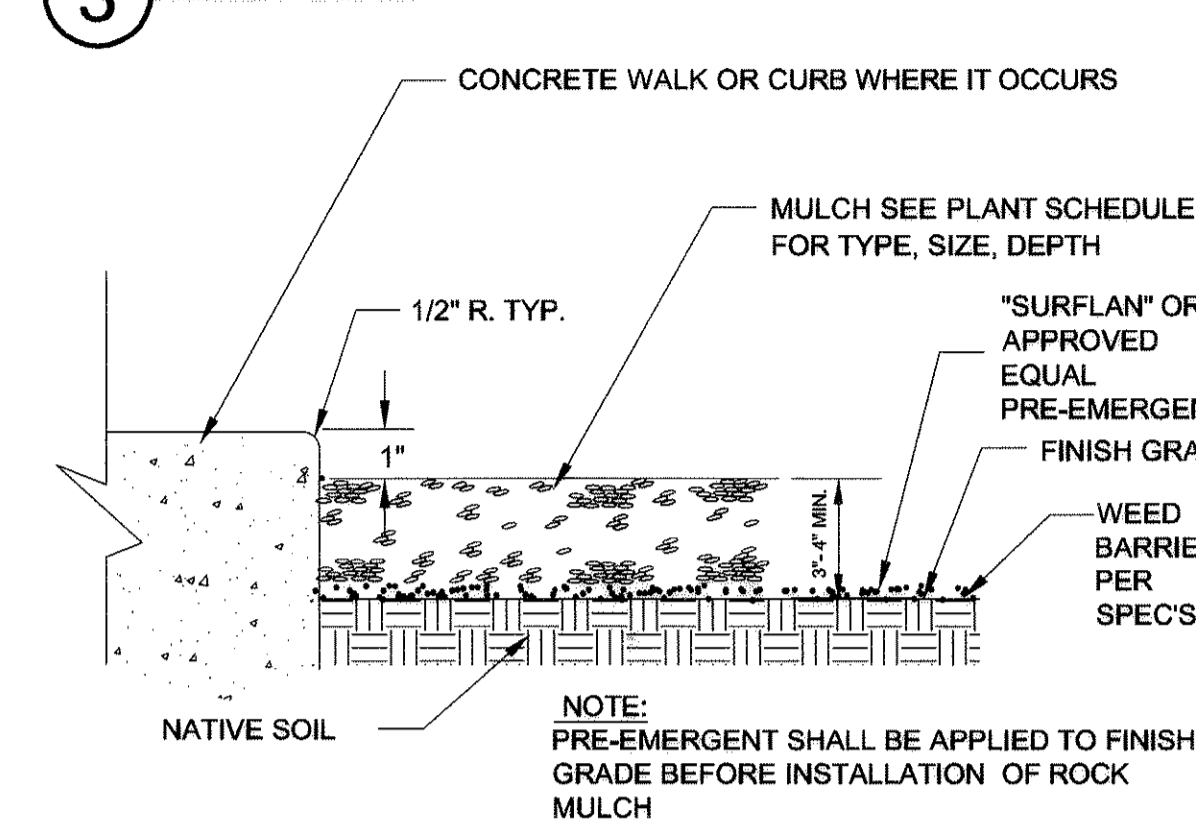
- PRUNE ALL DEAD OR DAMAGED WOOD PRIOR TO PLANTING.
- SET SHRUB 1" HIGHER THAN THE FINISHED BED GRADE.
- DIG PLANT PIT TWICE AS WIDE & HIGH AS THE CONTAINER.
- APPLY SPECIFIED MULCH.
- CARE SHOULD BE TAKEN NOT TO DAMAGE THE SHRUB OR ROOTBALL WHEN REMOVING IT FROM ITS CONTAINER.
- ALL JUNIPER PLANTS SHOULD BE PLANTED SO TOP OF ROOT MASS OCCURS AT FINISH GRADE OF MULCH LAYER.
- LOOSEN SIDES OF PLANT PIT & WATER IN WELL TO ELIMINATE WELL TO ELIMINATE LARGE AIR POCKETS.
- FILL PLANT PIT WITH 1/2 SPECIFIED SOIL MIX & 1/2 PIT SOIL.
- NOTE: BROKEN OR CRUMBLING ROOTBALLS WILL BE REJECTED.
- COMPACTED BACKFILL MIX

6 BENCH DETAIL ELEVATION NTS



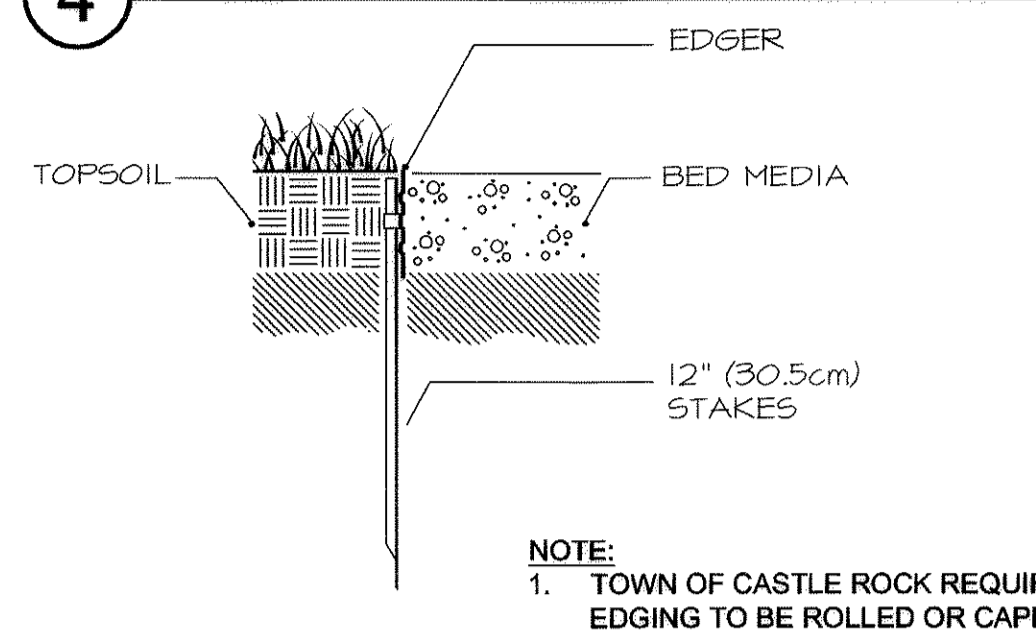
DESIGN GROUP: PARC VUE™
DESCRIPTION: BENCH, BACKED, END ARMS, 72" LENGTH,
SURFACE MOUNT
COLOR: POWDER-COATED 'BLACK'

3 MULCH DETAIL NTS



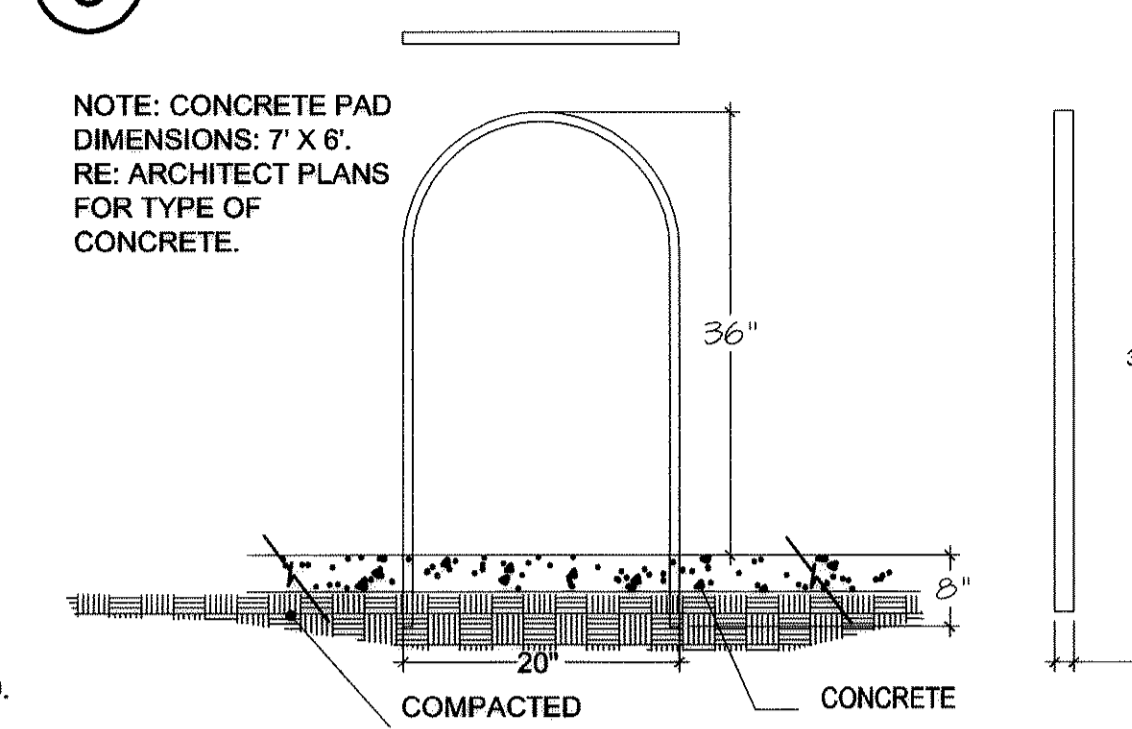
NOTE:
PRE-EMERGENT SHALL BE APPLIED TO FINISH GRADE BEFORE INSTALLATION OF ROCK MULCH

4 EDGING DETAIL NTS



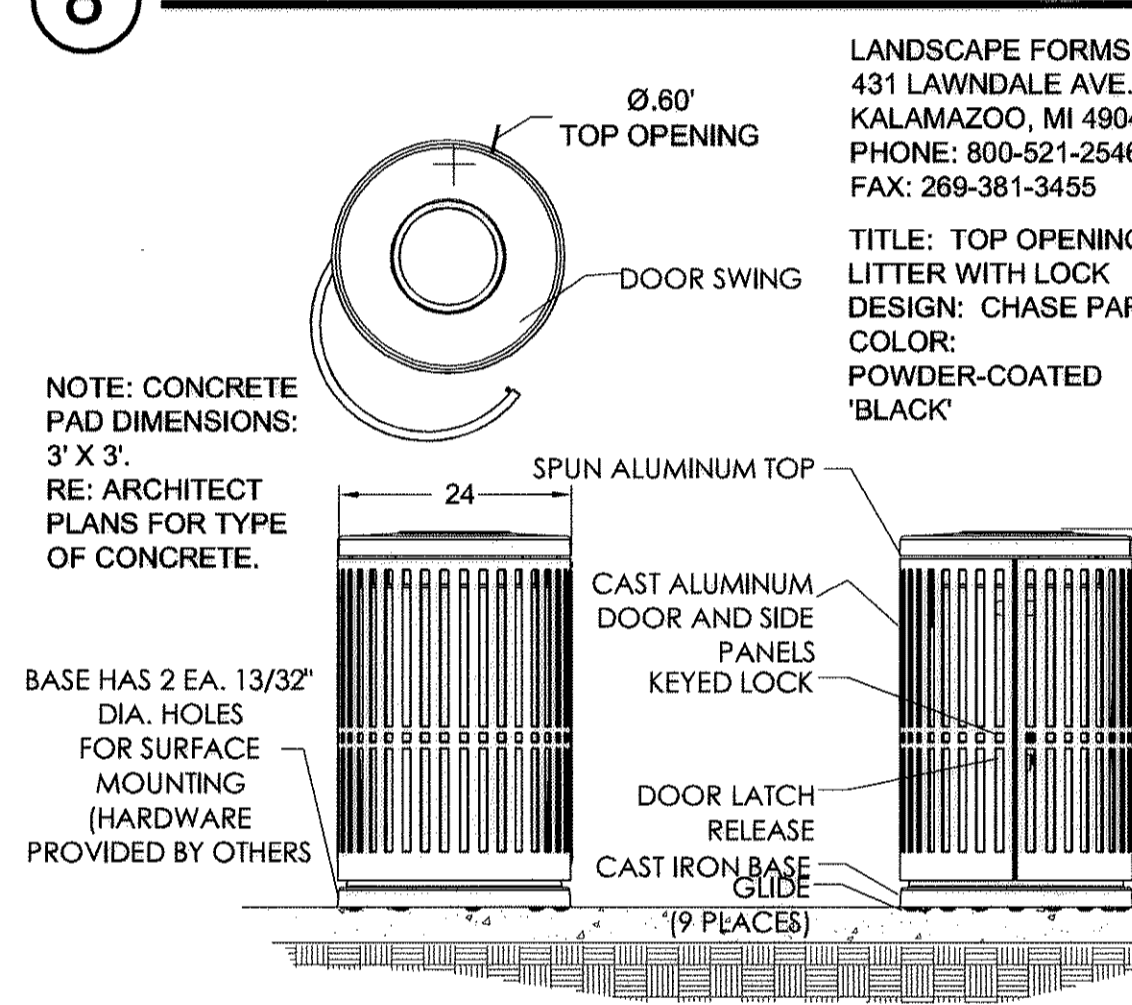
NOTE:
1. TOWN OF CASTLE ROCK REQUIRES EDGING TO BE ROLLED OR CAPPED.
2. INSTALL PER MANUFACTURER'S DIRECTION.
3. COMPACT GRADES ADJACENT TO EDGING TO AVOID SETTLING. FINISH GRADE TO BE 1/2" (1.3cm) BELOW TOP OF EDGING.
4. CORNERS - CUT BASE OF EDGING UP HALF WAY AND FORM A CONTINUOUS CORNER.

5 BIKERACK DETAIL NTS



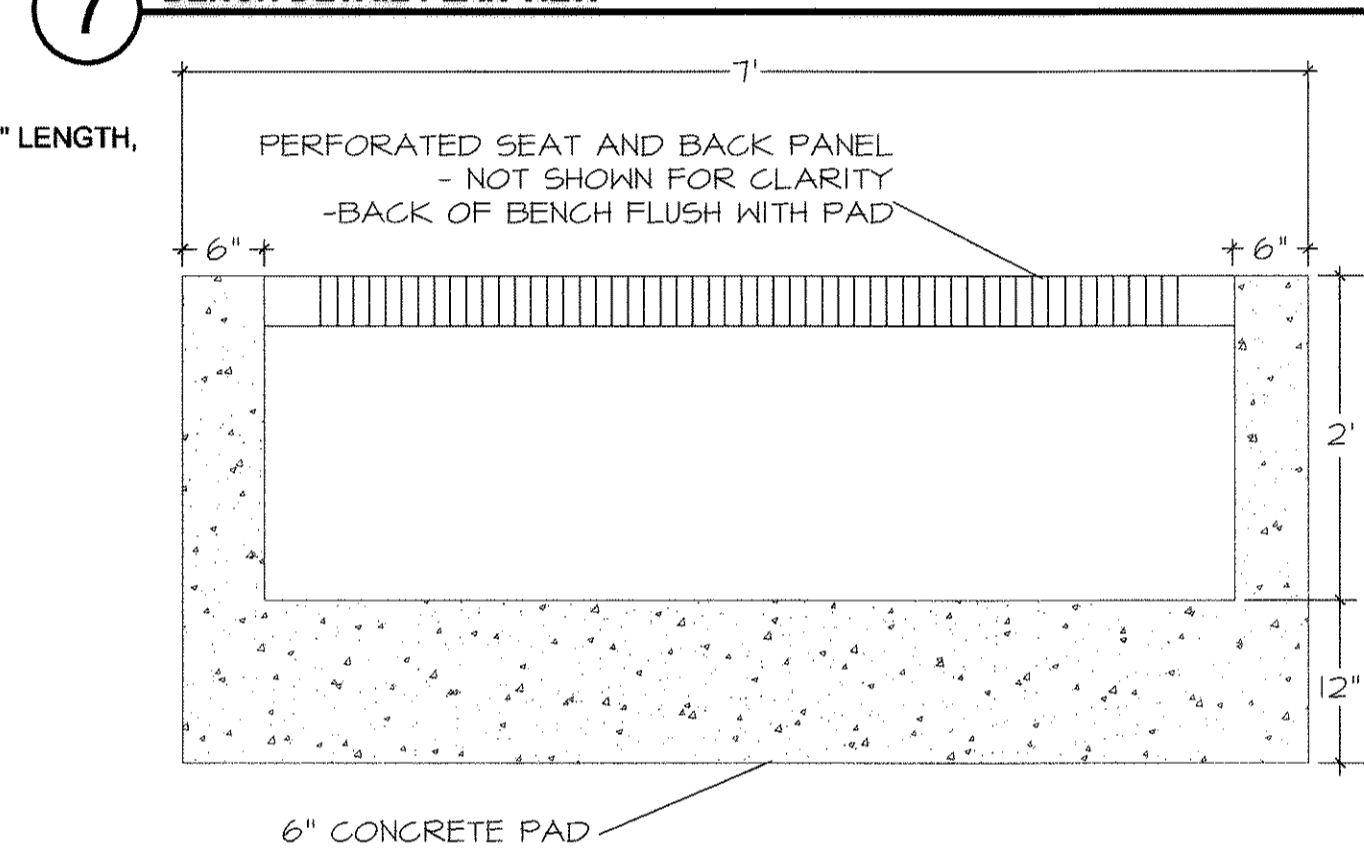
NOTE: CONCRETE PAD DIMENSIONS: 7' X 6'.
RE: ARCHITECT PLANS FOR TYPE OF CONCRETE.
CONTACT: BRP ENTERPRISES INC. 3200 'O' STREET LINCOLN, NE 688510 PH. 888.438.5311 FAX 888.438.5312 WWW.BRPONLINE.COM
NOTE: MATERIALS: FRAME 1/2" X 2" STEEL FLAT BAR. Model # - LL-02-PF Collection: Elements Product Type: Bike Rack Product Color: 'BLACK' MOUNT PER MANUFACTURER'S RECOMMENDATION.

8 TRASH CAN DETAIL NTS

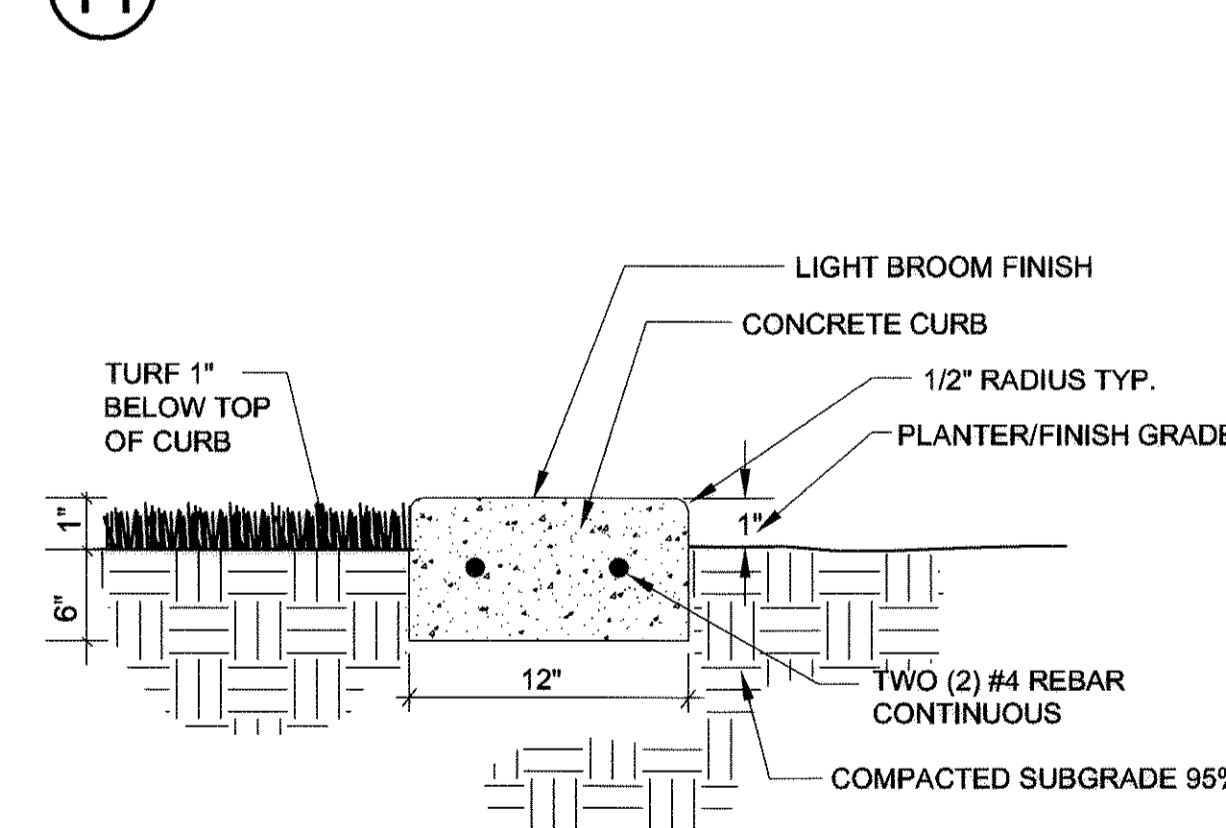


NOTE: CONCRETE PAD DIMENSIONS: 3' X 3'.
RE: ARCHITECT PLANS FOR TYPE OF CONCRETE.
LANDSCAPE FORMS 431 LAWNDALE AVE. KALAMAZOO, MI 49048 PHONE: 800-521-2546 FAX: 269-381-3455
TITLE: TOP OPENING LITTER WITH LOCK DESIGN: CHASE PARK COLOR: POWDER-COATED 'BLACK'
BASE HAS 2 EA. 13/32" DIA. HOLES FOR SURFACE MOUNTING (HARDWARE PROVIDED BY OTHERS)

7 BENCH DETAIL PLAN VIEW NTS

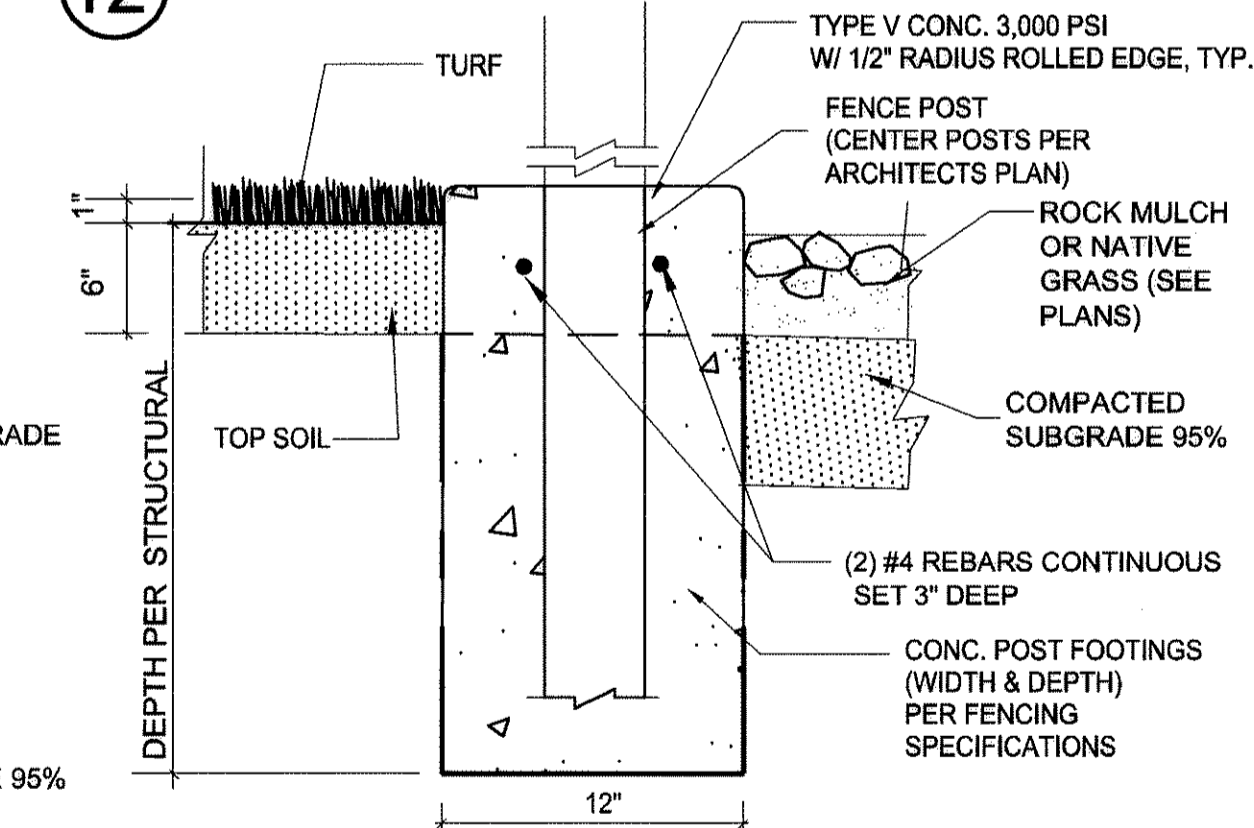


11 12" CONCRETE MOW STRIP NTS



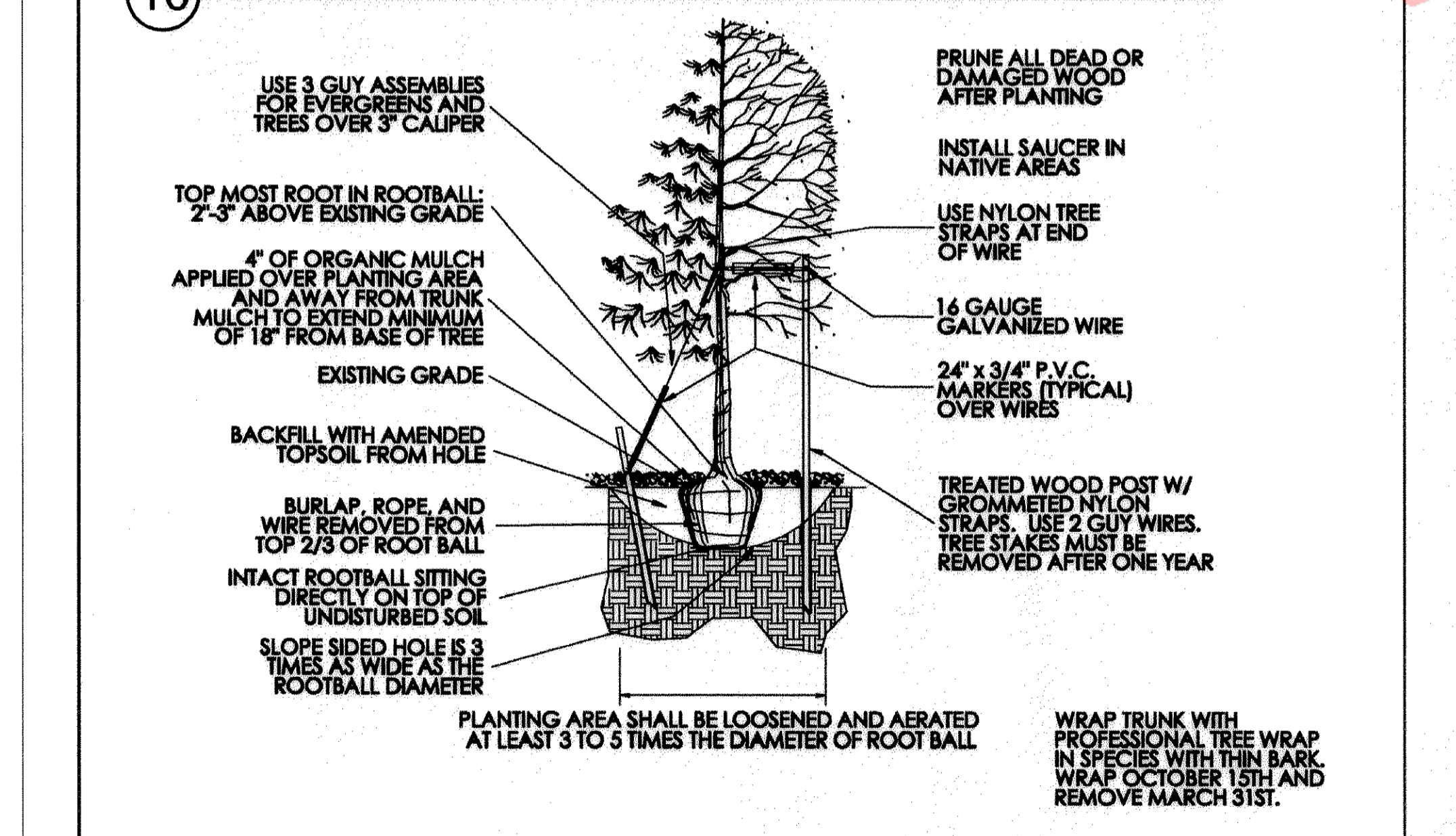
NOTE:
PROVIDE CONTROL JOINTS @ 6' O.C. & EXPANSION JOINTS @ 24' O.C.
TYPE V CONC. 3,000 PSI

12 12" CONCRETE MOWSTRIP WITH POST & FOOTING NTS



CONTRACTOR TO PROVIDE STAMPED STRUCTURAL DRAWINGS FOR CONCRETE FOOTINGS

10 TREE PLANTING NTS



USE 3 GUY ASSEMBLIES FOR EVERGREENS AND TREES OVER 3" CALIPER
PRUNE ALL DEAD OR DAMAGED WOOD AFTER PLANTING
INSTALL SAUCER IN NATIVE AREAS
USE NYLON TREE STRAPS AT END OF WIRE
4" OF ORGANIC MULCH APPLIED OVER PLANTING AREA AND AWAY FROM TRUNK MULCH TO EXTEND MINIMUM OF 18" FROM BASE OF TREE
16 GAUGE GALVANIZED WIRE
24" x 3/4" P.V.C. MARKERS (TYPICAL) OVER WIRES
EXISTING GRADE
BACKFILL WITH AMENDED TOPSOIL FROM HOLE
TREATED WOOD POST W/ GROMMETTED NYLON STRAPS. USE 2 GUY WIRES. TREE STAKES MUST BE REMOVED AFTER ONE YEAR
BURLAP ROPE AND WIRE REMOVED FROM TOP 2/3 OF ROOT BALL
INTACT ROOTBALL SITTING DIRECTLY ON TOP OF UNDISTURBED SOIL
SLOPE SIDED HOLE IS 3 TIMES AS WIDE AS THE ROOTBALL DIAMETER
PLANTING AREA SHALL BE LOOSENED AND AERATED AT LEAST 3 TO 5 TIMES THE DIAMETER OF ROOT BALL
WRAP TRUNK WITH PROFESSIONAL TREE WRAP IN SPECIES WITH THIN BARK. WRAP OCTOBER 15TH AND REMOVE MARCH 31ST.

DRAWN BY: GLA	REV. DATE:	STD. DWG NO.:
APPROVED BY: RS		
DATE: 12/30/09		L-1

Unofficial Copy

NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 972-7807
www.groundedbydesign.com
SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #830
TOWN OF CASTLE ROCK #1128
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

FPD 12-0006
PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
8 OF 19



9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

POINT OF CONNECTION (P.C.#1)

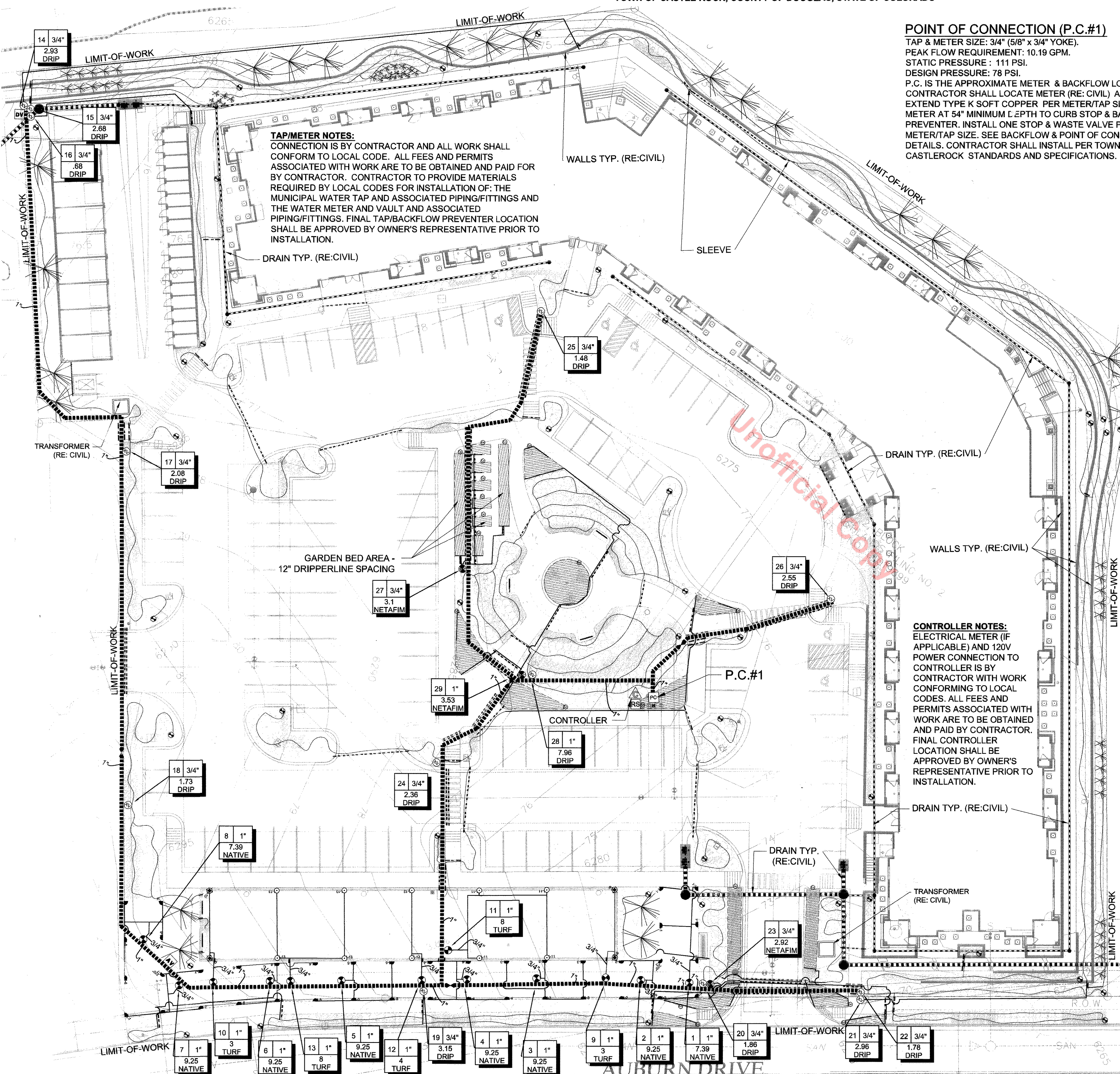
TAP & METER SIZE: 3/4" (5/8" x 3/4" YOKE).
PEAK FLOW REQUIREMENT: 10.19 GPM.
STATIC PRESSURE: 111 PSI.
DESIGN PRESSURE: 78 PSI.
P.C. IS THE APPROXIMATE METER & BACKFLOW LOCATION.
CONTRACTOR SHALL LOCATE METER (RE: CIVIL) AND
EXTEND TYPE K SOFT COPPER PER METER/TAP SIZE FROM
METER AT 54" MINIMUM LENGTH TO CURB STOP & BACKFLOW
PREVENTER. INSTALL ONE STOP & WASTE VALVE PER
METER/TAP SIZE. SEE BACKFLOW & POINT OF CONNECTION
DETAILS. CONTRACTOR SHALL INSTALL PER TOWN OF
CASTLEROCK STANDARDS AND SPECIFICATIONS.

TAP/METER NOTES:

CONNECTION IS BY CONTRACTOR AND ALL WORK SHALL
CONFORM TO LOCAL CODE. ALL FEES AND PERMITS
ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR
BY CONTRACTOR. CONTRACTOR TO PROVIDE MATERIALS
REQUIRED BY LOCAL CODES FOR INSTALLATION OF: THE
MUNICIPAL WATER TAP AND ASSOCIATED PIPING/FITTINGS AND
THE WATER METER AND VAULT AND ASSOCIATED
PIPING/FITTINGS. FINAL TAP/BACKFLOW PREVENTER LOCATION
SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO
INSTALLATION.

CONTROLLER NOTES:

ELECTRICAL METER (IF
APPLICABLE) AND 120V
POWER CONNECTION TO
CONTROLLER IS BY
CONTRACTOR WITH WORK
CONFORMING TO LOCAL
CODES. ALL FEES AND
PERMITS ASSOCIATED WITH
WORK ARE TO BE OBTAINED
AND PAID BY CONTRACTOR.
FINAL CONTROLLER
LOCATION SHALL BE
APPROVED BY OWNER'S
REPRESENTATIVE PRIOR TO
INSTALLATION.



SYMBOL	DESCRIPTION	MANUFACTURER /MODEL	SIZE	REMARKS	DETAIL
PC	POINT OF CONNECTION		SIZE AS PER LINE	REF CIVIL PLANS	IR-10
B	BACKFLOW PREVENTER W/ ENCLOSURE	FEBCO 825YA W/ GUARDSHACK	3/4"	RPPA	IR-1
IC	IRRIGATION CONTROLLER	RAINBIRD ESP-LXME W/ FLOW SMART MODULE & ET MANAGER CARTRIDGE	32 STATION PEDESTAL MOUNT, SS	INSTALL GROUNDING RODS	IR-27
QC	QUICK COUPLING VALVE W/KEY	RAINBIRD 44-LRC	1"	SIZE AS PER PLAN	IR-6
RV	REMOTE CONTROL VALVE	RAINBIRD PEB	SIZE AS NOTED		IR-16
XV	XERIGATION CONTROL VALVE & WYE FILTER & PRESSURE REDUCING VALVE	RAINBIRD XCZ-075 PRF RAINBIRD XCZ-100 PRF	3/4" 1"	3 GPM MAX. 10 GPM MAX.	IR-19
---	SLEEVE UNDER PAVED AREAS	SCH 40 PVC / CLASS 200 PVC	(SEE CHART BELOW)		C
=====	PVC MAINLINE	SCH 40 PVC CLASS 200 PVC RT	ALL MAINLINE IS 1" SIZE AS PER PLAN	1" TO 3"	N.A.
---	PVC LATERAL LINE	CLASS 200 PVC BE	3/4" UNLESS NOTED	4" AND LARGER	N.A.
~~~~~	DRIP TUBING	TORO BLUESTRIFE PE PIPE	3/4"	8 GPM MAX.	N.A.
NOT SHOWN	SHRUB EMITTER	RAINBIRD XB-20PC RAINBIRD XB-10PC	(2 GPH) (1 GPH)	PUNCH-IN	
NOT SHOWN	INDICATES CONTROLLER LETTER & STATION NUMBER FLOW IN GPM	VALVE SIZE PLANT MATERIAL			N.A.
▶	GATE VALVE	LASCO 'SLO-CLOSE'	SIZE AS PER LINE	2" AND SMALLER	SHEET 13 DETAIL 'A'
RS	RAIN SENSOR	HUNTER WIRELESS RAIN CLIK		PROVIDE 1 PER CONTROLLER. DO NOT MOUNT UNDER TREES OR BUILDING EAVES.	IR-28
AV	AIR RELEASE VALVE	CRISPIN IC10	(3/32" ORIFICE SIZE)		B
+	FLUSH VALVE	PVC BALL	3/4"	INSTALL AT END OF LINE' OF DRIP TUBING	IR-32
NOT SHOWN	CORPORATION STOP	FORD	SIZE AS PER LINE		N.A.
DV	MANUAL DRAIN VALVE	MATCO 201X	SIZE AS PER LINE		IR-5
~~~~~	DRIPPERLINE LATERAL	NETAFIM TLCV4-1810 NETAFIM TLCV4-1210	4GPH 18"x18" SPACING 4GPH 12"x12" SPACING	PERENNIALS/SHRUBS/GRASSES GARDEN ONLY	D,H,I,J,K,L
LF	LINE FLUSHING VALVE	PVC BALL	3/4"		IR-32
⊙	XERIGATION CONTROL VALVE & WYE FILTER & PRESSURE REDUCING VALVE	NETAFIM LVCS8010075-LF LOW FLOW - LOW VOLUME W/ CONTROL VALVE	SIZE AS NOTED		IR-19
F	FLOW METER/SENSOR	RAINBIRD FS075P: PVC TEE FLOW SENSOR	3/4"	COMBINE DRIP ZONES TO MEET REQUIRED MIN. FLOW OF 3.3 GPM	A
MV	MASTER VALVE	RAINBIRD PEB	1"	24VAC, LIGHTNING PROOF, NORMALLY CLOSED	A, IR-16
NOT SHOWN	PRESSURE REDUCING VALVE	WILKENS 500 HR (HIGH PRESSURE 75-125) W/ PRESSURE GAUGE	SIZE AS PER LINE OF BACKFLOW PREVENTER	SET TO 80 PSI. INSTALL DOWNSTREAM OF BACKFLOW PREVENTION DEVICE (SEE DETAIL IR-10) IN A TYPICAL INSTALLATION'.	IR-10

TURF ROTOR HEADS	GPM	RADIUS	ARC	PSI	MANUFACTURER/MODEL	NOZZLE	◇	▽	DETAIL
1.50	26.5'	90	45	HUNTER	I-20-06	1.5	0.60	0.70	IR-8
2.00	26.5'	180	45	HUNTER	I-20-06	2.0	0.330	0.380	IR-8

TURF SPRAY HEADS	GPM	RADIUS	PSI	MANUFACTURER	MODEL	PRECIP IN/HR	DETAIL
1.85	15H	30	RAINBIRD	SAM-PRS 1812	1.58	IR-2	
0.92	15Q	30	RAINBIRD	SAM-PRS 1812	1.58	IR-2	
2.78	15TQ	30	RAINBIRD	SAM-PRS 1812	1.58	IR-2	

EMITTER SCHEDULE	PLANT SIZE	G.P.H.	QTY.	MANUFACTURER/MODEL
4" CAL.	10	5	XB-20PC (2 GPH)	PUNCH-IN
3" CAL.	8	4	XB-20PC (2 GPH)	PUNCH-IN
2" CAL.	6	3	XB-20PC (2 GPH)	PUNCH-IN
1-1/2" CAL.	6	3	XB-20PC (2 GPH)	PUNCH-IN
15 GAL / 6' HT. (PINES ONLY)	4	2	XB-20PC (2 GPH)	PUNCH-IN
5 GAL	1	1	XB-10PC (1 GPH)	PUNCH-IN
1 GAL	1	1	XB-10PC (1 GPH)	PUNCH-IN

SLEEVING SCHEDULE	PIPE SIZE	REQUIRED SLEEVING
6" PVC PIPE	1 - 12" CLASS 200 PVC SLEEVE	
4" PVC PIPE	1 - 8" CLASS 200 PVC SLEEVE	
3" PVC PIPE	1 - 6" CLASS 200 PVC SLEEVE	
2" PVC PIPE	1 - 4" SCH 40 PVC SLEEVE	
1 1/2" PVC LATERAL	1 - 4" SCH 40 PVC SLEEVE	
3/4" TO 1 1/4" PVC LATERAL	1 - 2" SCH 40 PVC SLEEVE	

WIRE QUANTITY	REQUIRED SLEEVING
1 - 25 CONTROL WIRES	1 - 2" SCH 40 PVC SLEEVE
26 - 50 CONTROL WIRES	1 - 3" SCH 40 PVC SLEEVE

NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE

P.O. Box 1853
Wheat Ridge, CO 80034
Office: (303) 872-7807
www.groundedbydesign.com

SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #830

TOWN OF CASTLE ROCK #1126
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC.

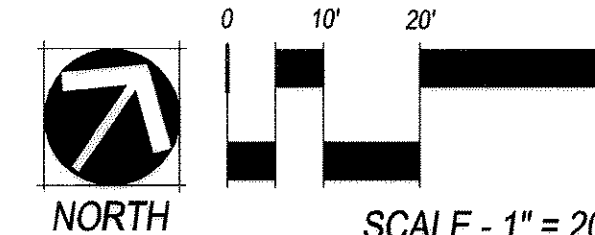
**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260



SHEET
9 of 19



PWN Architects and Planners, Inc.

9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

IRRIGATION NOTES

- THE IRRIGATION PLAN IS A SCHEMATIC DRAWING. PIPE LOCATIONS ARE DIAGRAMMATIC. IRRIGATION COMPONENTS TO BE INSTALLED IN VALVE BOXES. PLACEMENT OF VALVE BOXES IN SHRUB BEDS TO BE TAN IN COLOR. PLACEMENT OF VALVE BOXES IN TURF AREAS TO BE GREEN IN COLOR. PLACE ALL VALVE BOXES IN SHRUB BEDS OUT OF TURF AREAS WHERE POSSIBLE.
- CONTRACTOR TO VERIFY UTILITY LOCATION AND OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION.
- CONTRACTOR TO PROVIDE ALL NECESSARY SLEEVING UNDER ROADS, CONCRETE SLABS, ETC. CONTRACTOR SHALL COORDINATE INSTALLATION OF SLEEVING WITH INSTALLATION OF CONCRETE FLATWORK AND PAVING.
- VALVE BOXES TO HAVE LOCKING CAPABILITY AND TO BE PERMANENTLY MARKED WITH CONTROLLER LETTER & STATION NUMBER.
- BACKFLOW PREVENTER SHALL BE IN COMPLIANCE WITH CITY & COUNTY WATER DISTRICT STANDARDS, CODES AND REGULATIONS.
- CONTROLLER LOCATION: ELECTRICAL POWER, ELECTRICAL METER AND CONNECTION TO CONTROLLER ARE BY CONTRACTOR WITH WORK CONFORMING TO LOCAL CODE. CONTROLLER SHALL BE EQUIPPED WITH SURGE ARRESTOR TO PROTECT CONTROLLER. FEES AND PERMITS ASSOCIATED WITH WORK ARE TO BE OBTAINED AND PAID FOR BY CONTRACTOR. FINAL CONTROLLER LOCATIONS SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL FIELD VERIFY PRESSURE AND PROVIDE WRITTEN DOCUMENTATION PRIOR TO ORDERING MATERIALS OR STARTING ANY IRRIGATION INSTALLATION AND NOTIFY IRRIGATION DESIGNER OF ANY DIFFERENCES FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
- THE IRRIGATION CONTRACTOR SHALL BECOME THOROUGHLY FAMILIAR WITH THE SPECIFICATIONS PRIOR TO CONSTRUCTION.
- DRIP IRRIGATION LINES ARE SHOWN DIAGRAMMATIC FOR CLARITY. INSTALL ALL PIPING IN LANDSCAPING AREAS PER MANUFACTURER'S RECOMMENDATIONS.
- THE MAXIMUM ALLOWABLE LENGTH DOWNSTREAM OF EACH ZONE CONTROL VALVE FOR THE LATERAL IS 250 FEET. IF THE LENGTH OF THE LATERAL EXCEEDS THE ALLOWABLE AMOUNT AN ADDITIONAL CONNECTION AND ZONE CONTROL VALVE SHALL BE INSTALLED.
- CONTRACTOR TO PLACE IRRIGATION MAINLINE, LATERALS AND SPRAYS A MINIMUM OF 5 FEET AWAY FROM THE BUILDING FOUNDATION. CONTRACTOR TO PLACE IRRIGATION DRIP LINES AND EMITTERS A MINIMUM OF 5 FEET AWAY FROM BUILDING FOUNDATION. ALSO REFER TO THE GEO-TECHNICAL REPORT. A 5' WIDTH OF DRY BORDER IS REQUIRED AROUND THE FOUNDATION. REFER TO THE NINYO & MOORE GEO-TECHNICAL REPORT PAGE 30, 9.10: "VEGETATION THAT MAY NEED IRRIGATION SHOULD NOT BE LOCATED WITHIN 5 FEET OF STRUCTURE FOUNDATION PERIMETERS. PLANTERS, IF ANY, SHOULD BE MAINTAINED 5 FEET OR MORE FROM THE BUILDING AND CONSTRUCTED WITH CLOSED BOTTOMS OR WITH DRAINAGE SYSTEMS TO DRAIN EXCESS IRRIGATION AWAY FROM THE BUILDING. IRRIGATION SPRINKLER HEADS SHOULD BE DEPLOYED SO THAT APPLIED WATER IS NOT INTRODUCED WITHIN 5 FEET OF THE FOUNDATION PERIMETERS. LANDSCAPE IRRIGATION OUTSIDE THE 5-FOOT LIMIT SHOULD BE LIMITED TO SUSTAIN HEALTHY PLANT GROWTH."
- DRIP IRRIGATION BETWEEN & ADJACENT TO RETAINING WALLS IS CONTINGENT UPON THE FOLLOWING GEOTECH REPORT BY NINYO & MOORE "BURIED WET-UTILITY LINES, SPREAD FOOTING FOUNDATIONS, AND PAVEMENTS SHOULD NOT BE LOCATED ON, OR ADJACENT TO THE BACKFILLED ZONES, UNLESS DESIGN CONSIDERATIONS (I.E. SETTLEMENT OF THE BACKFILL, LATERAL MOVEMENT OF MSE WALLS, DIFFERENTIAL SETTLEMENT, INCREASED SURCHARGE PRESSURES, ETC) ARE CAREFULLY EVALUATED BY THE STRUCTURAL ENGINEER, THE GEOTECHNICAL ENGINEER, AND RETAINING WALL DESIGNER."
- PLACEMENT OF LANDSCAPE MATERIAL SHALL TAKE PRECEDENCE OVER IRRIGATION LAYOUT. LOCATE COMPONENTS SUCH AS VALVES, LATERAL LINES, AND MAINLINE TO PREVENT CONFLICTS.
- THE IRRIGATION SYSTEM SHALL BE DESIGNED TO PROVIDE PEAK SEASON IRRIGATION WITHIN A SEVEN-HOUR PER NIGHT WATERING PERIOD. IRRIGATION SHALL OCCUR BETWEEN THE HOURS OF 10:00 PM AND 5:00 AM EVERY THIRD DAY. (REFER TO TOWN OF CASTLE ROCK)
- IRRIGATION SHALL BE HYDROZONED BASED ON THE WATER NEEDS OF THE PLANT MATERIALS, GROUPING SIMILAR WATER DEMANDS TOGETHER.
- ESTABLISHMENT WATERING WILL REQUIRE UP TO TWICE AS MUCH IRRIGATION FOR A 4 TO 6 WEEK PERIOD. THE DESIGN IS BASED UPON THE FOLLOWING PROJECTED WEEKLY APPLICATION RATES AFTER ESTABLISHMENT. IRRIGATION SCHEDULE WILL NEED TO BE ADJUSTED DUE TO SEASONAL VARIATIONS AND WEATHER CONDITIONS.
- ALL IRRIGATION SHALL CONFORM TO TOWN OF CASTLE ROCK STANDARDS.
- RAIN SENSORS SHALL BE INSTALLED AS PART OF THE IRRIGATION SYSTEM. MOUNT SENSOR ON ANY SURFACE WHERE IT WILL BE EXPOSED TO UNOBSTRUCTED RAINFALL, BUT NOT IN THE PATH OF SPRINKLER SPRAY. DO NOT MOUNT UNDER TREES OR BUILDING EAVES.
- CONTRACTOR TO CARBON COPY CONSULTANT ON ALL COMMUNICATIONS WITH IRRIGATION REPRESENTATIVES.
- CONTRACTOR TO VERIFY COMPATIBILITY BETWEEN CONTROLLER AND ITEMS COMMUNICATING WITH CONTROLLER(S) SUCH AS: FLOW SENSOR, MASTER VALVE CONFIGURATION. IF CONTRACTOR FAILS TO NOTIFY CONSULTANT, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS.
- THE PRESSURE AT ALL HEADS SHALL BE WITHIN 10 PERCENT OF THE SYSTEM DESIGN OPERATION PRESSURE. CONTRACTOR SHALL FIELD VERIFY PRESSURE AND NOTIFY CONSULTANT OF ANY DIFFERENCES FROM STATED PRESSURE. IF CONTRACTOR FAILS TO NOTIFY IRRIGATION DESIGNER, CONTRACTOR ASSUMES FULL RESPONSIBILITY FOR ANY SYSTEM ALTERATIONS. PRESSURE REDUCING VALVES MAY BE INSTALLED UNDER OR IN THE BASE/STEM OF THE HEAD. A COMBINATION PRESSURE-REDUCING & CONTROL VALVE CAN BE USED TO CONTROL THE PRESSURE WITHIN A ZONE.
- ALL VALVES SHALL HAVE THREE EXTRA WIRES LOOPED AND EXTENDED TO THE FARTHEST WIRE DROP OR VALVE OF EACH MAINLINE BRANCH. ALL SPARE WIRES SHALL BE LOOPED WITHIN EACH AND EVERY VALVE BOX CONTAINING AN ELECTRIC VALVE.
- USE A 90 DEGREE END ELL AT ALL MAINLINE DEAD ENDS. ELBOW UP INTO THE LAST VALVE OR QUICK COUPLER.
- THE IRRIGATION CONTROLLER TO BE INSTALLED AT THE LOCATION AS SHOWN ON THE DRAWING AND SHALL NOT EXCEED THE FLOW SENSOR MANUFACTURER'S RECOMMENDATION OF A MAXIMUM 2,000 FT. FROM THE FLOW SENSOR. CONTRACTOR SHALL USE STANDARD SHIELDED WIRE FOR THE FLOW SENSOR COMMUNICATION.
- NETAFIM INSTALLATION TO BE COORDINATED WITH INSTALLATION OF PERENNIALS. CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- NETAFIM CONTRACTOR TO BE TRAINED BY NETAFIM REP PRIOR TO INSTALLATION, CONTACT KELLY KEICHER 303-805-7830.
- THE IRRIGATION SYSTEM MUST MEET A MINIMUM DISTRIBUTION UNIFORMITY (75% DU) REQUIREMENT, AS SET BY THE TOWN OF CASTLE ROCK, AND RESERVES THE RIGHT TO PERFORM AN IRRIGATION AUDIT PERFORMED BY THE TOWN OF CASTLE ROCK OR BY A CERTIFIED IRRIGATION AUDITOR PRIOR TO ISSUANCE OF AN OCCUPANCY CERTIFICATE, PAID FOR BY THE CONTRACTOR. ALL WATER AUDITS TO BE APPROVED BY TOWN & LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF SOD.
- THE BACKFLOW PREVENTION ASSEMBLIES SHALL BE TESTED BY A COLORADO STATE CERTIFIED CROSS-CONNECTION CONTROL TECHNICIAN APPROVED BY THE UTILITIES DEPT. AT THE TIME OF INSTALLATION, AND NO LESS THAN ANNUALLY THEREAFTER.



Irrigation System Hydraulic Worksheet

Project Name: Auburn Ridge **Date:** 11.28.2012
Project Location: 1033 Auburn Ridge
Prepared by: Scott Ohm **Current TOCR Registration #** 1126

Tap Size: 0.75 " **Source of Pressure:** Civil
Static Water Pressure: 111 psi

Hydraulic Grade At Zone: 3.80% **Company:** Grounded By Design, LLC

Service Line to meter:	Ft. of Copper	Pipe Size (")	K Copper	Friction Loss (from chart)	Flow-GPM	Loss/Gain
Water Meter:	39 LF	0.75	K Copper	14.41 /100 FT	10	5.62
Service Line (meter to backflow):	3 LF	0.75	K Copper	14.41 /100 FT	10	0.43
Backflow:		3/4"		11	10	11.00
Master Valve:		1"		1	10	1.00

Pressure Required at Head: 45
Lateral Allowance: 1.29
Control Valve Allowance: 2.9

Mainline Allowances:

Length of Mainline	Pipe Material	Size	Gals.	GPM	Loss /100 FT	Loss/Gain
350 LF	SCH 40 PVC	1" @	10	GPM	2.63 /100 FT	9.21
	LF CL200BE	" @	10	GPM-Looped	/100 FT	0.00

Elevation: Tap elevation 76 High/Low: 82 **Loss/Gain:** 2.60

Green shading indicates required information you must provide

Total System requirements (PSI): 77.75
Available System Pressure (PSI): 111.00

Town of Castle Rock provides a minimum of 43 psi

Total irrigated area for tap # 1 is 38,756 sq. ft.



IRRIGATION CHART

Registered Professional: Scott Ohm, Registration # 1126, Date 11/23/2012
 Company Name: GROUNDED BY DESIGN, L.L.C., Address: P.O. BOX 1953, WHEAT RIDGE, CO 80034
 Phone: 303.649.7807, Email: SCOTT@GROUNDEDBYDESIGN.COM, Click Make: JAF&BIRD, Model: ESP-LVINE-32 STATION

Zone	Hydrozone	Plant Type	Head Type	Nozzle	App. Rate	GPM	Inches/Month	Run Time	Run Time	Water Usage		
	Yes/No	(Cult. Name, Grass, Perennial, Tree, Shrub, etc.)	(Inches, Feet, Meters, Dip, etc.)	(Nozzle, Emitter, etc.)	(gals/hr)	(per Zone)	(per inch of pipe @ 0.12 AWD)	(minutes per day)	(minutes Every Third Day)	(gallons per acre)		
Ev-1	High	Blue Grass	NETAFIM SAE PVC	10	1.81	10	4	92	30	292		
Ev-2	Low	Blue Grass	NETAFIM SAE PVC	10	1.81	10	4	92	30	292		
1	Low	Colorado Grass	SAW PRS	15	1.58	7	2.40	91	9	674		
2	Low	Colorado Grass	SAW PRS	15	1.58	9	2.40	91	9	843		
3	Low	Colorado Grass	SAW PRS	15	1.58	9	2.40	91	9	843		
4	Low	Colorado Grass	SAW PRS	15	1.58	9	2.40	91	9	843		
5	Low	Colorado Grass	SAW PRS	15	1.58	9	2.40	91	9	843		
6	Low	Colorado Grass	SAW PRS	15	1.58	9	2.40	91	9	843		
7	Low	Colorado Grass	SAW PRS	15	1.58	9	2.40	91	9	843		
8	Low	Colorado Grass	SAW PRS	15	1.58	7	2.40	91	9	674		
9	High	REVELLE - w/	MURFEL-20	1.5	0.6	3	4.11	411	411	1233		
10	High	REVELLE - w/	MURFEL-20	1.5	0.6	3	4.11	411	411	1233		
11	High	REVELLE - w/	MURFEL-20	2	0.33	8	4.11	747	75	5970		
12	High	REVELLE - w/	MURFEL-20	2	0.33	4	4.11	747	75	2955		
13	High	REVELLE - w/	MURFEL-20	2	0.33	3	4.11	747	75	5970		
14	Low	Springs	DRIP	0.5	3	2	2.40	283	28	843		
15	Low	Springs	DRIP	0.5	3	2	2.40	283	28	772		
16	Low	Springs	DRIP	0.5	3	2	2.40	283	28	958		
17	Low	Springs	DRIP	0.5	3	2	2.40	283	28	598		
18	Low	Springs	DRIP	0.5	3	2	2.40	283	28	607		
19	Low	Springs	DRIP	0.5	3	2	2.40	283	28	598		
20	Low	Springs	DRIP	0.5	3	2	2.40	283	28	558		
21	Low	Springs	DRIP	0.5	3	2	2.40	283	28	858		
22	Low	Springs	DRIP	0.5	3	2	2.40	283	28	818		
23	Low	Perennials	Netafim	0.25	3	2	2.40	497	50	1260		
24	Low	Springs	DRIP	0.5	3	2	2.40	283	28	608		
25	Low	Springs	DRIP	0.5	3	2	2.40	283	28	720		
26	Low	Springs	DRIP	0.5	3	2	2.40	283	28	730		
27	Moderate	Grass	Netafim	0.25	3	3	5.93	411	411	1233		
28	Low	Springs	DRIP	0.5	3	2	2.40	283	28	2220		
29	Low	Perennials	Netafim	0.25	3	2	2.40	497	50	1260		
Sub-Total Turf & Native Grass										579		
Total										927		
										Min/Month	Min/Year	Gallons/Month

NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE

P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 672-7807
www.groundedbydesign.com

SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #830

TOWN OF CASTLE ROCK #1126
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC

BEFORE YOU DIG
 CALL UTILITY NOTIFICATION
811
 CALL 2 BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
10 OF 19



PWN Architects and Planners, Inc.

9250 E Castilla Avenue | Suite 620
Greenwood Village, CO 80112
voice 303.649.9880 fax 303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Native Grass - Irrigated Zone Data

Zone Assignment	1-1	1-2	1-3	1-4	1-5
WTF	100%	100%	100%	100%	100%
Area (sq ft)	608.99	837.4	846.01	842.91	842.5
Original Flow (GPM)	7.39	9.25	9.25	9.25	9.25
WTF Flow (GPM)	7.39	9.25	9.25	9.25	9.25
Average Precip (in/hr)	1.6375	1.6211	1.5774	1.5775	1.5847
Zone Assignment	1-6	1-7	1-8		
WTF	100%	100%	100%		
Area (sq ft)	846.86	856.6	629.81		
Original Flow (GPM)	9.25	9.25	7.39		
WTF Flow (GPM)	9.25	9.25	7.39		
Average Precip (in/hr)	1.5778	1.5776	1.5998		

Total Area Calculations

Area (sq ft)	4274.9	High Precip (in/hr)	1.9359	CU	95.19%
		Mean Precip (in/hr)	1.5835	DU	92.21%
Samples	4989	Low Precip (in/hr)	0.1226	SC	1.04

Turf Grass - Irrigated Zone Data

Zone Assignment	1-9	1-10	1-11	1-12	1-13
WTF	100%	100%	100%	100%	100%
Area (sq ft)	667.6	668.27	2038.22	1338.95	2035.7
Original Flow (GPM)	3	3	8	4	8
WTF Flow (GPM)	3	3	8	4	8
Average Precip (in/hr)	0.6952	0.6971	0.5932	0.5509	0.5954

Total Area Calculations

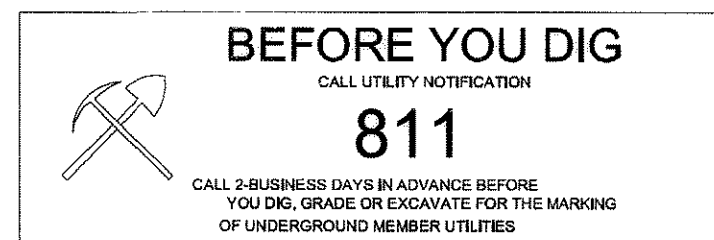
Area (sq ft)	4202.51	High Precip (in/hr)	0.8094	CU	88.47%
		Mean Precip (in/hr)	0.5956	DU	87.61%
Samples	4999	Low Precip (in/hr)	0.503	SC	1.08

ANNUAL IRRIGATION PROGRAM WITH MONTHLY APPLICATION RATES					
DESCRIPTION	SF	MONTH	APPLICATION RATE (IN/MONTH)	% ADJUSTED	GALLONS PER MONTH
TURF (PEAK SEASON APPLICATION RATE OF 4.11" IN JULY)	4,197	APRIL	1.07	26	2,794
		MAY	2.14	52	5,588
		JUNE	3.29	80	8,597
		JULY	4.11	100	10,747
		AUGUST	3.58	87	9,349
		SEPTEMBER	2.14	52	5,588
		OCTOBER	1.07	26	2,794
ANNUAL SUB-TOTAL			17.39		45,458
NATIVE GRASS & SHRUBS (PEAK SEASON APPLICATION RATE OF 2.4" IN JULY)	33,975	APRIL	0.60	25	12,700
		MAY	1.20	50	25,400
		JUNE	1.87	78	39,624
		JULY	2.40	100	50,799
		AUGUST	2.06	86	43,688
		SEPTEMBER	1.27	53	26,924
OCTOBER	0.60	25	12,700		
ANNUAL SUB-TOTAL			10.01		211,834
GARDEN (PEAK SEASON APPLICATION RATE OF 3.58" IN JULY)	465	APRIL	0.90	25	259
		MAY	1.79	50	519
		JUNE	2.79	78	809
		JULY	3.58	100	1,037
		AUGUST	3.08	86	892
		SEPTEMBER	1.90	53	550
OCTOBER	0.90	25	259		
ANNUAL SUB-TOTAL			14.93		4,325
			NUMBER OF DAYS PER WEEK: 2.5		

CONTROLLER 'A' CHART										
ZONE #	ZONE GPM	PLANT TYPE	HEAD TYPE	RADIUS	PRECIP IN/HR	DESIGN OPERATING PSI	PEAK IN. PER WEEK	WEEKLY ZONE RUN TIME IN HOURS	DAILY ZONE RUNTIME IN MINUTES	GALLONS PER WEEK
1	7.39	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	152
2	9.25	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	190
3	9.25	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	190
4	9.25	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	190
5	9.25	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	190
6	9.25	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	190
7	9.25	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	190
8	7.39	NATIVE GRASS	SPRAY	15	1.58	30	0.54	0.34	8	152
9	3.00	TURF	ROTOR QUARTER	26.5	0.60	45	0.93	1.55	37	279
10	3.00	TURF	ROTOR QUARTER	26.5	0.60	45	0.93	1.55	37	279
11	8.00	TURF	ROTOR HALF	26.5	0.33	45	0.93	2.82	68	1,353
12	4.00	TURF	ROTOR HALF	26.5	0.33	45	0.93	2.82	68	676
13	8.00	TURF	ROTOR HALF	26.5	0.33	45	0.93	2.82	68	1,353
14	2.93	SHRUBS	DRIP		0.50	40	0.54	1.08	26	191
15	2.68	SHRUBS	DRIP		0.50	40	0.54	1.08	26	174
16	0.68	SHRUBS	DRIP		0.50	40	0.54	1.08	26	44
17	2.08	SHRUBS	DRIP		0.50	40	0.54	1.08	26	135
18	1.73	SHRUBS	DRIP		0.50	40	0.54	1.08	26	113
19	3.15	SHRUBS	DRIP		0.50	40	0.54	1.08	26	205
20	1.86	SHRUBS	DRIP		0.50	40	0.54	1.08	26	121
21	2.96	SHRUBS	DRIP		0.50	40	0.54	1.08	26	193
22	1.78	SHRUBS	DRIP		0.50	40	0.54	1.08	26	116
23	2.92	PERENNIALS	NETAFIM		0.29	40	0.54	1.90	46	333
24	2.36	SHRUBS	DRIP		0.50	40	0.54	1.08	26	153
25	1.48	SHRUBS	DRIP		0.50	40	0.54	1.08	26	96
26	2.55	SHRUBS	DRIP		0.50	40	0.54	1.08	26	166
27	3.10	GARDEN	NETAFIM		0.29	40	0.81	2.84	68	529
28	7.96	SHRUBS	DRIP		0.50	40	0.54	1.08	26	518
29	3.53	PERENNIALS	NETAFIM		0.29	40	0.54	1.90	46	403
SUB-TOTAL PEAK SEASON (DRIP & NETAFIM) - HOURS PER WEEK								21		
SUB-TOTAL PEAK SEASON (TURF) - HOURS PER WEEK								11.6		
SUB-TOTAL PEAK SEASON (NATIVE)- HOURS PER WEEK								2.7		
TOTAL PEAK SEASON = HOURS PER WEEK								35		
TOTAL PEAK SEASON - GALLONS PER WEEK										8,875
SUB-TOTAL PEAK SEASON (TURF) - GALLONS PER MONTH										8,465
SUB-TOTAL PEAK SEASON (NATIVE GRASS) - GALLONS PER MONTH										2,361
TOTAL PEAK SEASON - GALLONS PER MONTH										39,318
RUNTIME DAYS PER WEEK								2.5		

NOTES

1. WATER DAY IS A SQUARE. REFER TO TOWN OF CASTLE ROCK REGULATIONS.
2. IT IS THE INTENT OF THIS DESIGN TO ONLY IRRIGATE THE NATIVE GRASS UNTIL ESTABLISHED, AND DURING PERIODS OF DROUGHT.



NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE

P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 972-7807
www.groundedbydesign.com

SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #830

TOWN OF CASTLE ROCK #1126
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC.

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
11 of 19

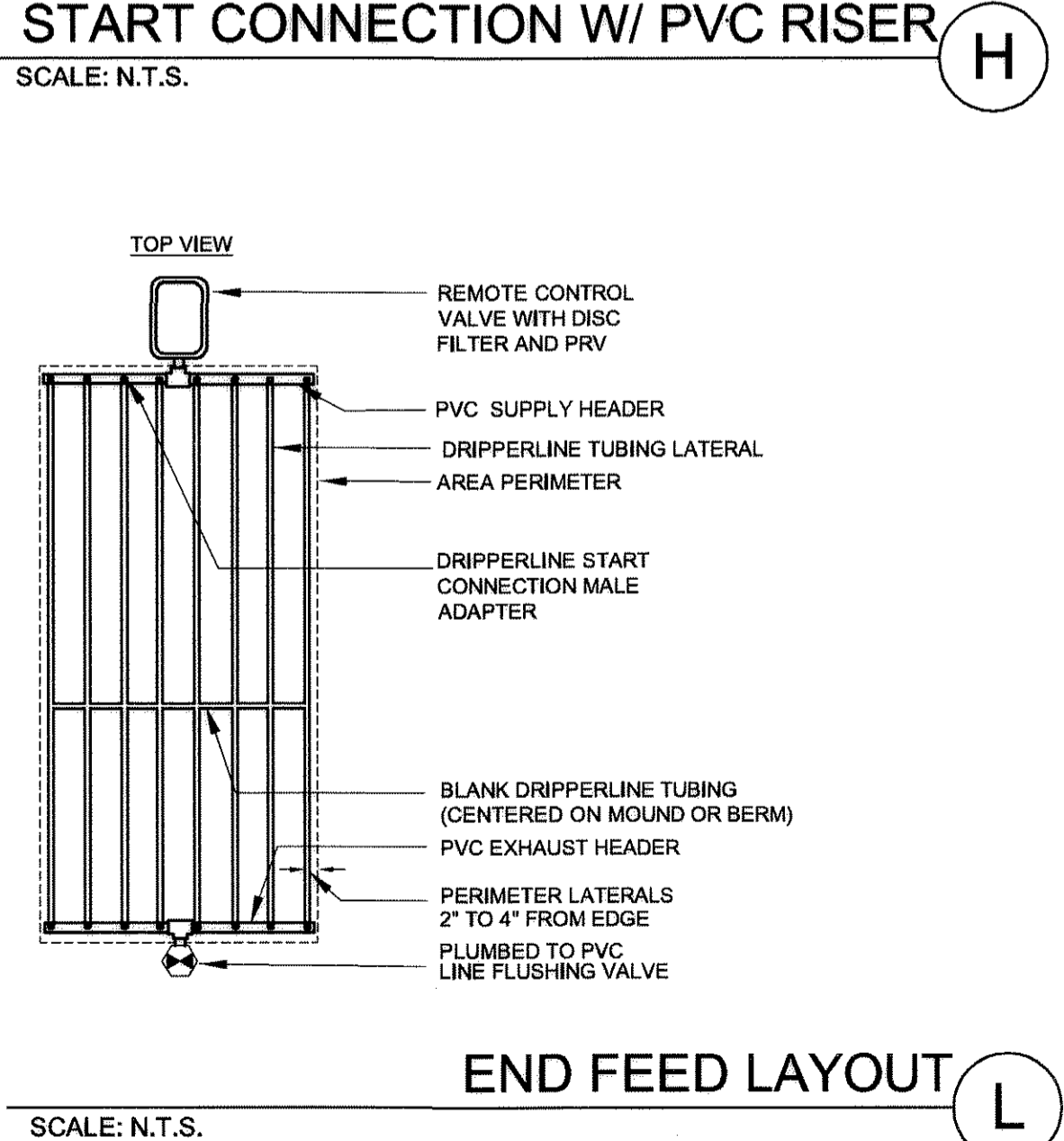
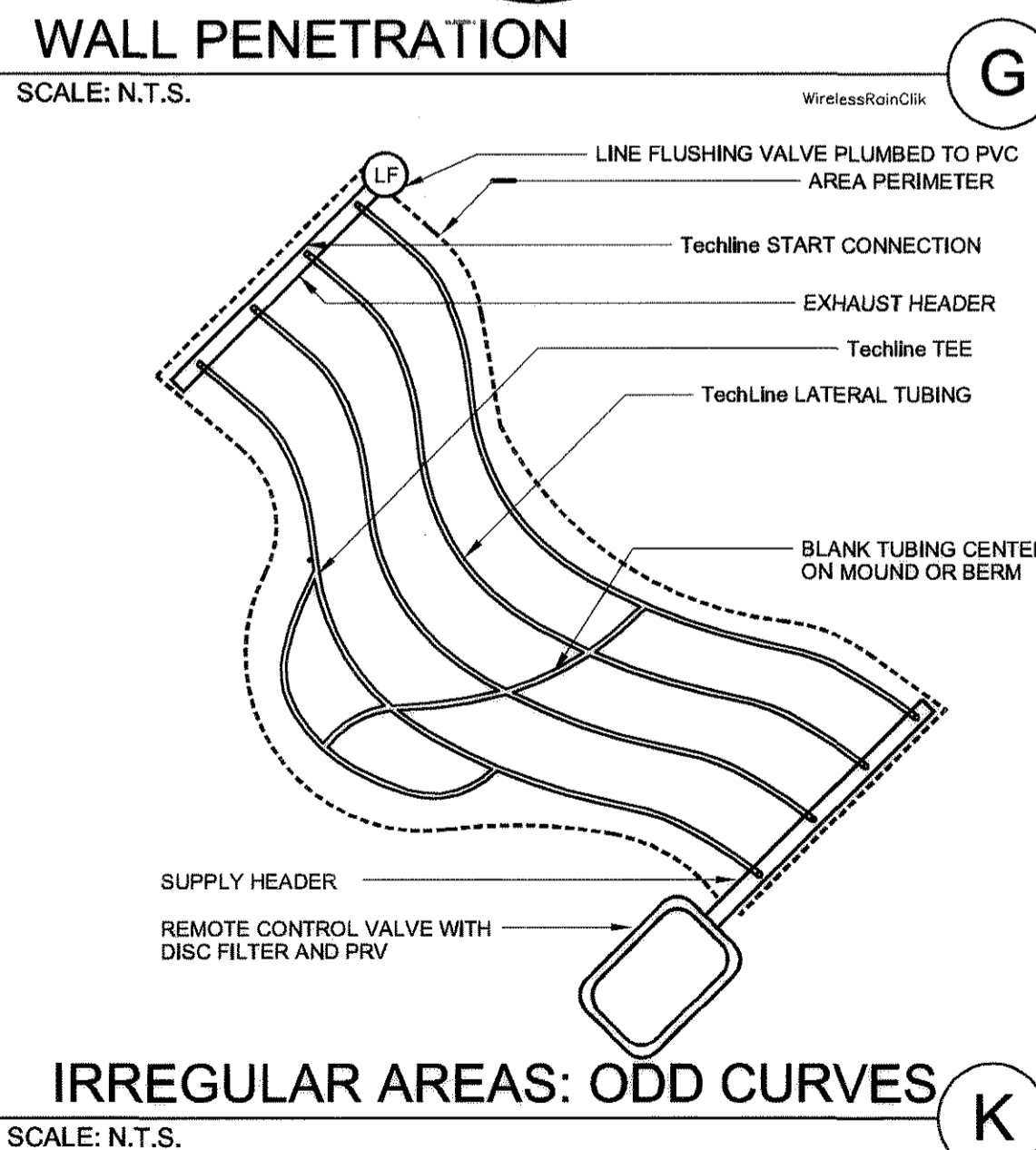
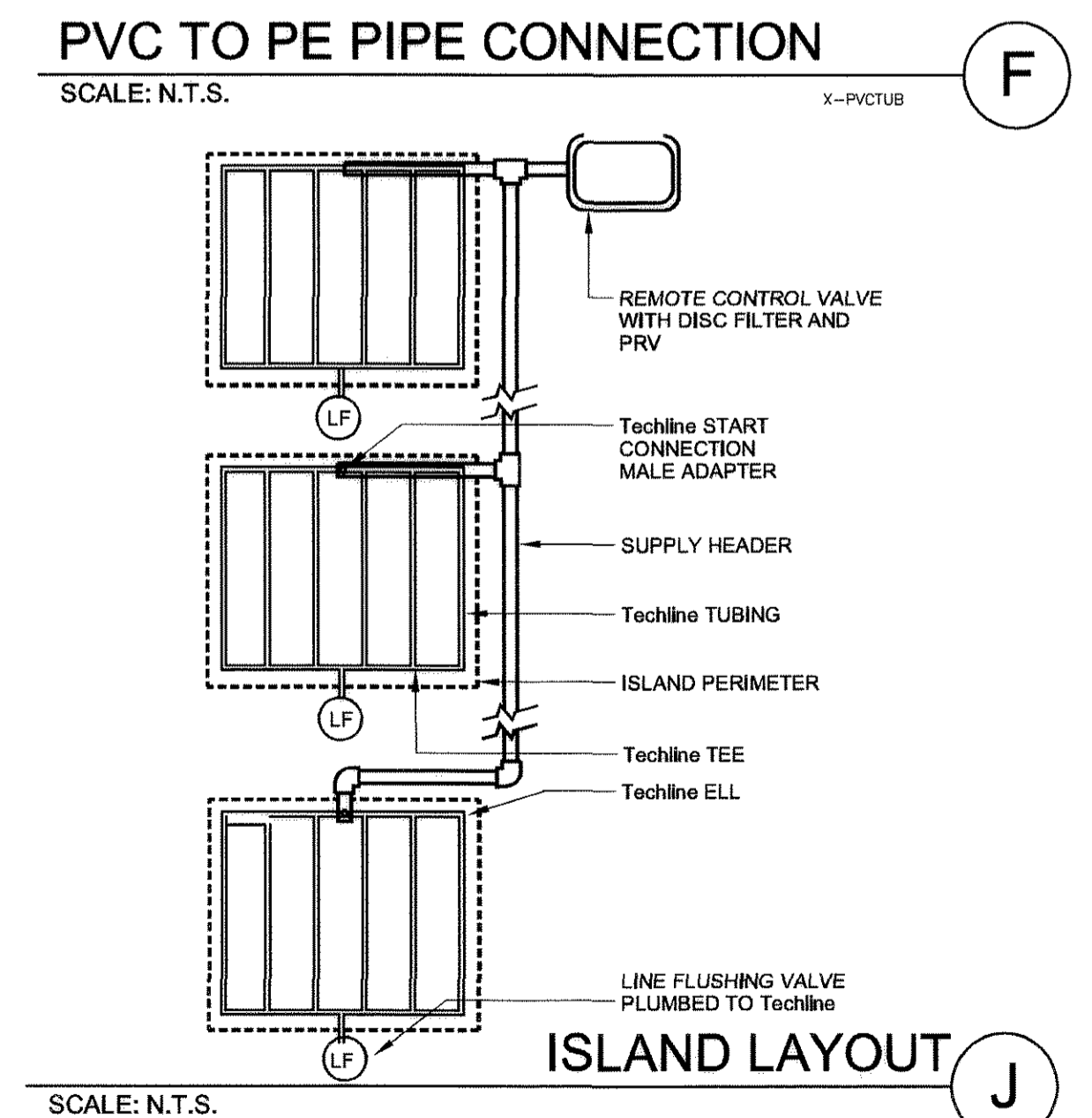
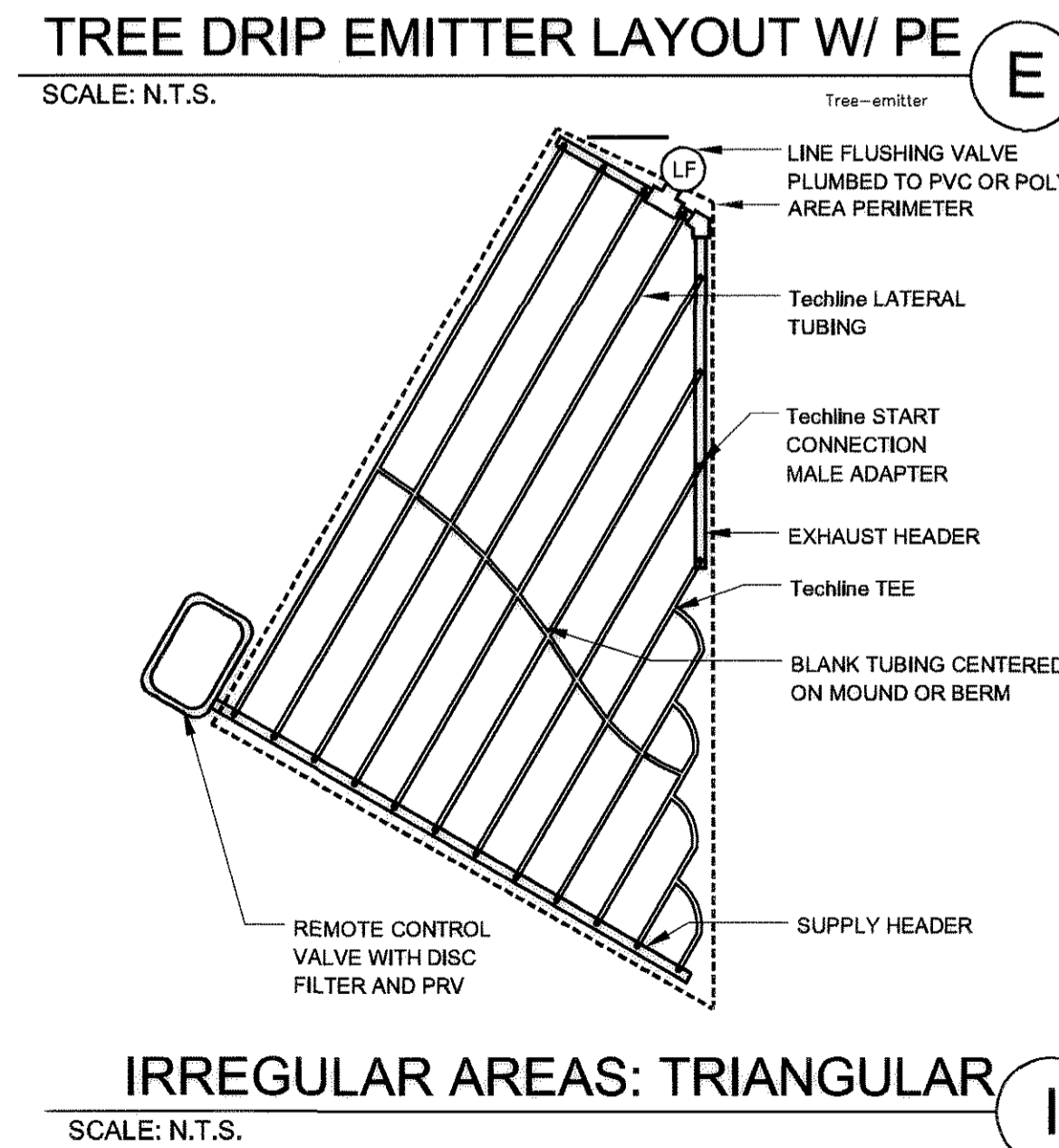
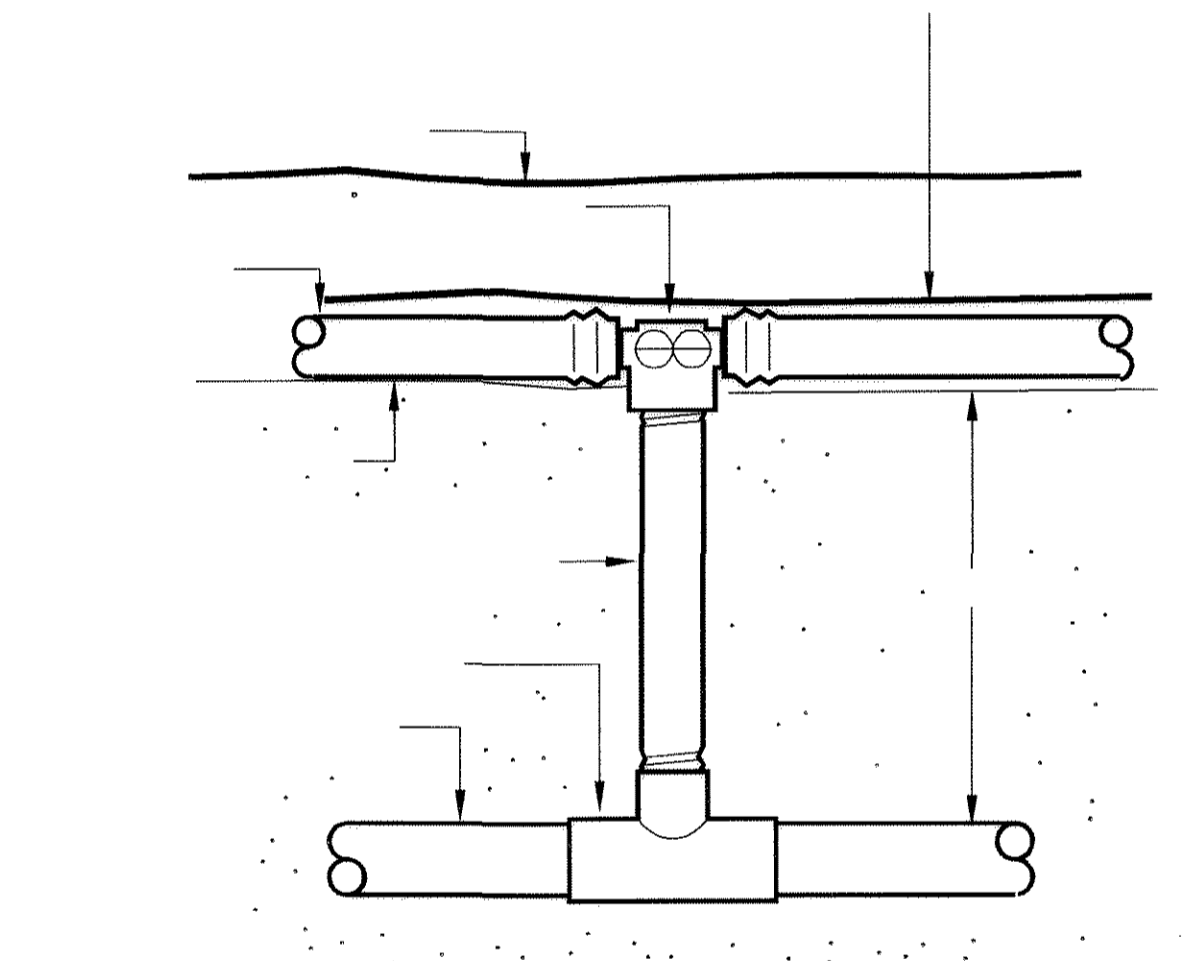
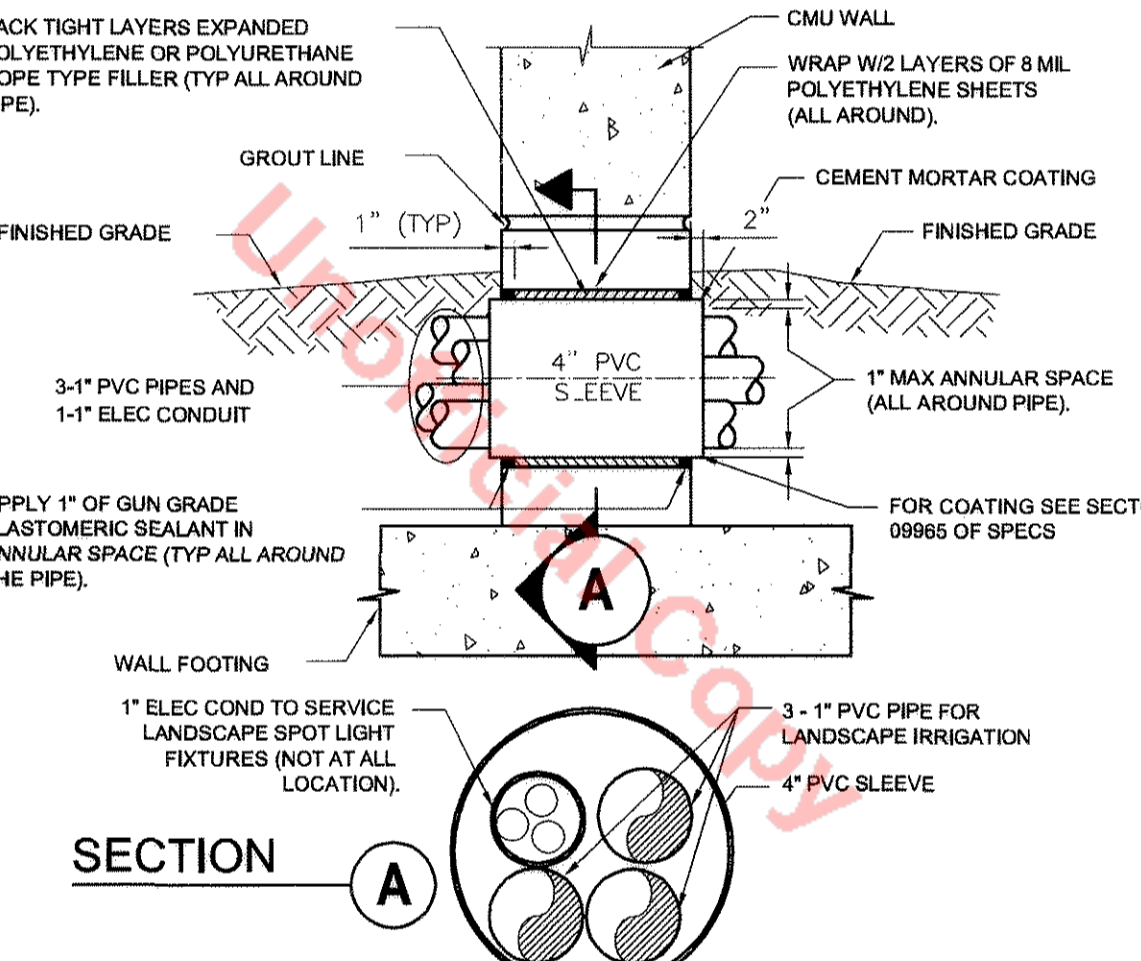
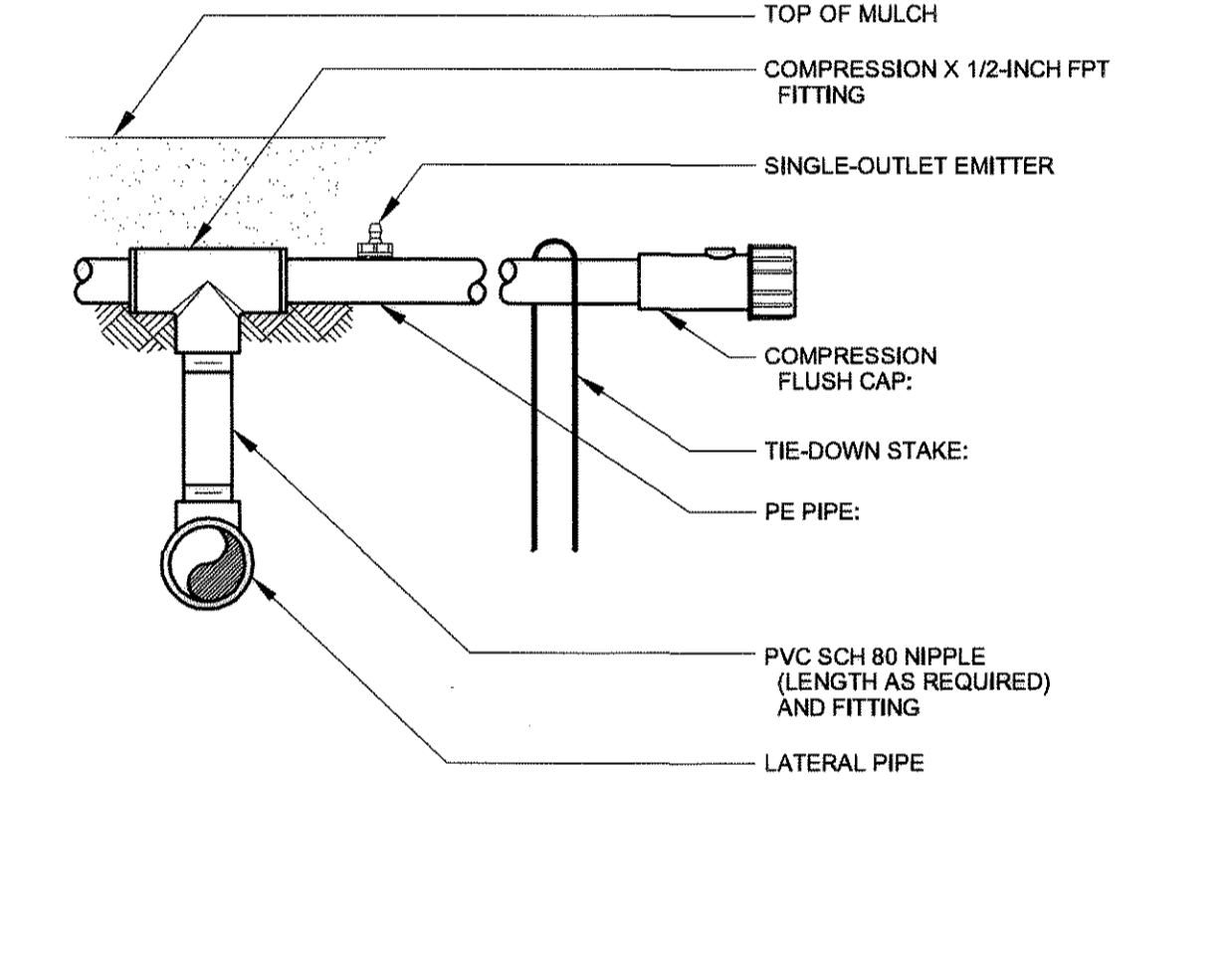
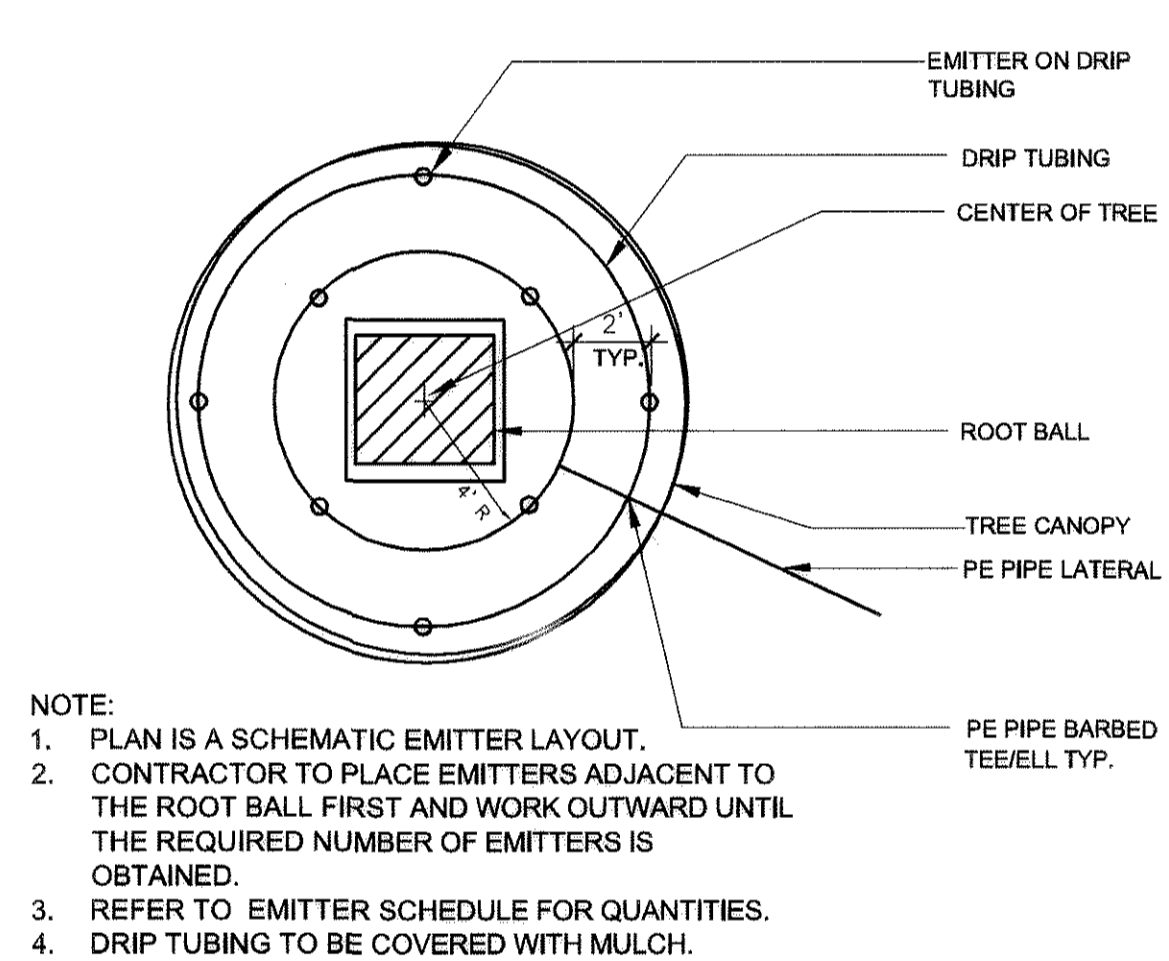
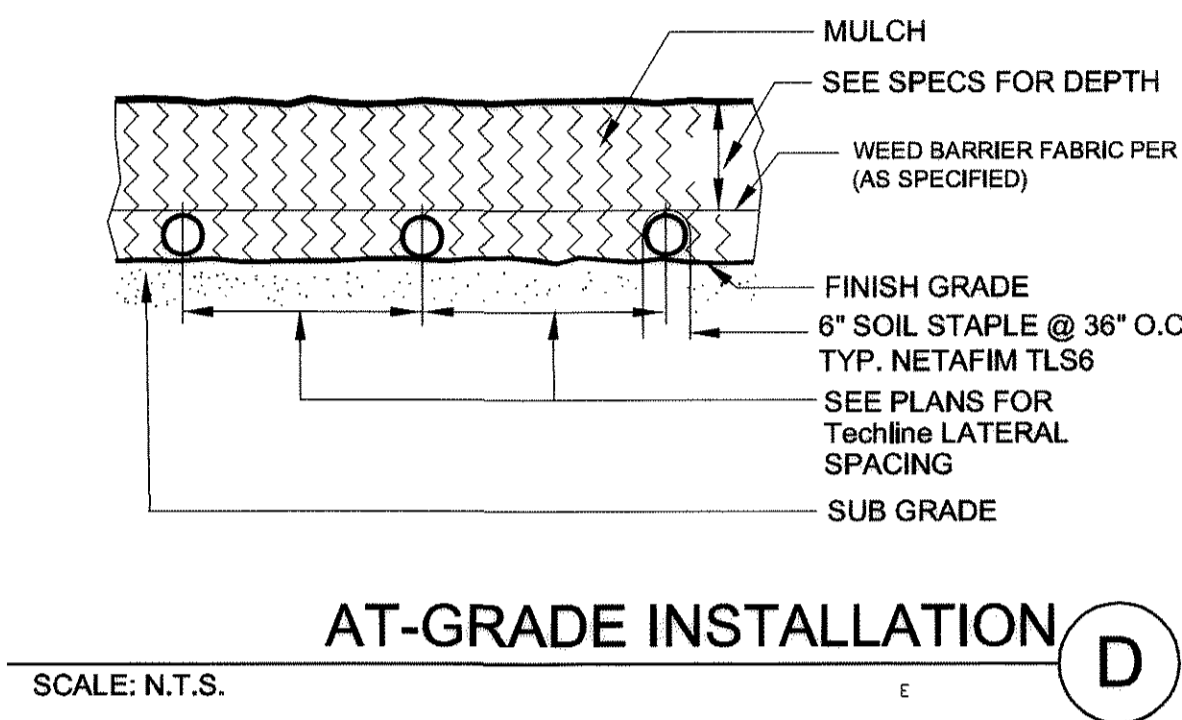
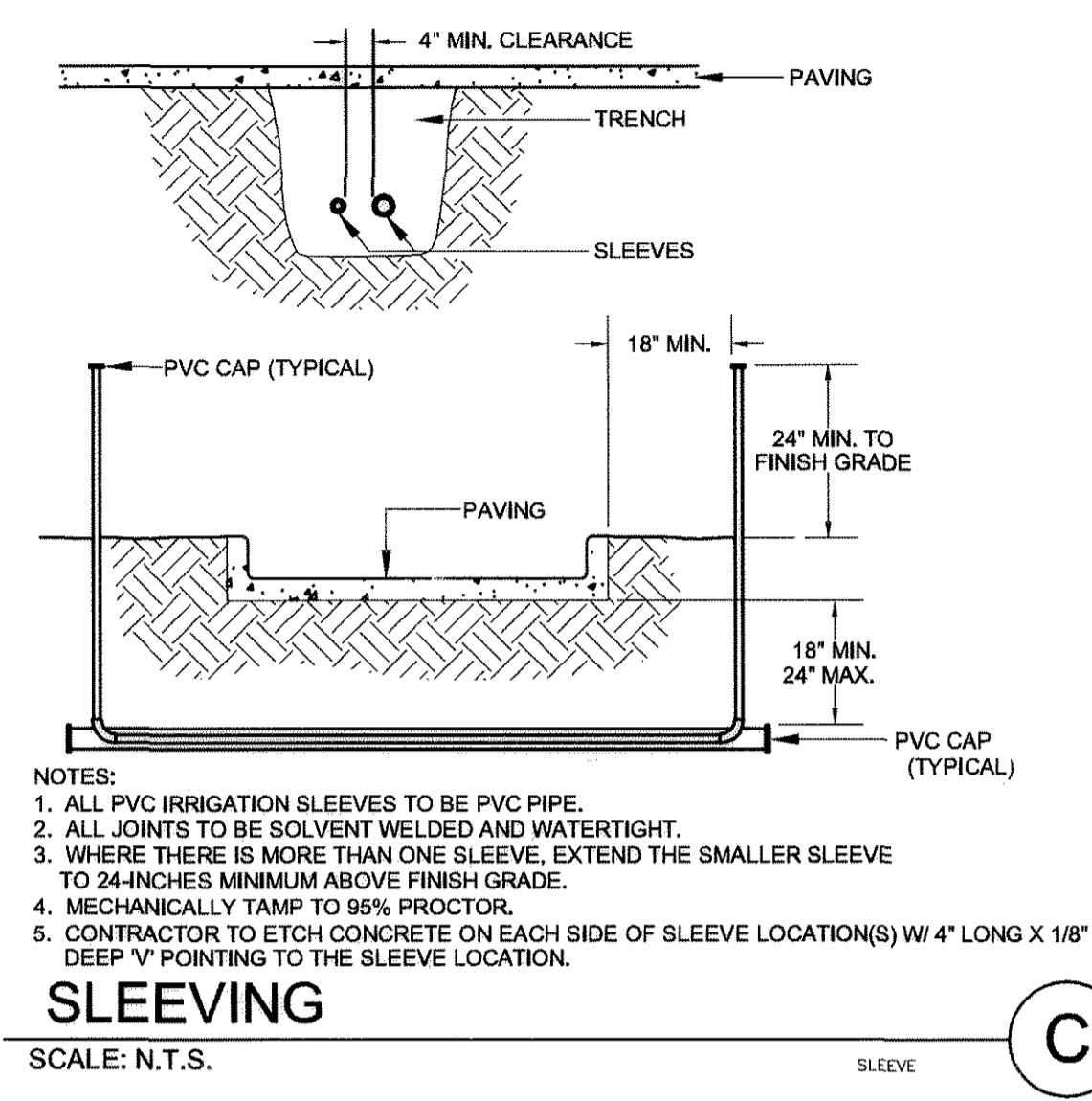
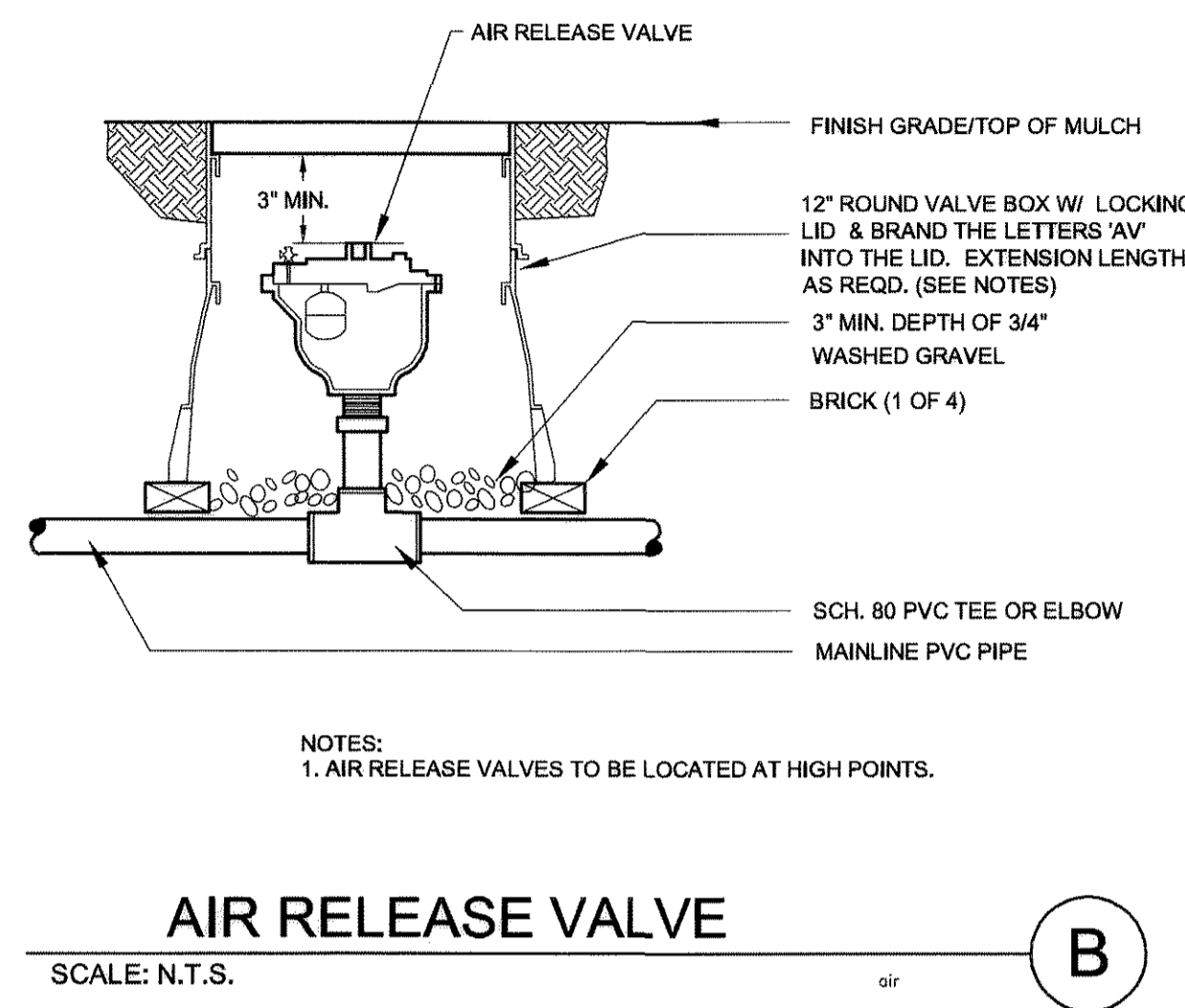
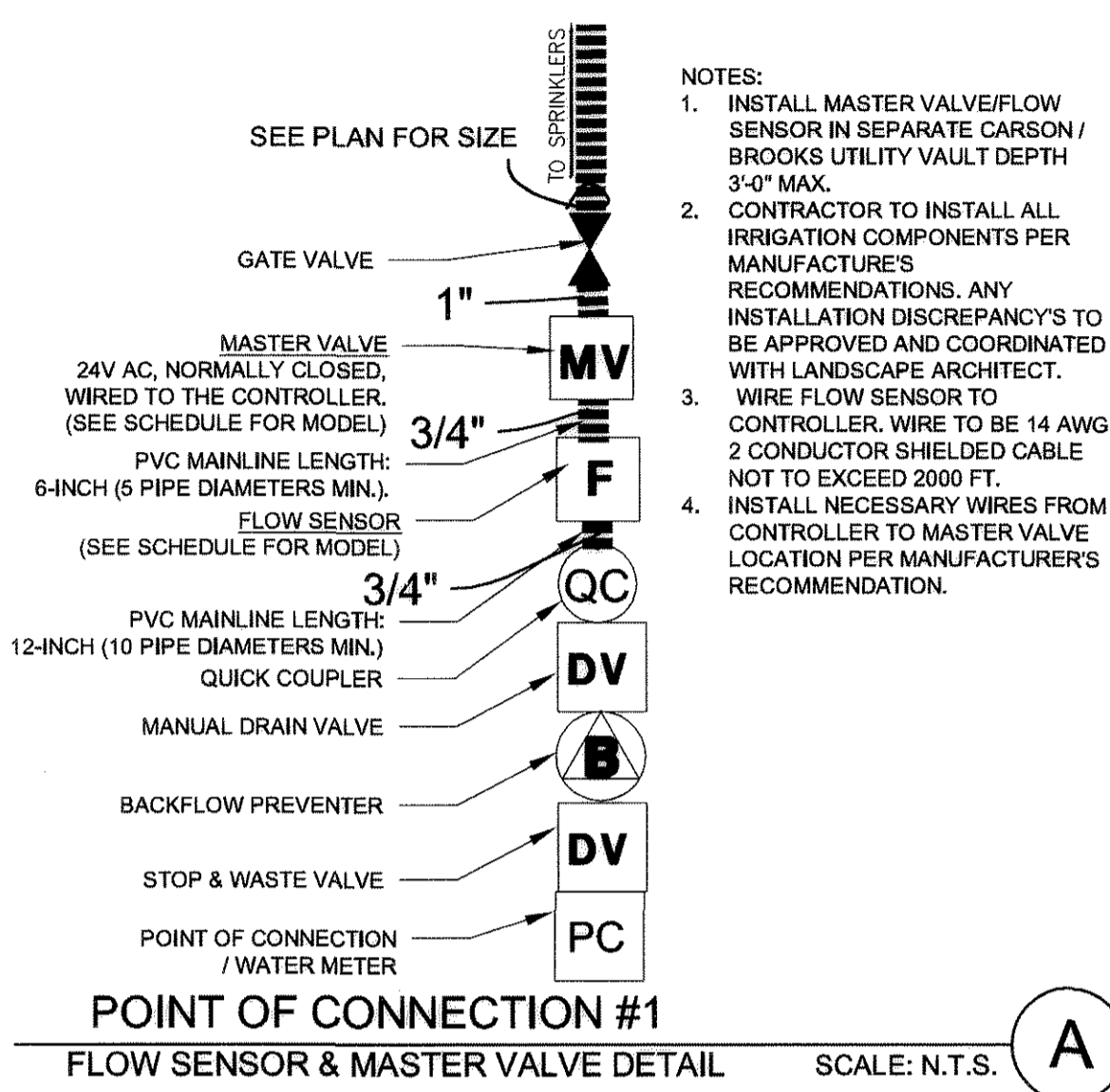


9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice: 303.649.9880 fax: 303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NOT FOR CONSTRUCTION

grounded by design
 LANDSCAPE ARCHITECTURE
 P.O. Box 1953
 Wheat Ridge, CO 80034
 Office: (303) 972-7807
 www.groundedbydesign.com
 SCOTT OHM, RLA
 STATE OF COLORADO LICENSED
 LANDSCAPE ARCHITECT #830
 TOWN OF CASTLE ROCK #1128
 THIS DOCUMENT AND THE IDEAS AND DESIGN INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC.

LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN

SHEET
12 OF 19

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

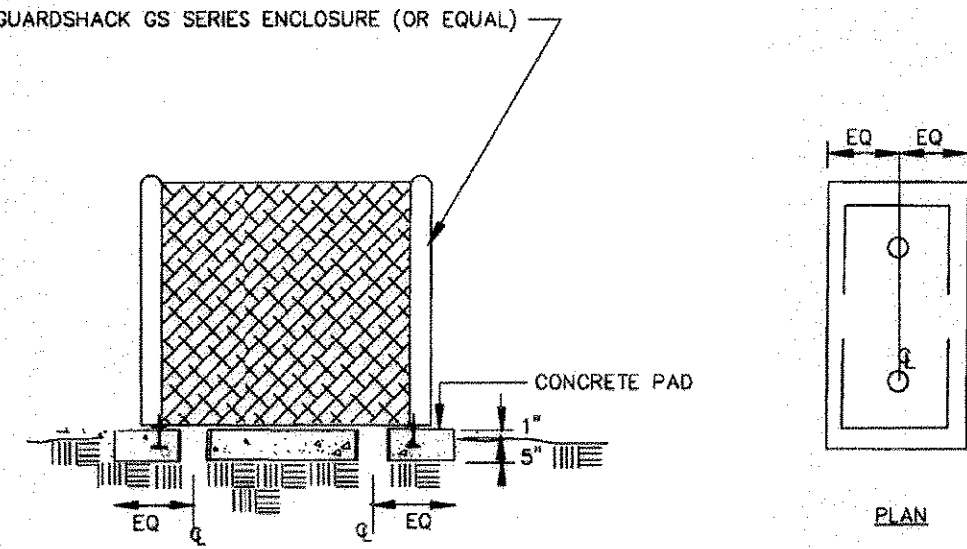
Dwn
 PWN Architects and Planners, Inc.
 9250 E Costilla Avenue | Suite 620
 Greenwood Village, CO 80112
 voice: 303.649.9880 fax: 303.649.9870
 pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

NOTES:
PAD PENETRATIONS FOR BACKFLOW PREVENTER RISERS TO BE 1" LARGER THAN RISER DIAMETER
TOP SURFACE OF CONCRETE PAD SHALL BE 1" ABOVE FINISH GRADE.
BPOI GUARDSHACK GS SERIES ENCLOSURE (OR EQUAL)



INSTALL ENCLOSURE ANCHORS AS PER MANUFACTURER'S RECOMMENDATIONS
PROVIDE OWNER WITH KEYPAD LOCK FOR ENCLOSURE
PROVIDE ENCLOSURE IN FEDERAL GREEN COLOR

HI-POP (12") SPRAY HEAD **DETAIL PLAN NO. IR-2**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

BACKFLOW ENCLOSURE **DETAIL PLAN NO. IR-1**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

MANUAL DRAIN VALVE **DETAIL PLAN NO. IR-5**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

QUICK COUPLING VALVE **DETAIL PLAN NO. IR-6**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

GATE VALVE-(SMALL) **A**

SCALE: N.T.S. (2" AND SMALLER)

GEAR DRIVEN ROTOR **DETAIL PLAN NO. IR-8**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

BACKFLOW PREVENTER 2" & SMALLER **DETAIL PLAN NO. IR-10**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

ELECTRIC CONTROL VALVE **DETAIL PLAN NO. IR-16**

Issued By: Town of Castle Rock, Development Services March 31, 2010 Sheet 1 of 1

NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE
P.O. Box 1983
Wheat Ridge, CO 80034
Office: (303) 872-7807
www.groundedbydesign.com
SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #850
TOWN OF CASTLE ROCK #1128
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:
AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET 13 OF 19

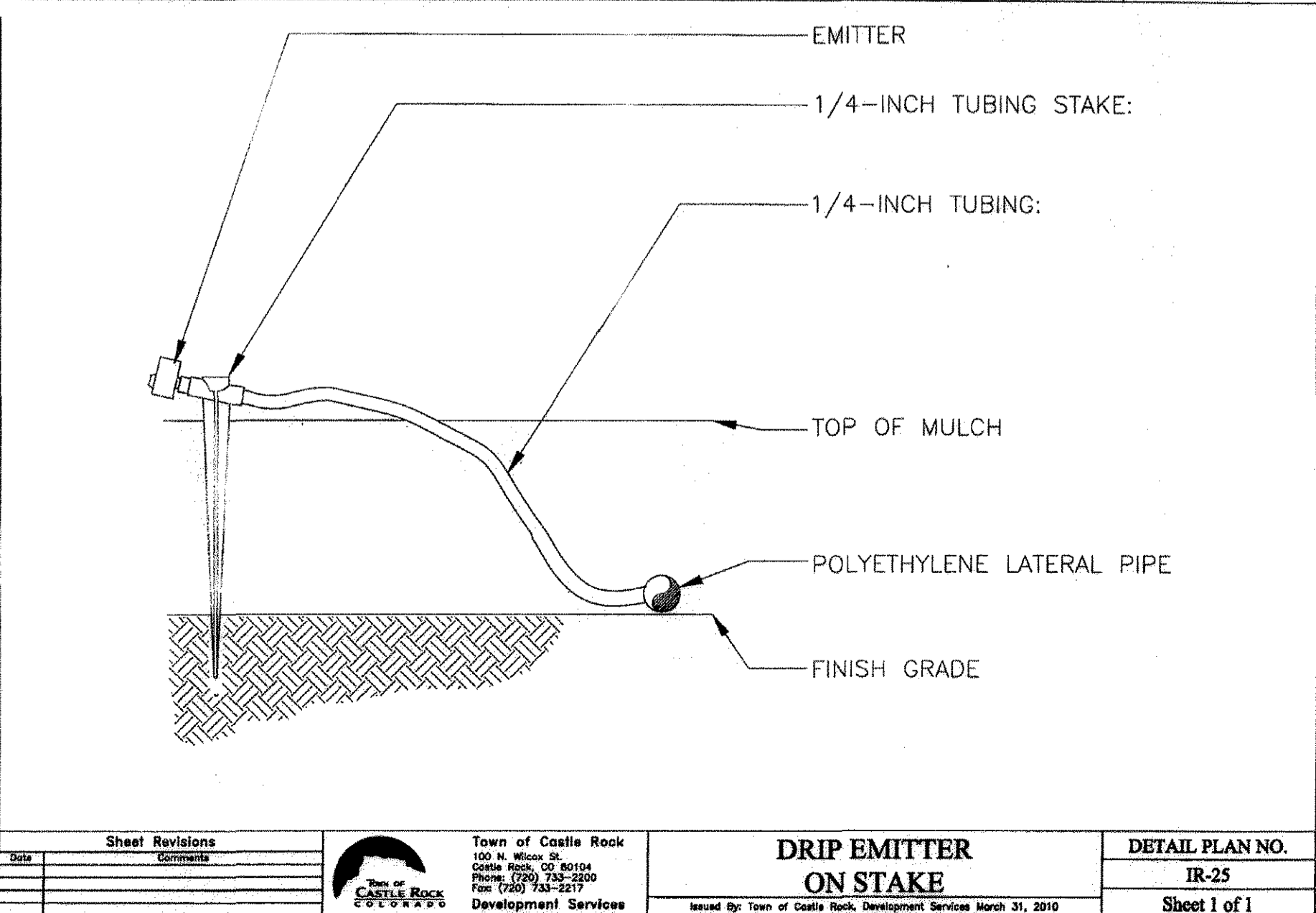
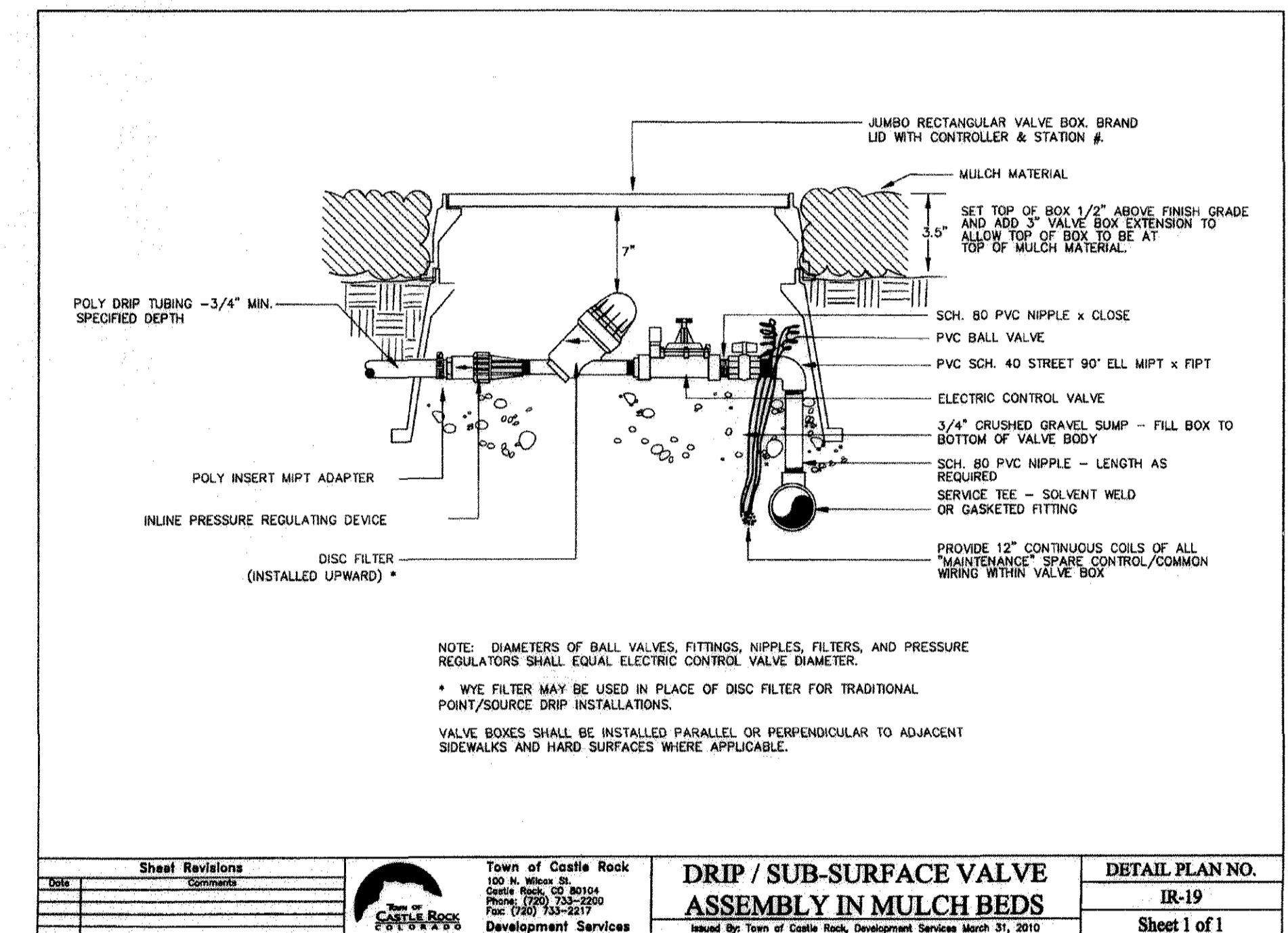
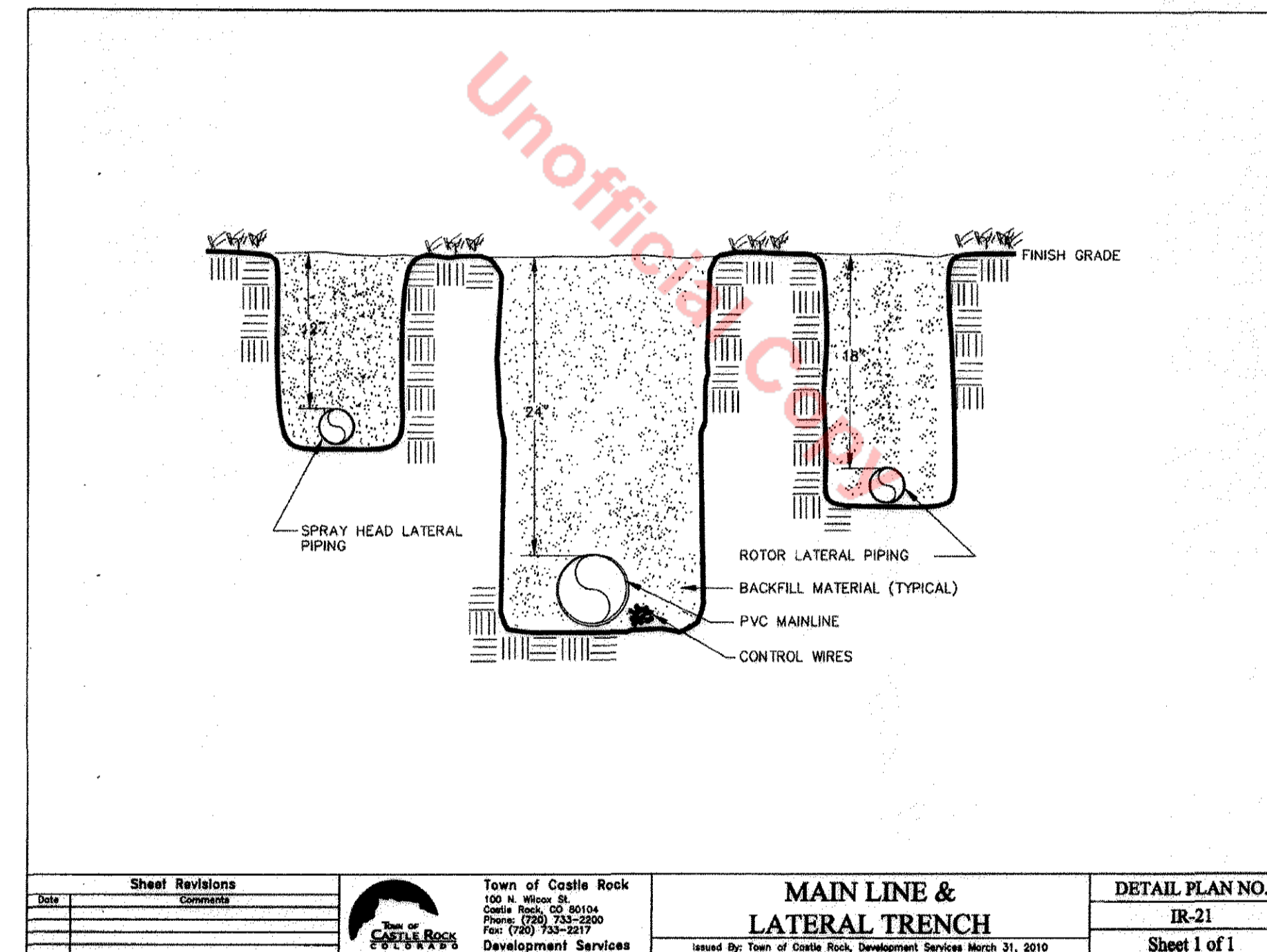
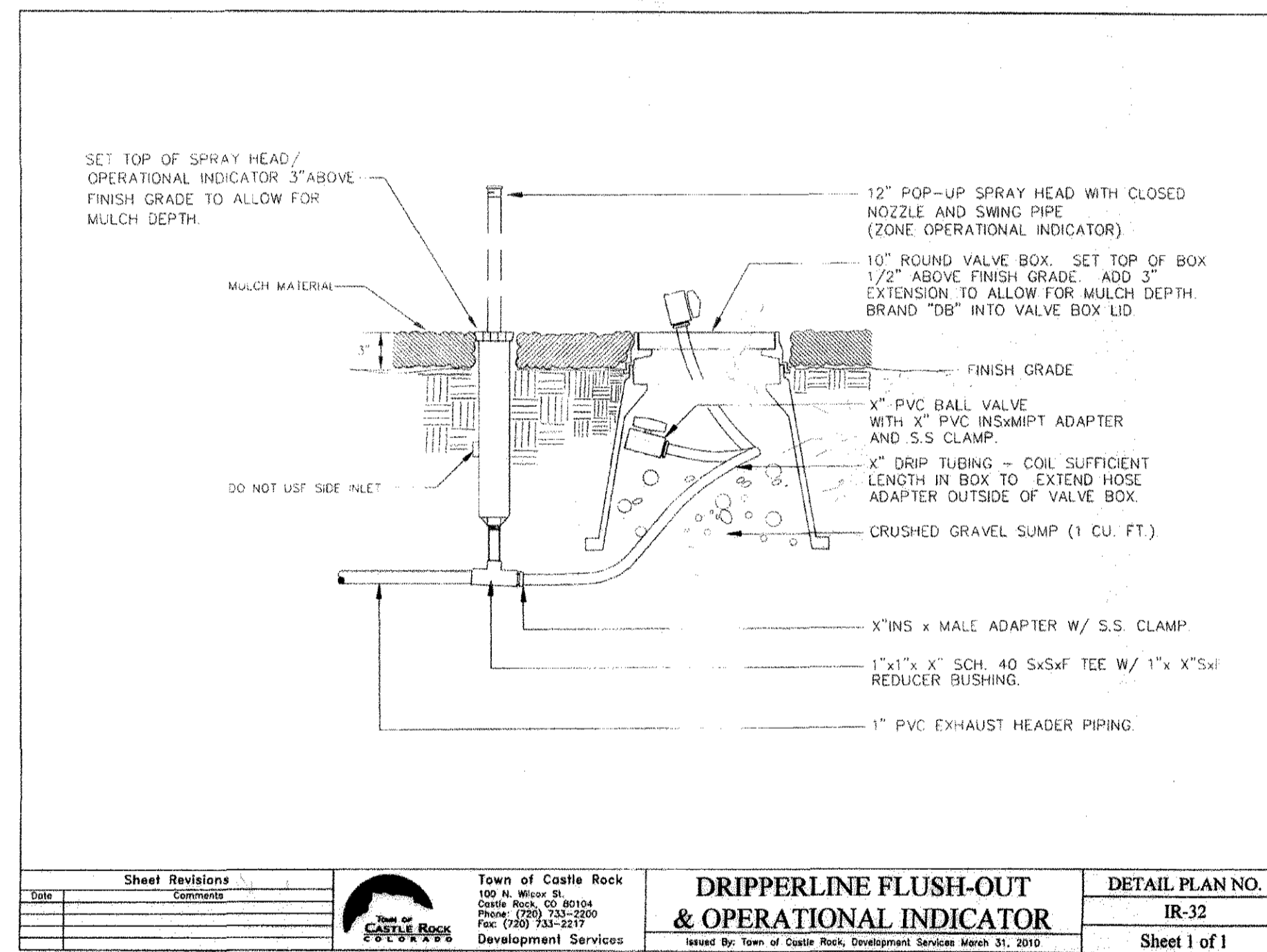
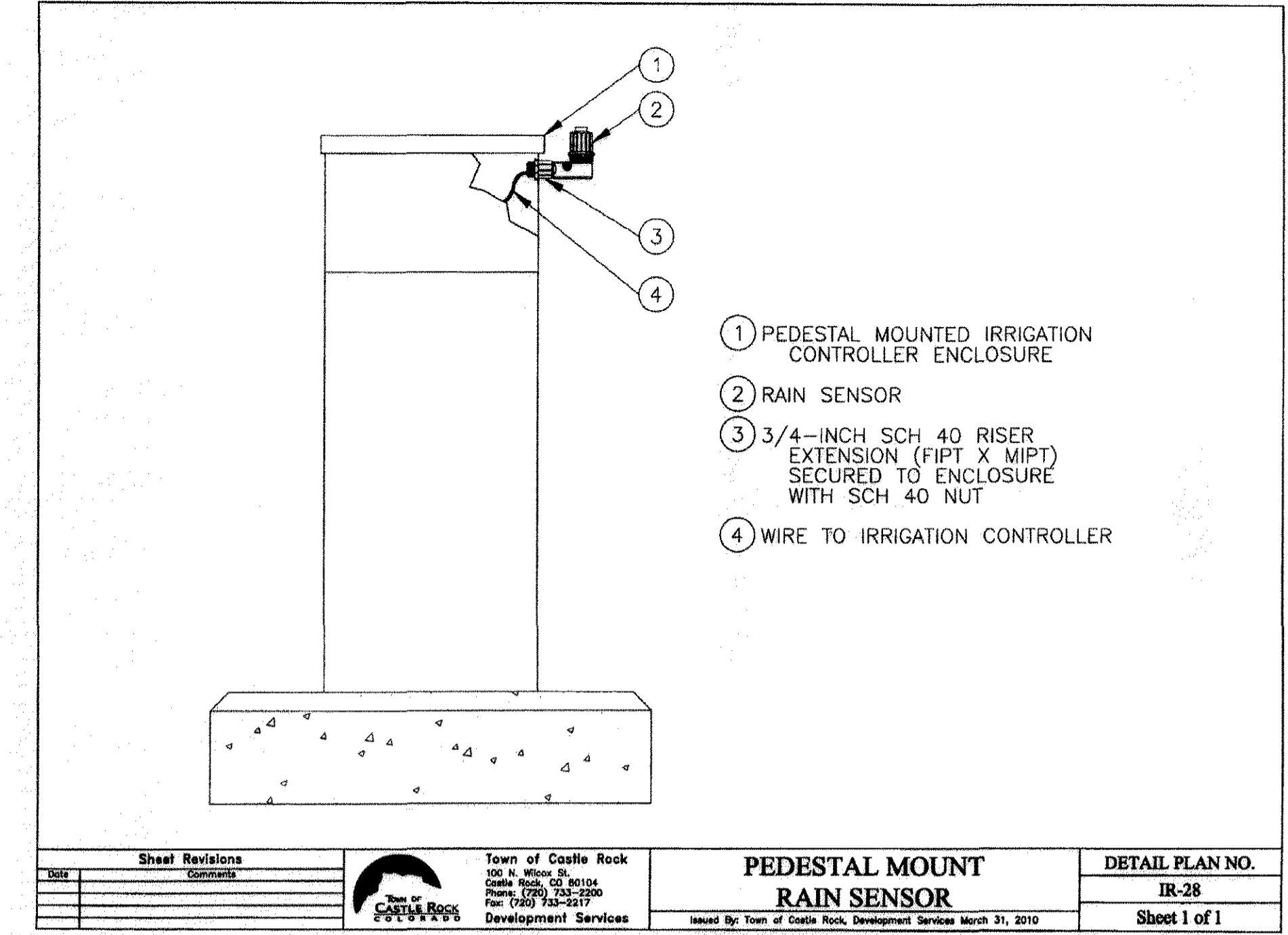
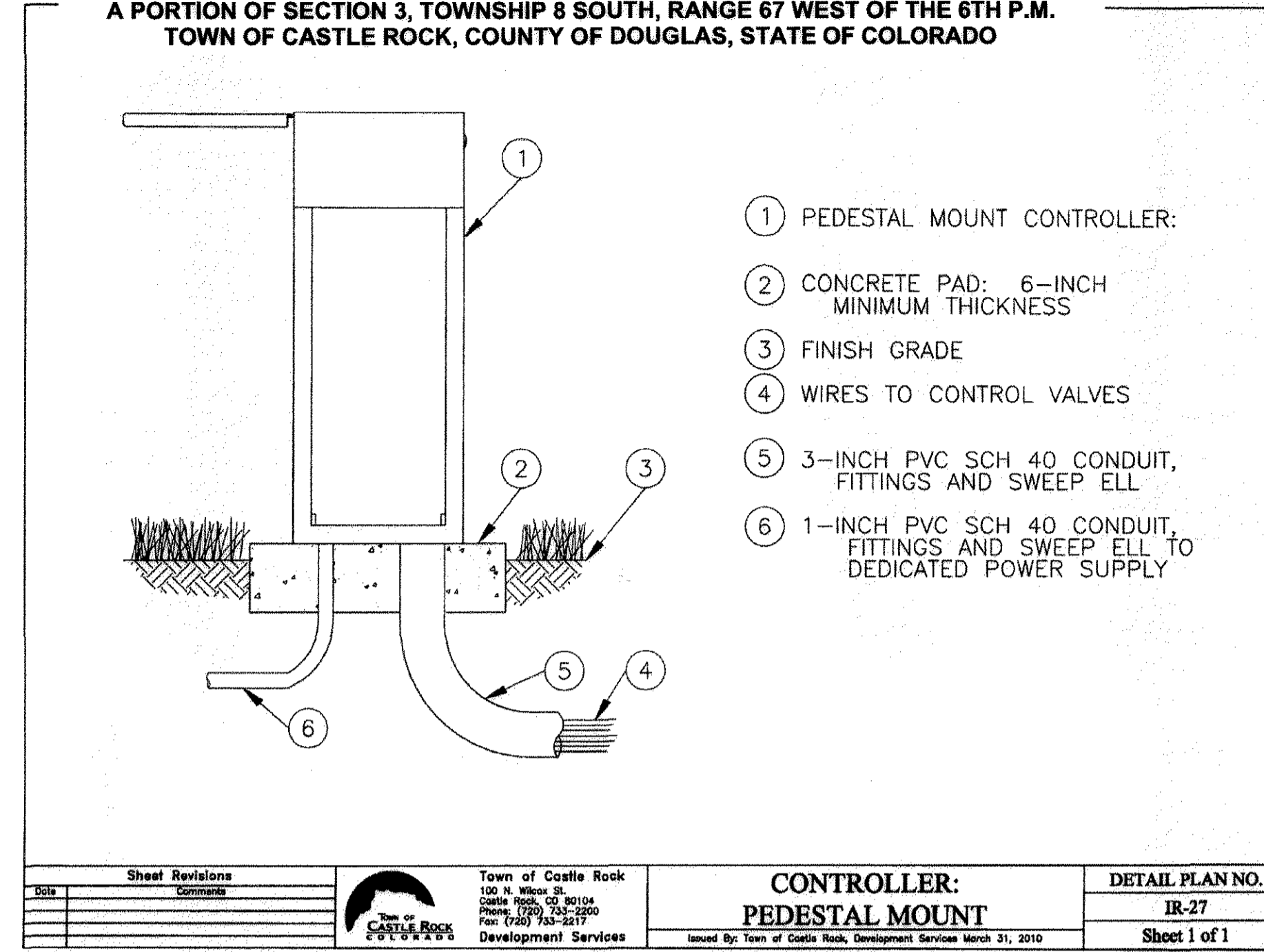
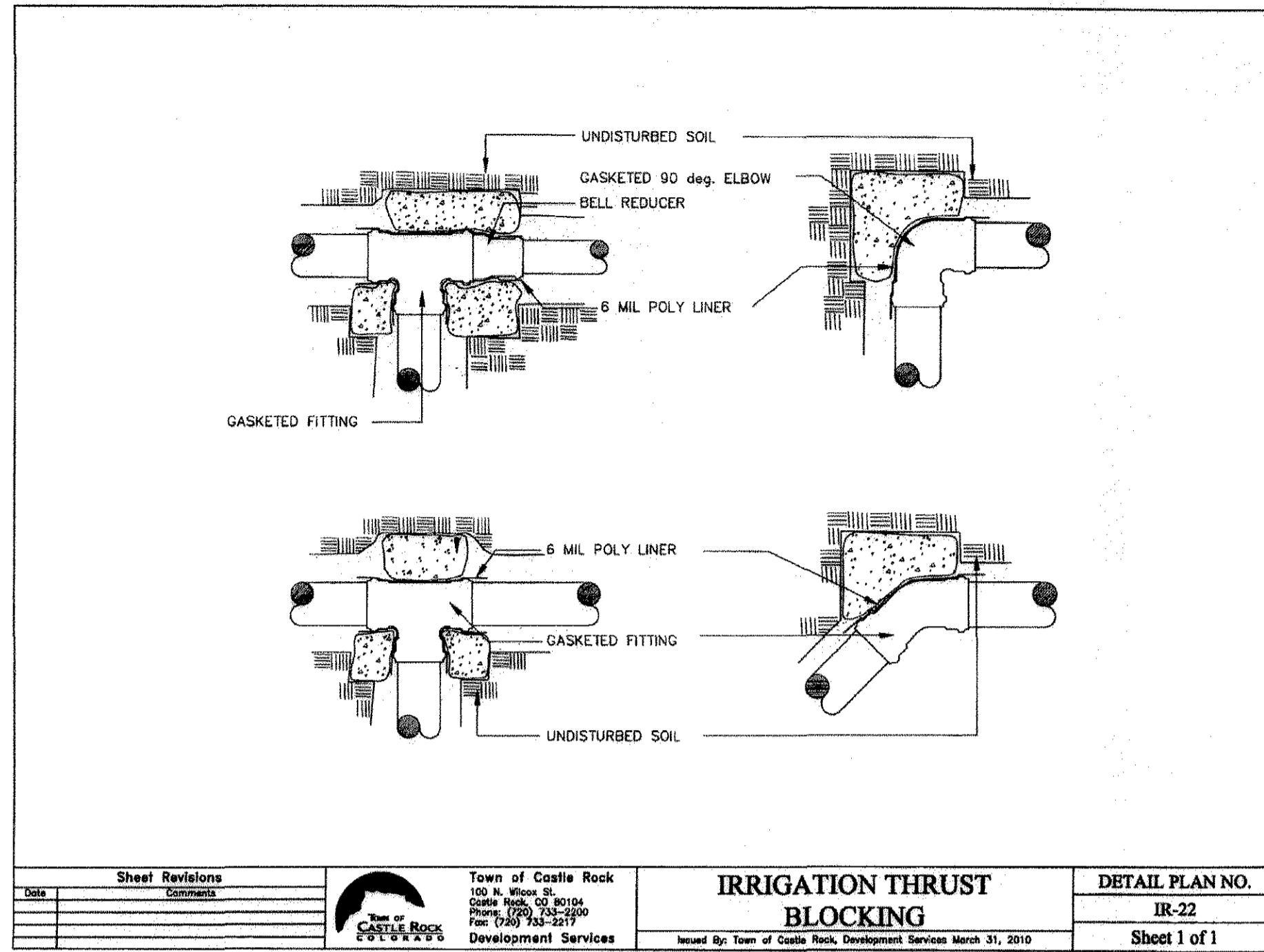
PWN Architects and Planners, Inc.

9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

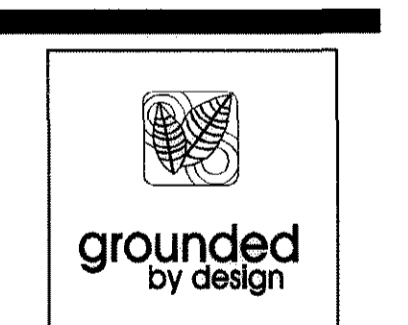
LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



NOT FOR CONSTRUCTION



LANDSCAPE ARCHITECTURE

P.O. Box 1953
Wheat Ridge, CO 80034
Office: (303) 872-7807
www.groundedbydesign.com

SCOTT OHM, RLA
STATE OF COLORADO LICENSED
LANDSCAPE ARCHITECT #650

TOWN OF CASTLE ROCK #1126
THIS DOCUMENT AND THE IDEAS AND DESIGNS INCORPORATED HEREIN, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, IS THE PROPERTY OF GROUNDED BY DESIGN, LLC AND IS NOT TO BE USED IN WHOLE OR IN PART, FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION OF GROUNDED BY DESIGN, LLC

**LOT 1, AUBURN
RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

**PLANS PREPARED FOR:
AUBURN VENTURES LP**

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

**SHEET
14 OF 19**



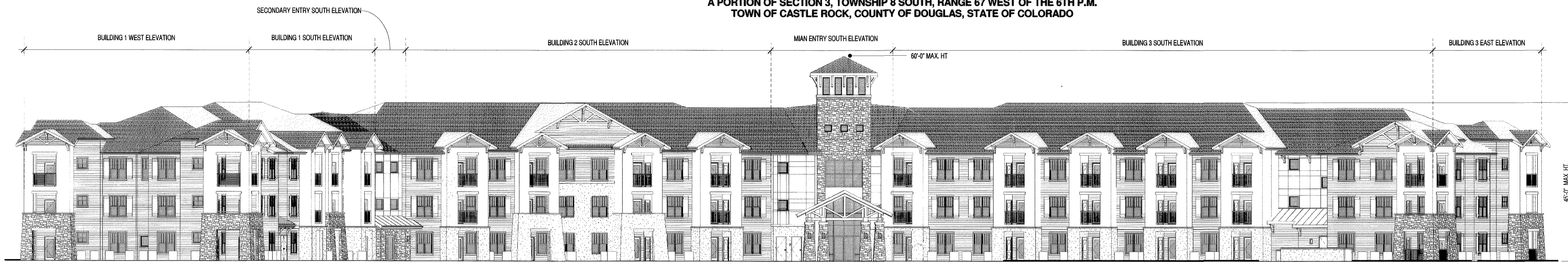
PWN Architects and Planners, Inc.

8250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice: 303.649.9880 fax: 303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1 AUBURN RIDGE APARTMENTS - SOUTH ELEVATION
1/16" = 1'-0"



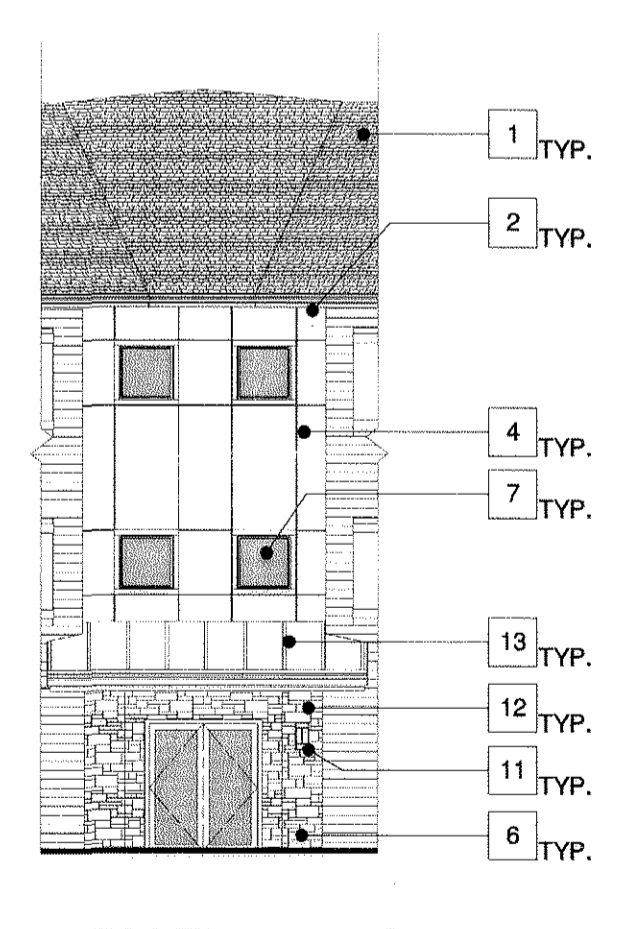
2 AUBURN RIDGE APARTMENTS - NORTH ELEVATION
1/16" = 1'-0"

- ELEVATION KEYNOTES**
- 40 YEAR DIMENSIONAL ASPHALT SHINGLES, SEE LEGEND
 - 1X8 FASCIA, SW 6066 - SAND TRAP
 - CONCRETE MASONRY UNITS, BORAL BEST BLOCK SPLIT FACE TUCSON #550, OR SIM.
 - STUCCO, SEE LEGEND
 - SIDING, SEE LEGEND
 - STONE VENEER, SEE LEGEND
 - VINYL WINDOWS, SW 6064 - RETICENCE OR SIM.
 - WOOD SHUTTER, STAIN SW 3505 - YANKEE BARN
 - METAL RAILING @ 42" A.F.F. MIN., SW 6062 - RUGGED BROWN
 - EXTERIOR LIGHT FIXTURE "B", PAINTED BLACK (RE: PHOTOMETRIC PLAN)
 - EXTERIOR LIGHT FIXTURE "F", PAINTED BLACK (RE: PHOTOMETRIC PLAN)
 - WOOD BRACKET, STAIN SW 3505 - YANKEE BARN
 - STANDING SEAM METAL ROOF, BERRIDGE CHARCOAL GREY, OR SIM.
 - FIRE DEPARTMENT CONNECTION (PROVIDED REMOTELY)
 - KNOX BOX WITH LOCKING KNOX CAPS
 - PRECAST SILL, MATCH SW 6066 - SAND TRAP
 - 1X8 WOOD TRIM, SW 6066 - SAND TRAP
 - OVERHEAD ROLLING GARAGE DOOR, SW 6064 - RETICENCE
 - METAL GATE, SW 6062 - RUGGED BROWN
 - DECORATIVE WOOD TRUSS, STAIN SW 3505 - YANKEE BARN
 - STUCCO HEADER, COLOR SW 6669 - YARROW
 - STRUCTURAL FOUNDATION
 - CIVIL GRADE
 - A/C CONDENSER UNIT, PAINTED TO MATCH ADJACENT MATERIAL

- MATERIAL COLOR LEGEND**
- STUCCO: SW 6328 - FIREWEED
 - STUCCO: SW 6669 - YARROW
 - STUCCO: SW 6064 - RETICENCE
 - STONE VENEER, BLEND OF GOLD RUNDLE STACKED AND BLUE SPRUCE COBBLE LEDGE
 - SIDING: SW 6064 - RETICENCE
 - GAF TIMBERLINE HD, COLOR: SLATE



3 BUILDING 1 - SOUTH ELEVATION
3/32" = 1'-0"



4 SECONDARY ENTRANCE
3/32" = 1'-0"



5 BUILDING 1 - SOUTH ELEVATION
3/32" = 1'-0"

LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
15 OF 19

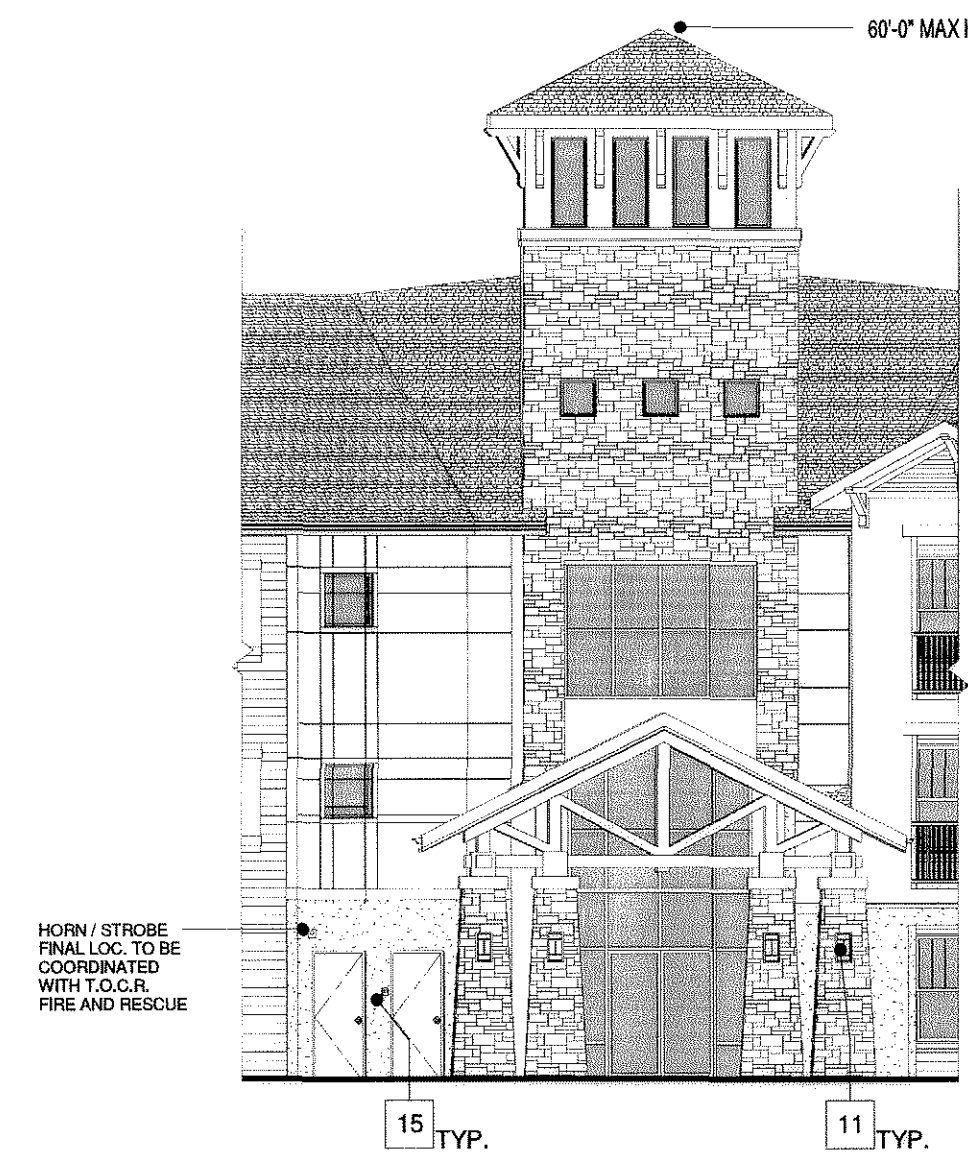


9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



2 MAIN ENTRANCE
3/32" = 1'-0"



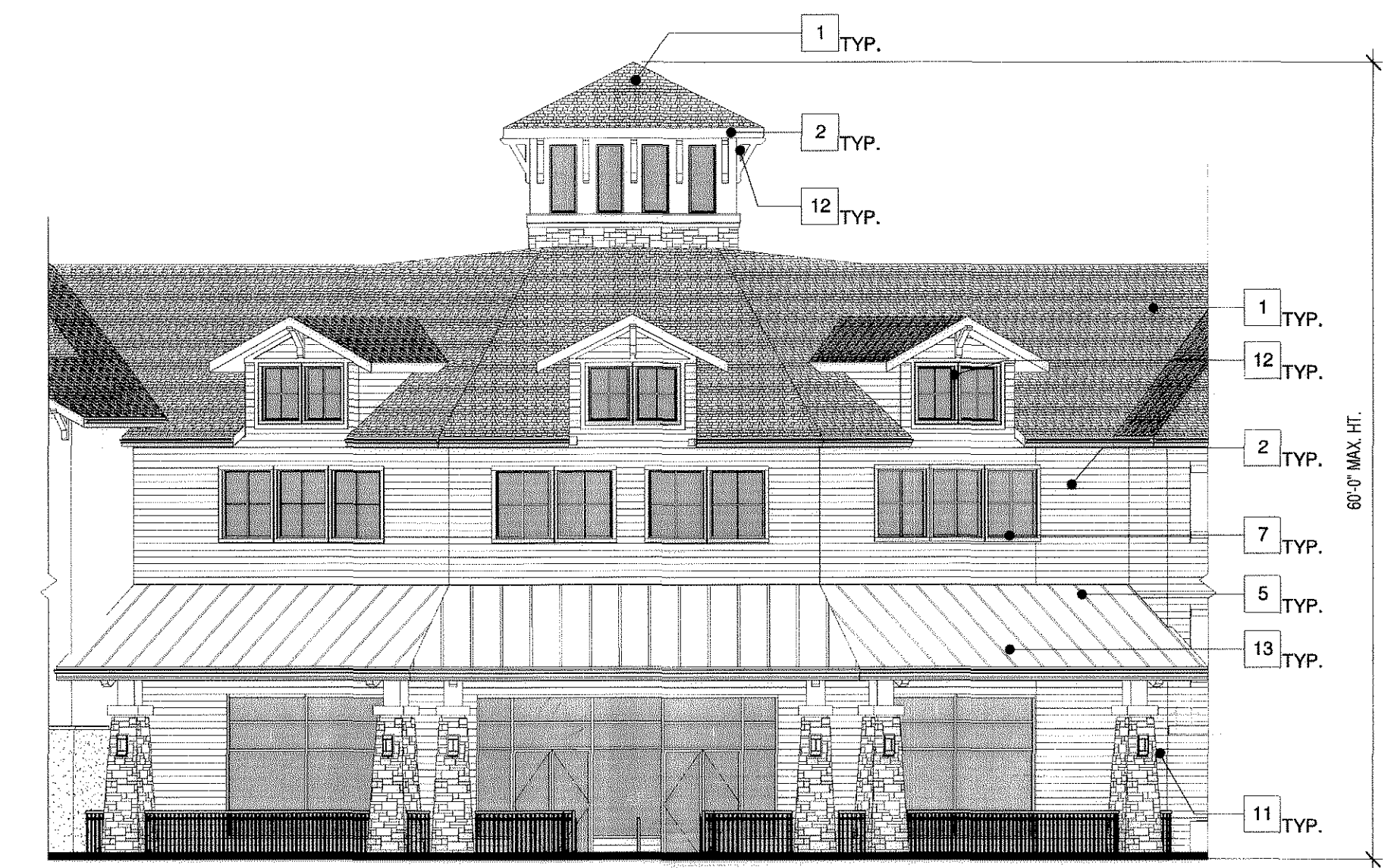
1 BUILDING 1 - SOUTH ELEVATION
1" = 10'-0"



8 BUILDING 1 - EAST ELEVATION
3/32" = 1'-0"



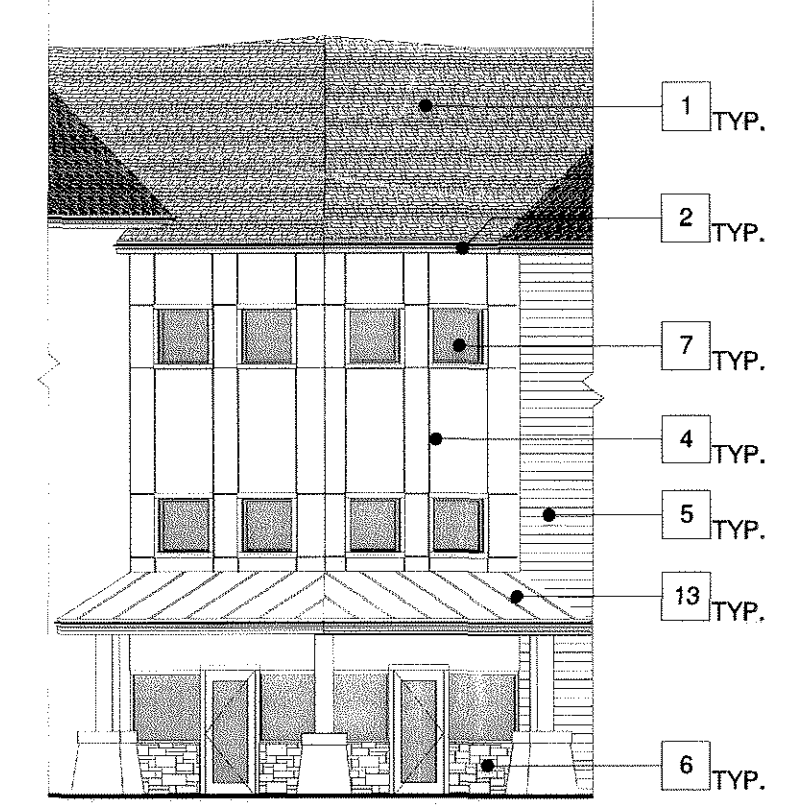
9 BUILDING 1 - NORTH ELEVATION
1" = 10'-0"



10 CLUBROOM - ELEVATION
3/32" = 1'-0"



3 BUILDING 1 - NORTH ELEVATION
1" = 10'-0"



12 READING AREA - ELEVATION
3/32" = 1'-0"

- ELEVATION KEYNOTES**
1. 40 YEAR DIMENSIONAL ASPHALT SHINGLES, SEE LEGEND
 2. 1X8 FASCIA, SW 6066 - SAND TRAP
 3. CONCRETE MASONRY UNITS, BORAL BEST BLOCK SPLIT FACE TUCSON #550, OR SIM.
 4. STUCCO, SEE LEGEND
 5. SIDING, SEE LEGEND
 6. STONE VENEER, SEE LEGEND
 7. VINYL WINDOWS, SW 6064 - RETICENCE OR SIM.
 8. WOOD SHUTTER, STAIN SW 3505 - YANKEE BARN
 9. METAL RAILING @ 42" A.F.F. MIN., SW 6062 - RUGGED BROWN (RE: PHOTOMETRIC PLAN)
 10. EXTERIOR LIGHT FIXTURE "B", PAINTED BLACK (RE: PHOTOMETRIC PLAN)
 11. EXTERIOR LIGHT FIXTURE "F", PAINTED BLACK (RE: PHOTOMETRIC PLAN)
 12. WOOD BRACKET, STAIN SW 3505 - YANKEE BARN
 13. STANDING SEAM METAL ROOF, BERRIDGE CHARCOAL GREY, OR SIM.
 14. FIRE DEPARTMENT CONNECTION (PROVIDED REMOTELY)
 15. KNOX BOX WITH LOCKING KNOX CAPS
 16. PRECAST SILL, MATCH SW 6066 - SAND TRAP
 17. 1X8 WOOD TRIM, SW 6066 - SAND TRAP
 18. OVERHEAD ROLLING GARAGE DOOR, SW 6064 - RETICENCE
 19. METAL GATE, SW 6062 - RUGGED BROWN
 20. DECORATIVE WOOD TRUSS, STAIN SW 3505 - YANKEE BARN
 21. STUCCO HEADER, COLOR SW 6669 - YARROW
 22. STRUCTURAL FOUNDATION
 23. CIVIL GRADE
 24. A/C CONDENSER UNIT, PAINTED TO MATCH ADJACENT MATERIAL

- MATERIAL COLOR LEGEND**
- STUCCO: SW 6328 - FIREWEED
 - STUCCO: SW 6669 - YARROW
 - STUCCO: SW 6064 - RETICENCE
 - STONE VENEER, BLEND OF GOLD RUNDLE STACKED AND BLUE SPRUCE COBBLE LEDGE
 - SIDING: SW 6064 - RETICENCE
 - GAF TIMBERLINE HD, COLOR: SLATE

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
16 OF 19



9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



12 BUILDING 1 - NORTH ELEVATION
1" = 10'-0"

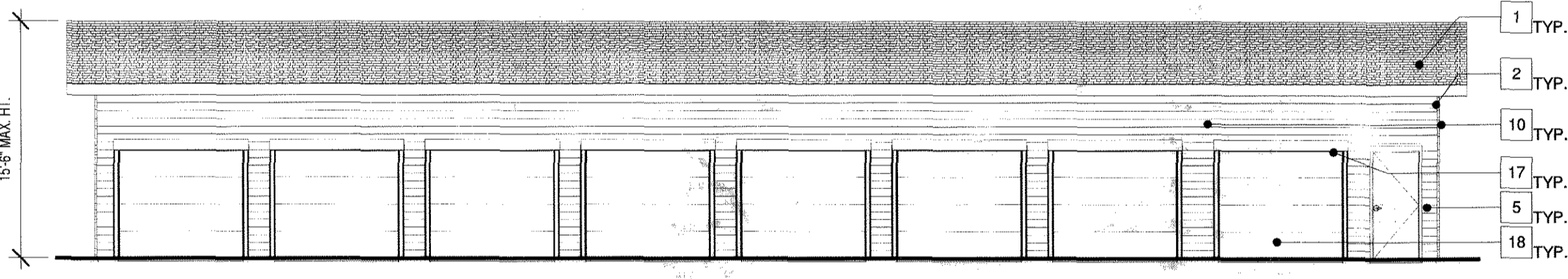


8 BUILDING 1 - WEST ELEVATION
3/32" = 1'-0"

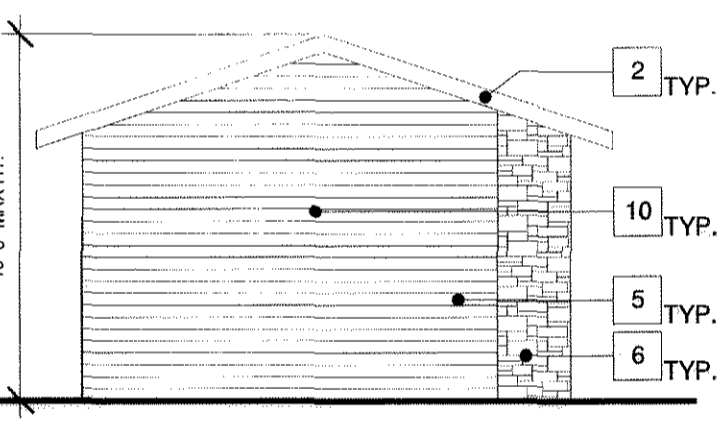
- ELEVATION KEYNOTES**
1. 40 YEAR DIMENSIONAL ASPHALT SHINGLES, SEE LEGEND
 2. 1X8 FASCIA, SW 6066 - SAND TRAP
 3. CONCRETE MASONRY UNITS, BORAL BEST BLOCK SPLIT FACE TUCSON #550, OR SIM.
 4. STUCCO, SEE LEGEND
 5. SIDING, SEE LEGEND
 6. STONE VENEER, SEE LEGEND
 7. VINYL WINDOWS, SW 6064 - RETICENCE OR SIM.
 8. WOOD SHUTTER, STAIN SW 3505 - YANKEE BARN
 9. METAL RAILING @ 42" A.F.F. MIN., SW 6062 - RUGGED BROWN
 10. EXTERIOR LIGHT FIXTURE "B", PAINTED BLACK (RE: PHOTOMETRIC PLAN)
 11. EXTERIOR LIGHT FIXTURE "F", PAINTED BLACK (RE: PHOTOMETRIC PLAN)
 12. WOOD BRACKET, STAIN SW 3505 - YANKEE BARN
 13. STANDING SEAM METAL ROOF, BERRIDGE CHARCOAL GREY, OR SIM.
 14. FIRE DEPARTMENT CONNECTION (PROVIDED REMOTELY)
 15. KNOX BOX WITH LOCKING KNOX CAPS
 16. PRECAST SILL, MATCH SW 6066 - SAND TRAP
 17. 1X8 WOOD TRIM, SW 6066 - SAND TRAP
 18. OVERHEAD ROLLING GARAGE DOOR, SW 6064 - RETICENCE
 19. METAL GATE, SW 6062 - RUGGED BROWN
 20. DECORATIVE WOOD TRUSS, STAIN SW 3505 - YANKEE BARN
 21. STUCCO HEADER, COLOR SW 6669 - YARROW
 22. STRUCTURAL FOUNDATION
 23. CIVIL GRADE
 24. A/C CONDENSER UNIT, PAINTED TO MATCH ADJACENT MATERIAL

MATERIAL COLOR LEGEND

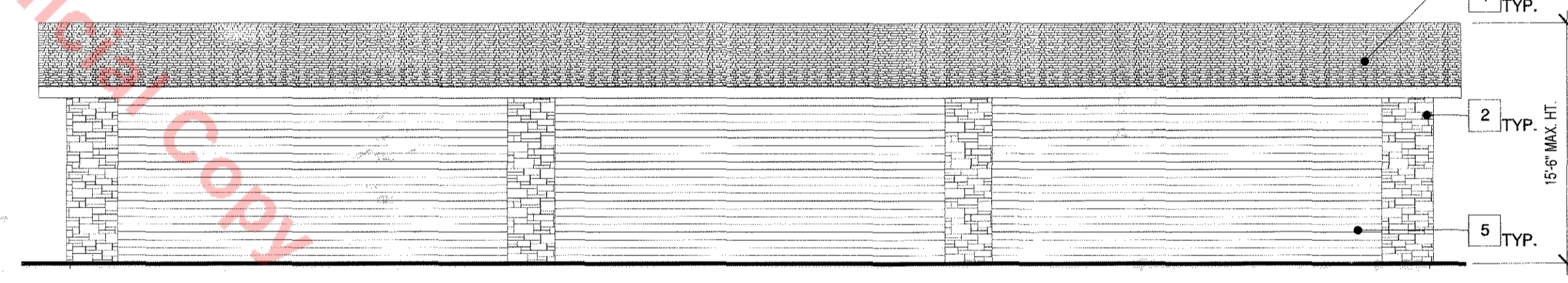
	STUCCO: SW 6328 - FIREWEED
	STUCCO: SW 6669 - YARROW
	STUCCO: SW 6064 - RETICENCE
	STONE VENEER, BLEND OF GOLD RUNDLE STACKED AND BLUE SPRUCE COBBLE LEDGE
	SIDING: SW 6064 - RETICENCE
	GAF TIMBERLINE HD, COLOR: SLATE



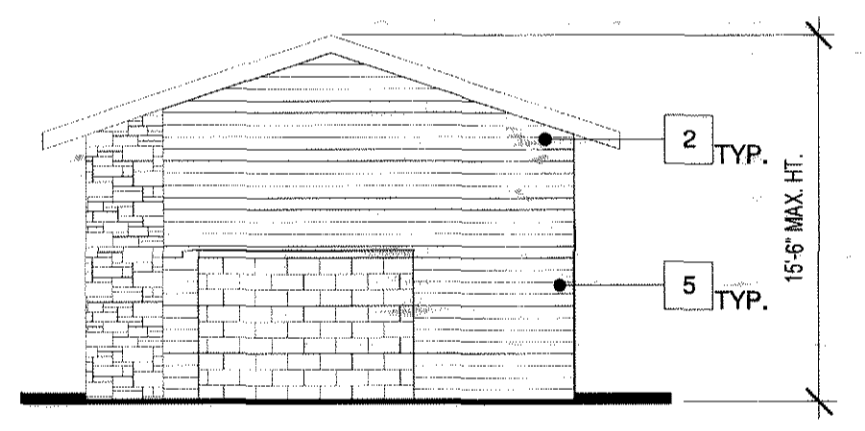
1 BUILDING 3 - DETACHED GARAGE FRONT ELEVATION
1/8" = 1'-0"



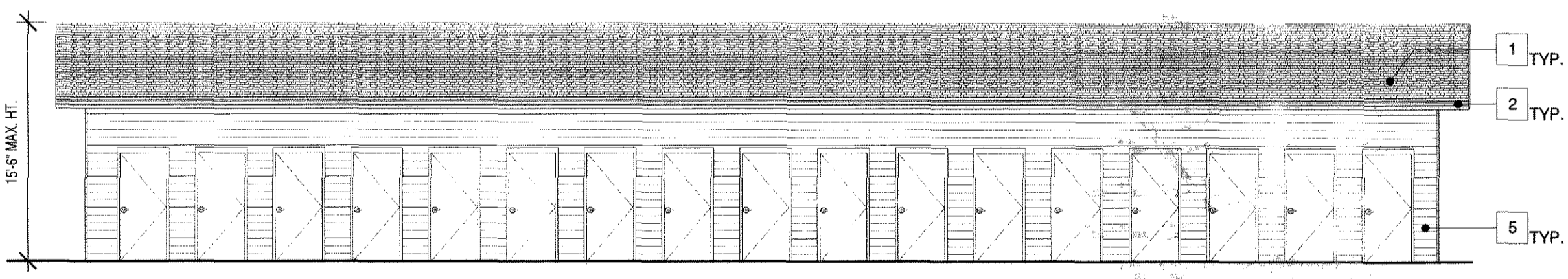
2 GARAGE - SIDE 1
1/8" = 1'-0"



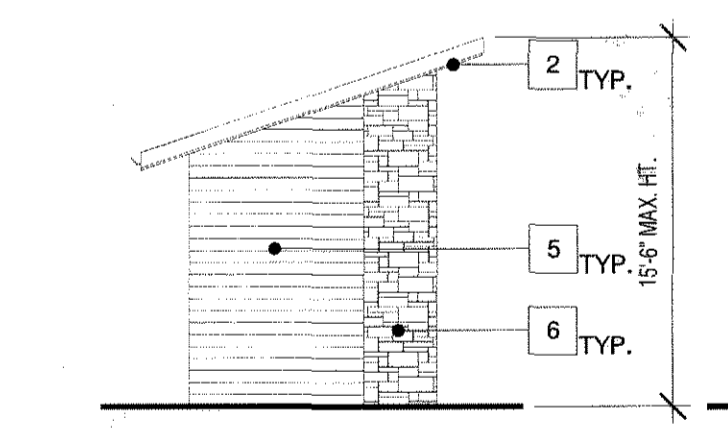
3 BUILDING 3 - DETACHED GARAGE REAR ELEVATION
1/8" = 1'-0"



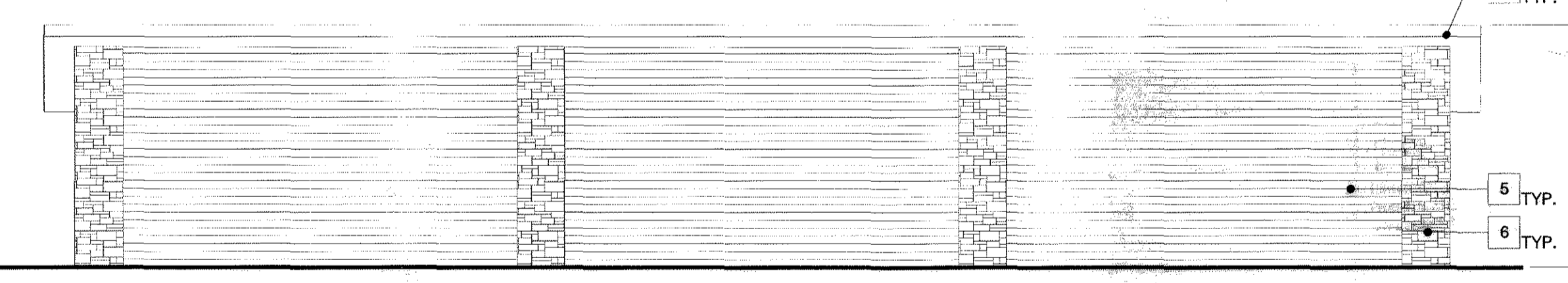
4 GARAGE - SIDE 2
1/8" = 1'-0"



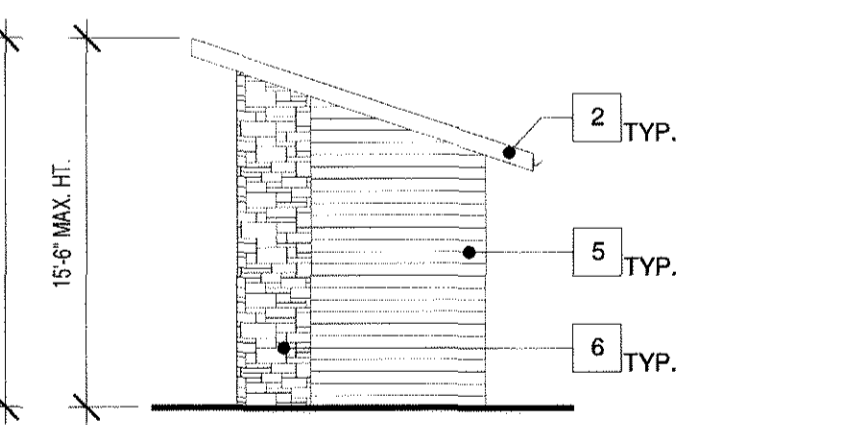
5 BUILDING 2 - STORAGE FRONT ELEVATION
1/8" = 1'-0"



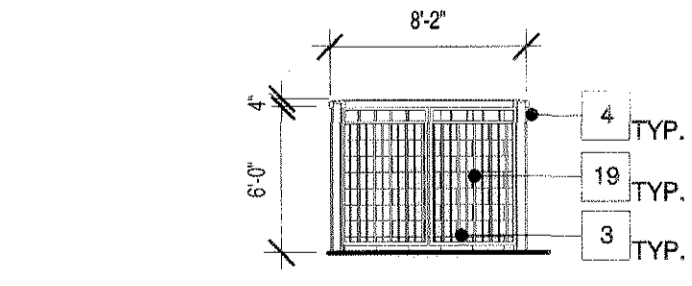
6 STORAGE - SIDE 1
1/8" = 1'-0"



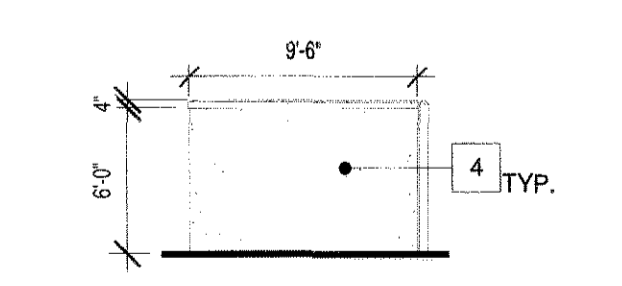
7 BUILDING 2 - STORAGE REAR ELEVATION
1/8" = 1'-0"



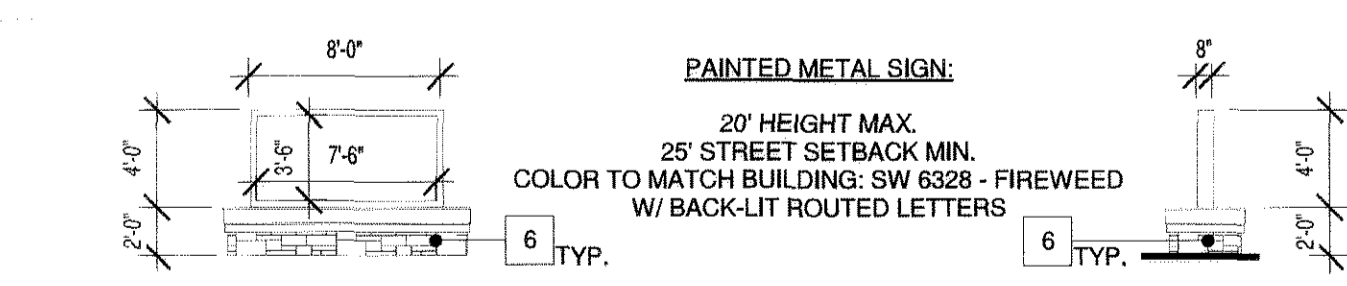
9 STORAGE - SIDE 2
1/8" = 1'-0"



10 TRASH ENCLOSURE - FRONT
1/8" = 1'-0"



11 TRASH ENCLOSURE - SIDE
1/8" = 1'-0"



13 MONUMENT SIGN - FRONT
1/8" = 1'-0"

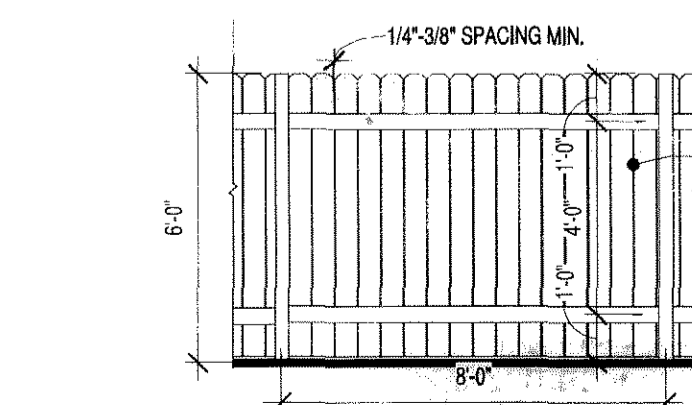


14 MONUMENT SIGN - SIDE
1/8" = 1'-0"

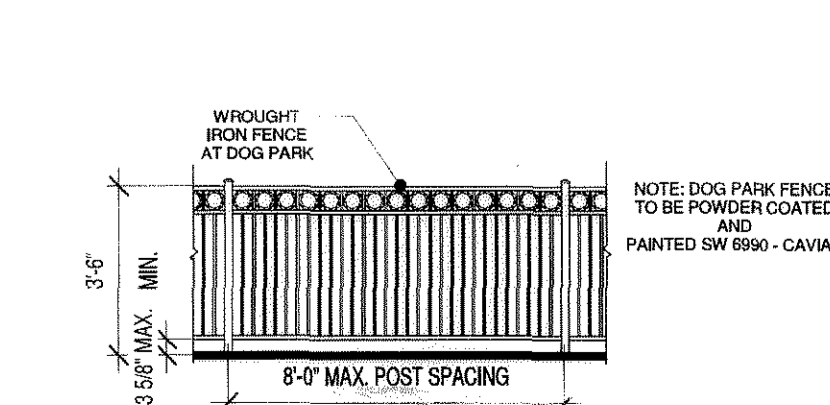
SIGNAGE BREAKDOWN:

MONUMENT SIGN (1):

- ONE MONUMENT SIGN AT ENTRANCE
- 32 SQ FT MAX. PER SIDE
- 25' STREET SETBACK MIN.
- 8' SIGN HEIGHT MAX.
- SIGN COLORS AND MATERIALS TO MATCH BUILDING
- LETTERS TO BE BACK-LIT



15 STORAGE BUILDING FENCE
1/4" = 1'-0"



16 DOG PARK FENCE / GUARDRAIL
1/4" = 1'-0"

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:

AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

**SHEET
17 OF 19**

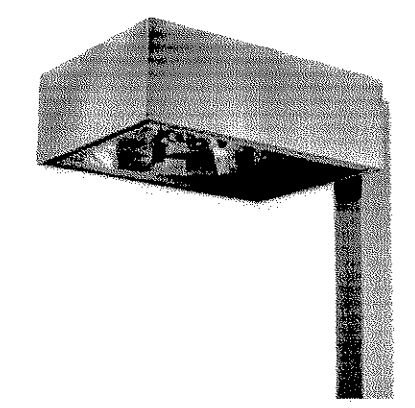
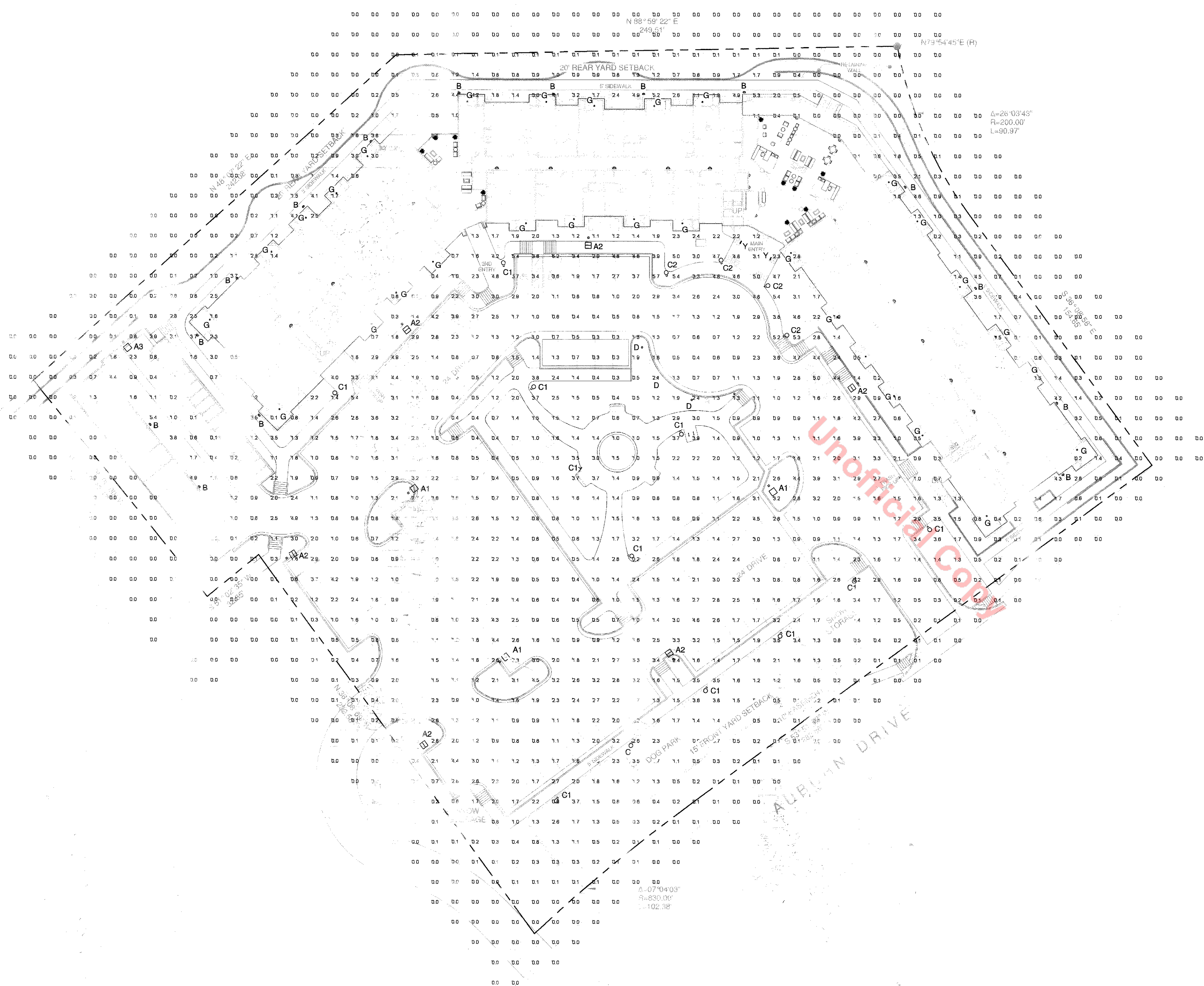


PWN Architects and Planners, Inc.
9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice: 303.649.9880 fax: 303.649.9870
pwnarchitects.com

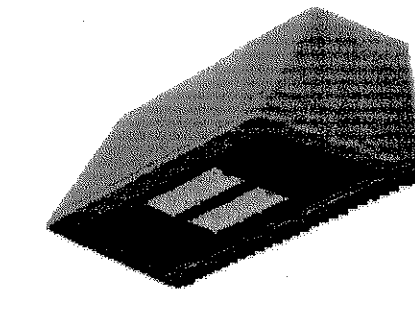
LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

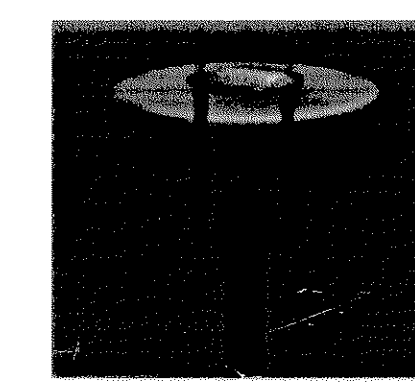
A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



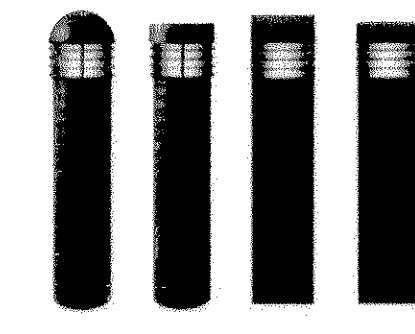
FIXTURE "A"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 22'-7 1/4"



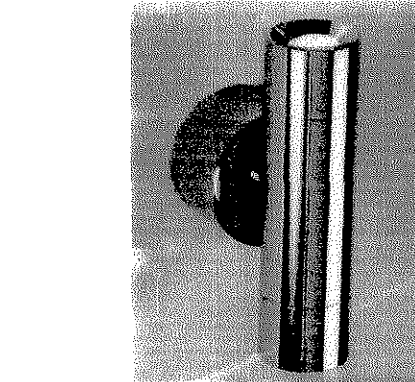
FIXTURE "B"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 10'-7 1/4"



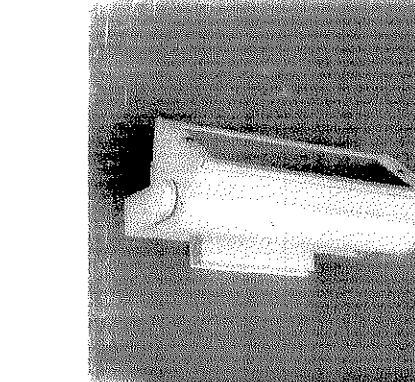
FIXTURE "C"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 14'-10"



FIXTURE "D"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE = 3'-4"



FIXTURE "G"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 7'-0"



FIXTURE "Y"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 11'-0"

LIGHT FIXTURE KEY:

	LIGHT FIXTURE "A" (RE: PHOTOMETRIC PLAN)
	LIGHT FIXTURE "B" (RE: PHOTOMETRIC PLAN)
	LIGHT FIXTURE "C" (RE: PHOTOMETRIC PLAN)
	LIGHT FIXTURE "D" (RE: PHOTOMETRIC PLAN)
	LIGHT FIXTURE "G" (RE: PHOTOMETRIC PLAN)
	LIGHT FIXTURE "Y" (RE: PHOTOMETRIC PLAN)

EXTERIOR LIGHTING PLAN :

EXTERIOR LIGHTS TO BE CONTROLLED BY A PHOTOCELL TIME CLOCK OR AN ASTRONOMICAL CLOCK.

POST CURFEW LIGHTING PLAN :

BUILDING ENTRANCE AND BOLLARD AT PICKUP AND DROP-OFF AREA TO BE LEFT ON POST CURFEW.

90% OF REMAINING LIGHTS TO BE TURNED OFF POST CURFEW.

CURFEW IS DEFINED AS 9:00 P.M. THROUGH 6:00 A.M.

ADMINISTRATIVE VARIANCE :

WITH APPROVAL OF THIS FINAL DEVELOPMENT SITE PLAN, THE DEVELOPMENT SERVICES DIRECTOR GRANTS A VARIANCE TO ALLOW UP TO A 20% INCREASE IN ILLUMINATION LEVELS IN SOME AREAS OF THE SITE. IN NO CASE SHALL THE ILLUMINATION LEVELS EXCEED 6 FOOT CANDLES.

LIGHT FIXTURES
NTS

1 PHOTOMETRIC PLAN
1" = 30'-0"

LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN

FPD 12-0006

PLANS PREPARED FOR:
AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
18 OF 19



9250 E Costilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com

LOT 1, AUBURN RIDGE FINAL PD SITE PLAN

3.23 ACRES

A PORTION OF SECTION 3, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Symbol	Label	Qty	Catalog Number	Description	Lamp	File	Lumens	LLF	Watts
	A1	3	KSF1 175M R3 (PULSE START)	Specification Area Luminaire, 175W Metal Halide, R3 Reflector, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 175-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	KSF1_175M_R3_(PULSE_START).ies	14400	1.00	208
	B	15	WST 50M WT	ARCHITECTURAL SCONCE WITH WIDE THROW DISTRIBUTION WITH CLEAR, FLAT GLASS LENS. CLEAR LAMP. MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 50-WATT CLEAR E-17 METAL HALIDE, HORIZONTAL POSITION.	WST_50M_WT.ies	3450	1.00	72
	C1	1	SAC-R5-1-H70T6-DS	WITH SPECULAR REFLECTOR AND CLEAR FLAT GLASS LENS	LUMENS FOR 70W PHILIPS MH LAMP	SAC-R5-1-H150-DS.IES	5600	1.00	1
	D	5	3110/3120-32TRT-SYM	3110 LOUVER BOLLARD, SYMMETRIC DISTRIBUTION WITH 32W TRT CFL LAMP.		3110_3120-32TRT-SYM.ies	2200	1.00	35.02
	C2	4	SAC2-R5-1-H70T6-DS	WITH SPECULAR REFLECTOR AND CLEAR FLAT GLASS LENS	LUMENS FOR 70W PHILIPS MH LAMP	SAC-R5-1-H150-DS.IES	5600	1.00	1
	G	30	56-51011	PARIES LED 2W 60° 3000K	LED	56-51011.ies	35	1.00	2
	Y	2	CATALOG NO. P1-MS-MH70-120V-MS1-STD	FLAT CLEAR INTERNAL MICRO-PRISMATIC GLASS LENS		BAL11571.ies	6200	1.00	70
	A2	6	KSF1 175M R3 HS (PULSE START)	Specification Area Luminaire, 175W Metal Halide, R3 Reflector with house-side shield, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	ONE 175-WATT CLEAR BT-28 METAL HALIDE, HORIZONTAL POSITION.	KSF1_175M_R3_HS_(PULSE_START).ies	14400	1.00	208
	A3	1	KSF1 50M R3 HS	Specification Area Luminaire, 100W Metal Halide, R3 Reflector with house-side shield, Full Cutoff MEETS THE 'NIGHTTIME FRIENDLY' CRITERIA	lumens for ONE 50-WATT CLEAR E-17 METAL HALIDE, HORIZONTAL POSITION.	KSF1_100M_R3_HS.ies	5600	1.00	50

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	1.1 fc	5.7 fc	0.0 fc	N/A	N/A
Parking	x	1.8 fc	5.3 fc	0.3 fc	17.7:1	6.0:1

No.	Label	Location Y	Z	MH	Orientation	Tilt	
1	B	3201.7	1779.4	10.0	10.0	-44.8	0.0
2	B	3234.7	1815.2	10.0	10.0	-44.8	0.0
3	B	3268.3	1847.6	10.0	10.0	-44.8	0.0
4	B	3312.1	1871.5	10.0	10.0	0.0	0.0
5	B	3359.1	1871.0	10.0	10.0	0.0	0.0
6	B	3404.0	1871.0	10.0	10.0	0.0	0.0
7	B	3454.0	1872.0	9.5	9.5	0.0	0.0
8	B	3534.1	1825.2	10.0	10.0	53.4	0.0
9	B	3569.1	1774.8	10.0	10.0	53.4	0.0
10	B	3609.5	1718.1	10.0	10.0	53.4	0.0
11	B	3212.8	1711.7	10.0	10.0	226.9	0.0
12	B	3182.1	1751.3	10.0	10.0	225.4	0.0
13	C2	3415.3	1782.5	14.0	14.0	171.4	0.0
14	C2	3475.3	1751.6	14.0	14.0	254.9	0.0
15	D	3403.3	1745.5	3.0	3.0	0.0	0.0
16	D	3449.3	1722.6	3.0	3.0	0.0	0.0
17	D	3411.0	1730.6	3.0	3.0	0.0	0.0
18	C1	3398.2	1642.1	14.0	14.0	-82.4	0.0
19	C1	3349.3	1726.0	14.0	14.0	228.1	0.0
20	C1	3422.9	1702.5	14.0	14.0	-22.5	0.0
21	C1	3371.6	1694.9	14.0	14.0	83.8	0.0
22	C1	3509.0	1629.8	14.0	14.0	18.8	0.0
23	A2	3226.5	1640.9	22.0	22.0	57.1	0.0
24	A2	3291.5	1546.3	22.0	22.0	54.0	0.0
25	A1	3286.9	1673.1	22.0	22.0	53.1	0.0
26	A1	3332.4	1589.8	22.0	22.0	51.0	0.0
27	A1	3466.3	1676.9	22.0	22.0	144.3	0.0
28	A2	3283.8	1757.0	22.0	22.0	140.6	0.0
29	A2	3376.5	1799.7	22.0	22.0	180.8	0.0
30	A2	3510.7	1727.8	22.0	22.0	233.4	0.0
31	A2	3418.9	1591.1	22.0	22.0	-35.8	0.0
32	C1	3334.2	1787.3	14.0	14.0	171.4	0.0
33	C1	3250.3	1722.9	14.0	14.0	128.7	0.0
34	G	3188.3	1758.8	6.6	6.6	0.0	0.0
35	G	3218.9	1792.6	6.6	6.6	0.0	0.0
36	G	3235.9	1809.6	6.6	6.6	0.0	0.0
37	G	3251.0	1821.9	6.6	6.6	0.0	0.0
38	G	3286.5	1840.3	6.6	6.6	0.0	0.0
39	G	3316.3	1867.2	6.6	6.6	0.0	0.0
40	G	3355.5	1867.2	6.6	6.6	0.0	0.0

No.	Label	X	Location Y	Z	MH	Orientation	Tilt
41	G	5379.4	1865.2	6.6	6.6	0.0	0.0
42	G	5409.4	1865.2	6.6	6.6	0.0	0.0
43	G	5439.3	1867.2	6.6	6.6	0.0	0.0
44	G	5526.0	1827.6	6.6	6.6	0.0	0.0
45	G	5540.2	1808.1	6.6	6.6	0.0	0.0
46	G	5561.4	1775.5	6.6	6.6	0.0	0.0
47	G	5579.3	1750.9	6.6	6.6	0.0	0.0
48	G	5594.8	1732.9	6.6	6.6	0.0	0.0
49	G	5619.6	1694.7	6.6	6.6	0.0	0.0
50	G	5574.7	1662.0	6.6	6.6	0.0	0.0
51	G	5542.8	1702.0	6.6	6.6	0.0	0.0
52	G	5528.7	1721.6	6.6	6.6	0.0	0.0
53	G	5514.5	1741.0	6.6	6.6	0.0	0.0
54	G	5500.4	1760.5	6.6	6.6	0.0	0.0
55	G	5477.3	1792.2	6.6	6.6	0.0	0.0
56	G	5423.3	1807.0	6.6	6.6	0.0	0.0
57	G	5399.3	1809.0	6.6	6.6	0.0	0.0
58	G	5369.4	1809.0	6.6	6.6	0.0	0.0
59	G	5345.5	1807.0	6.6	6.6	0.0	0.0
60	G	5299.2	1787.8	6.6	6.6	0.0	0.0
61	G	5280.9	1772.3	6.6	6.6	0.0	0.0
62	G	3368.5	1757.2	6.6	6.6	0.0	0.0
63	G	3222.8	1714.7	6.6	6.6	0.0	0.0
64	C2	3442.5	1788.7	14.0	14.0	171.4	0.0
65	C2	3468.8	1776.0	14.0	14.0	254.9	0.0
66	Y	3467.0	1789.5	11.0	11.0	-65.8	90.0
67	Y	3452.5	1797.5	11.0	11.0	119.1	90.0
68	B	3183.0	1676.0	8.8	8.8	49.5	0.0
69	B	3156.5	1707.0	8.8	8.8	48.4	0.0
70	A3	3145.0	1748.0	14.0	14.0	141.0	0.0
71	C1	3546.4	1655.3	14.0	14.0	-34.9	0.0
72	B	3612.6	1682.5	10.0	10.0	140.4	0.0
73	C1	3471.9	1602.6	14.0	14.0	18.8	0.0
74	C1	3434.8	1575.4	14.0	14.0	18.8	0.0
75	C1	3397.7	1548.2	14.0	14.0	18.8	0.0
76	C1	3360.6	1521.0	14.0	14.0	18.8	0.0
77	D	3428.0	1719.6	3.0	3.0	0.0	0.0

NOTE: HEIGHTS / Z COORDINATES INDICATED ARE FROM GROUND SURFACE TO CENTER OF THE LIGHT EMITTING APERTURE OF THE LUMINAIRE.

LIGHT FIXTURE KEY:

- LIGHT FIXTURE "A" (RE: PHOTOMETRIC PLAN)
- LIGHT FIXTURE "B" (RE: PHOTOMETRIC PLAN)
- LIGHT FIXTURE "C" (RE: PHOTOMETRIC PLAN)
- LIGHT FIXTURE "D" (RE: PHOTOMETRIC PLAN)
- LIGHT FIXTURE "G" (RE: PHOTOMETRIC PLAN)
- LIGHT FIXTURE "Y" (RE: PHOTOMETRIC PLAN)

FIXTURE "A"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 22'-7 1/4"

FIXTURE "B"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 10'-7 1/4"

FIXTURE "C"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 14'-10"

FIXTURE "D"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE = 3'-4"

FIXTURE "G"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 7'-0"

FIXTURE "Y"
HEIGHT OF FIXTURE FROM GRADE TO TOP OF FIXTURE DOES NOT EXCEED 11'-0"

LIGHT FIXTURES
NTS

**LOT 1, AUBURN RIDGE
FINAL PD SITE PLAN**

FPD 12-0006

PLANS PREPARED FOR:
AUBURN VENTURES LP

159577 N 81ST STREET, SUITE 101
SCOTTSDALE, AZ 85260

SHEET
19 OF 19

PWN Architects and Planners, Inc.

9250 E Castilla Avenue | Suite 620
Greenwood Village, CO 80112
voice.303.649.9880 fax.303.649.9870
pwnarchitects.com