

**Chapter 17.46**  
**Wolfensberger North Zoning Overlay District**

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**17.46.010 Purpose and intent.**

The purpose of the Wolfensberger North Zoning Overlay District (WNZOD) is to establish architectural, landscaping, design, building, uses and site development regulations that encourage compatible land uses, ensure higher quality development and function in order to protect property values, provide safe and efficient access for the pedestrian and automobile and protect real estate from impairment or destruction of value. These architectural, landscaping, design, building, uses and site development criteria can encourage quality development through the use of a variety of design and site techniques while continuing to provide for a wide range of economic development. This Chapter applies to all new development and/or improvements in the WNZOD and that have not been submitted for review before the effective date of the Ordinance adopting this Overlay District.

**17.46.020 Interface regulations inapplicable.**

The WNZOD is intended to encourage mixed residential and commercial development and, pursuant to Section 17.46.070 of this Chapter, the Residential/Nonresidential Interface Regulations in Chapter 17.50 do not apply within the WNZOD.

**17.46.030 Relationship to underlying zoning district/sign code.**

A. In the event of a conflict between the entitlements, regulations or standards established in this Chapter and the equivalent provisions in the underlying Zoning Districts, the provisions of this Chapter shall govern. Except in the event of such preemption by this Chapter, the underlying Zoning District provisions and all other provisions of the CRMC shall be applicable and enforced within the WNZOD.

B. For the purpose of applying the Sign Code regulations under Title 19, CRMC in the WNZOD, the underlying Zoning District designation shall be utilized within the WNZOD to differentiate between residential and business area regulations.

**17.46.040 Permitted uses.**

The uses permitted in the DOD are outlined in Section 17.28.030. These permitted uses shall be allowed on all properties within the WNZOD in addition to the permitted and accessory uses allowed in the underlying Zoning District.

**17.46.060 Development standards.**

The following development standards shall apply:

- A. Maximum lot coverage: 100% of lot area.
- B. Minimum side yard: zero feet.
- C. Minimum front yard: 15-feet.
- D. Minimum rear yard: 10-feet.
- E. Maximum height of buildings: determined by the property's underlying zoning.
- F. Maximum height of buildings by use permitted by special review: 70-feet for residential, office or hotel developments.
- G. Maximum fence height: 10-feet, provided that the fence is outside the front yard setback.
- H. Multi-family residential: The development must encompass a minimum of five contiguous acres with a maximum mix of multifamily residential equaling 35% of the gross square footage of the development.
- I. Dwelling unit: All residential units are for living/sleeping purposes, to be occupied by a single family, containing an individual kitchen and bathroom, with a minimum size of 700-square feet.

**17.46.070 Design standards.**

A. Architectural threshold requirements: All primary structures must have their total exterior facade covered with at least one of the materials listed in this Section:

- 1. Building materials. Exterior facades shall be built with one or more of the following materials: brick, wood, stone, tile, stucco, decorative block (with common gray block not acceptable), galvanized or metal sheeting (not to exceed 25% of a structure's elevation facing a public roadway), tilt-up concrete panels (prefab concrete panels) and/or transparent materials such as glass or plexiglass. This will not apply to awnings or overhangs. Smooth-faced concrete block will only be permitted on the service side of a building that does not face a public roadway and must be painted to match the prominent color of the total building.

2. Window or transparency. The main front elevation shall provide at least 25% window or transparency at the pedestrian level. Side elevations that face a public roadway shall provide at least 20% window or transparency at the pedestrian level. The window or transparency is measured in lineal fashion. For example, a 100-foot-long building elevation shall have at least 25% transparency in length. The height of the glass or plexiglass must be a minimum height of 5-feet.

3. Exterior wall elevations. There shall be no uninterrupted lengths of blank wall longer than 60-feet. Walls shall be differentiated with recesses, offsets, building height, variations in rooflines, windows, awnings and materials or other architectural elements. This does not apply to the service side of the building.

4. Rooftop equipment. All rooftop equipment shall be screened from view on all sides visible to the general public by building parapet walls or other building elements that appear as integral elements of the overall building.

5. Service station canopies and columns. Canopies, such as those associated with convenience stores with gasoline sales, must have the same predominate color as the main building. Columns must be clad in the primary building material of the main building or from another material listed in Paragraph 1 above.

6. Outdoor storage, repair, rental and servicing areas shall be:

- a. Set back 15-feet from the front lot line;
- b. Screened by an opaque fence or berm; and
- c. Screened from the front lot line by coniferous trees, with a minimum of one tree per 20-feet of lot frontage. This screen may only be calculated for up to 20% of the overall landscaping requirement for the development. (See 17.46.080 for fence and opaque requirements).

7. Landscaping. All developments shall adhere to the following landscaping requirements. A landscaping plan will be required with all site plans, showing the proposed landscaping for the site. For every 2,000-square feet of property, one tree will be required. The following landscaping provisions include a ratio relationship between the number of plantings required, based upon the number of trees required. All bush plants must be a minimum of 5-gallons at planting, and all flowering perennial plants and other plantings must be a minimum of 1-gallon at planting. For every required tree, a corresponding number of plantings or trees from either Subparagraph a., b. or c. below will be required for each site plan:

- a. Shrubs: Three per required tree;

- b. Flowering plants: Six per required tree; or
- c. Trees: One per required tree.

8. Buffers: A 5-foot landscaping buffer with a 50% opacity at planting will be required for all properties adjacent to Interstate 25. This buffer requirement may only be calculated for up to 20% of the overall landscaping requirement for the development.

9. Parking requirements:

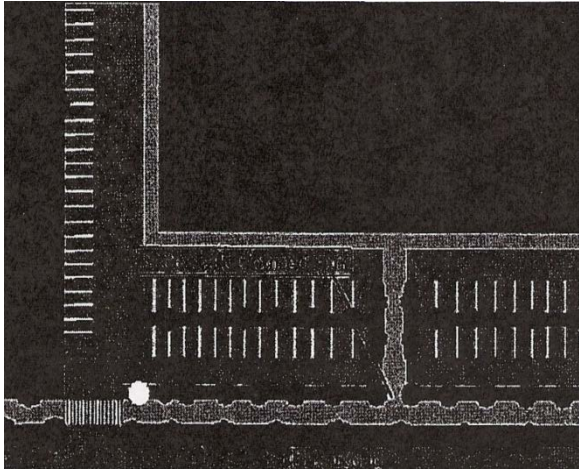
- a. One parking space will be required per residential unit.

- b. All projects may reduce their standard parking requirement under the Town's parking calculations by 20%.

- c. If a structure or development can demonstrate and receive a U.S. Green Build Council LEED (Leadership in Energy and Environmental Design) Certification or greater designation, the project can reduce its parking requirements by another 50%.

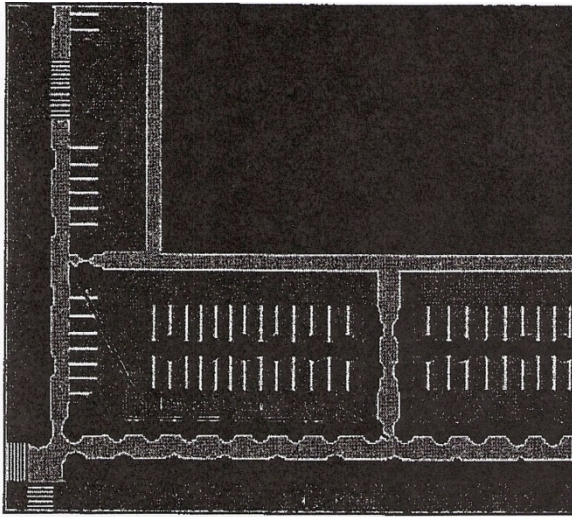
10. Sidewalk requirements. All sidewalks must be designed and built to meet the Town's sidewalk construction and design regulations, with a minimum width of 5-feet.

- a. Total building square footage for a development less than 50,000 square feet. All nonresidential construction that totals less than 50,000 square feet per development will be required to have a minimum of one sidewalk connection from a sidewalk located along a public roadway to the entrance of the primary structure. A painted crosswalk may only be used for sidewalk crossing within drive aisles. If no sidewalk exists along the public roadways, the development must also construct sidewalks along the full length of the site's property lines abutting public roadways within the existing or proposed public right-of-way. There shall be a minimum 5-foot landscaping strip between the sidewalk and roadway. See Figure 1.

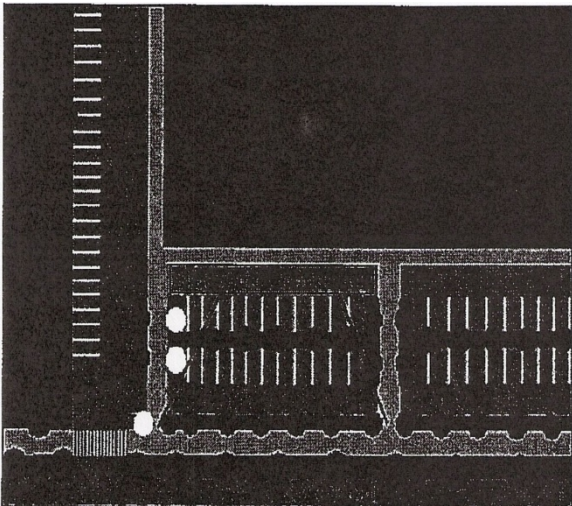


**Figure 1**

b. Total building square footage for a development greater than 50,000 square feet. All nonresidential construction that totals more than 50,000 square feet per development will be required to have a minimum of one sidewalk connection from all sidewalks located along a public roadway to the entrance of the primary structure. A painted crosswalk may only be used for sidewalks crossing within drive aisles. If only one public roadway is located adjacent to the development, a minimum of two sidewalk connections shall be required to the entrance of the primary structure. If no sidewalk exists along the public roadways, the development must also construct sidewalks along the full length of the site's property lines abutting public roadways within the existing or proposed public right-of-way. There shall be a minimum 5-foot landscaping strip between the sidewalk and roadway. See Figures 2a and 2b below.

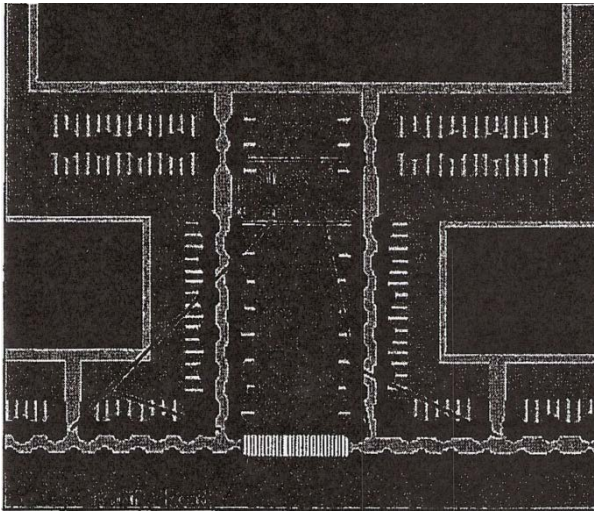


**Figure 2a**



**Figure 2b**

c. Out parcels and separate buildings for developments. All out parcels and separate primary buildings will be required to have at least one sidewalk connection from its primary entrance to a sidewalk located along a public roadway. A painted crosswalk may only be used for sidewalk crossing within drive aisles. If no sidewalk exists along the public roadways, the development must also construct sidewalks along the full length of the site's property lines abutting public roadways within the existing or proposed public right-of-way. There shall be a minimum 5-foot landscaping strip between the sidewalk and roadway. See Figure 3 below.



**Figure 3**

**17.46.080 Fence, opaque.**

An opaque fence completely screens the property beyond the fence and can include stockade fences, privacy fences or walls. An opaque fence is not transparent or translucent; imperious to light, so that images cannot be seen through it. Chain-link fences with slats are not considered to be opaque fences. An opaque berm and/or landscaping that provides the equivalent screening as a required opaque fence may also be used.

**17.46.090 Wolfensberger North Zoning Overlay District boundary.**

The WNZOD is defined as that area depicted on the map as shown in Figure 4.

