

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PURPOSE STATEMENT

THE PROJECT PROPOSES THE INTRODUCTION OF A BYPASS LANE AT THE PICKUP WINDOW OF THE EXISTING DRIVE-THRU BY MAKING MINOR MODIFICATIONS TO PAVING, GRADING, LANDSCAPING, LIGHTING, AND DRIVE-THRU ORIENTATION.

BASIS OF BEARINGS

BEARINGS ARE BASED ON THE NORTHERLY LINE OF LOT 1A-6A, BLOCK 2, ASSUMED TO BEAR SOUTH 73°10'38" EAST, A DISTANCE OF 156.51 FEET, AS MONUMENTED AT THE NORTHWEST CORNER BY A RECOVERED 1" BRASS PLUG, STAMPING ILLEGIBLE, FLUSH WITH ASPHALT, AND AT THE NORTHEAST CORNER BY A RECOVERED 1" BRASS PLUG STAMPED, "PLS 24673" FLUSH WITH ASPHALT.

BENCHMARK

PROJECT DATUM: NAVD88

ELEVATIONS ARE BASED UPON DOUGLAS COUNTY BENCHMARK 131 (ELEVATION =6089.99' NAVD 88).

LEGAL DESCRIPTION

LOT 1A-6A, BLOCK 2,
PROMENADE AT CASTLE ROCK FILING NO. 1, AMENDMENT NO. 13, AS RECORDED DECEMBER 27, 2017 AT
RECEPTION NO. 2017086766,
COUNTY OF DOUGLAS,
STATE OF COLORADO.

FLOODPLAIN STATEMENT

THIS PROPERTY IS LOCATED WITHIN OTHER AREAS, ZONE X, AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP, MAP NUMBER 08035C0167G, MAP REVISED MARCH 16, 2016. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.

SITE INFORMATION:

SITE ADDRESS: 6353 PROMENADE PKWY,
CASTLE ROCK, CO, 80108
ZONING CLASSIFICATION: PLANNED DEVELOPMENT PDP
PROPOSED USE: NO CHANGE
TOTAL LOTS: 1
MIN PARKING REQUIREMENT: 50* STALLS

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF
_____, A TITLE INSURANCE COMPANY LICENSED TO DO
BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC
RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE
PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER
SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE _____

TITLE COMPANY _____

SIGNED THIS _____ DAY OF _____, 20____.
NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,
20____ BY _____ AS AUTHORIZED REPRESENTATIVE
OF _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC
MY COMMISSION EXPIRES: _____

SURVEYOR'S CERTIFICTE

I, _____, A LICENSED PROFESSIONAL LAND SURVEYOR IN
THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION
REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND
THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN
ACCURATELY REPRESENT THAT SURVEY

LICENSED LAND SURVEYOR DATE

CIVIL ENGINEER'S STATEMENT

I, _____, BEING A LICENSED PROFESSIONAL ENGINEER IN
THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND
DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN
DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC
WORKS
CONSTRUCTION STANDARDS.

LICENSED PROFESSIONAL ENGINEER DATE

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK,
COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

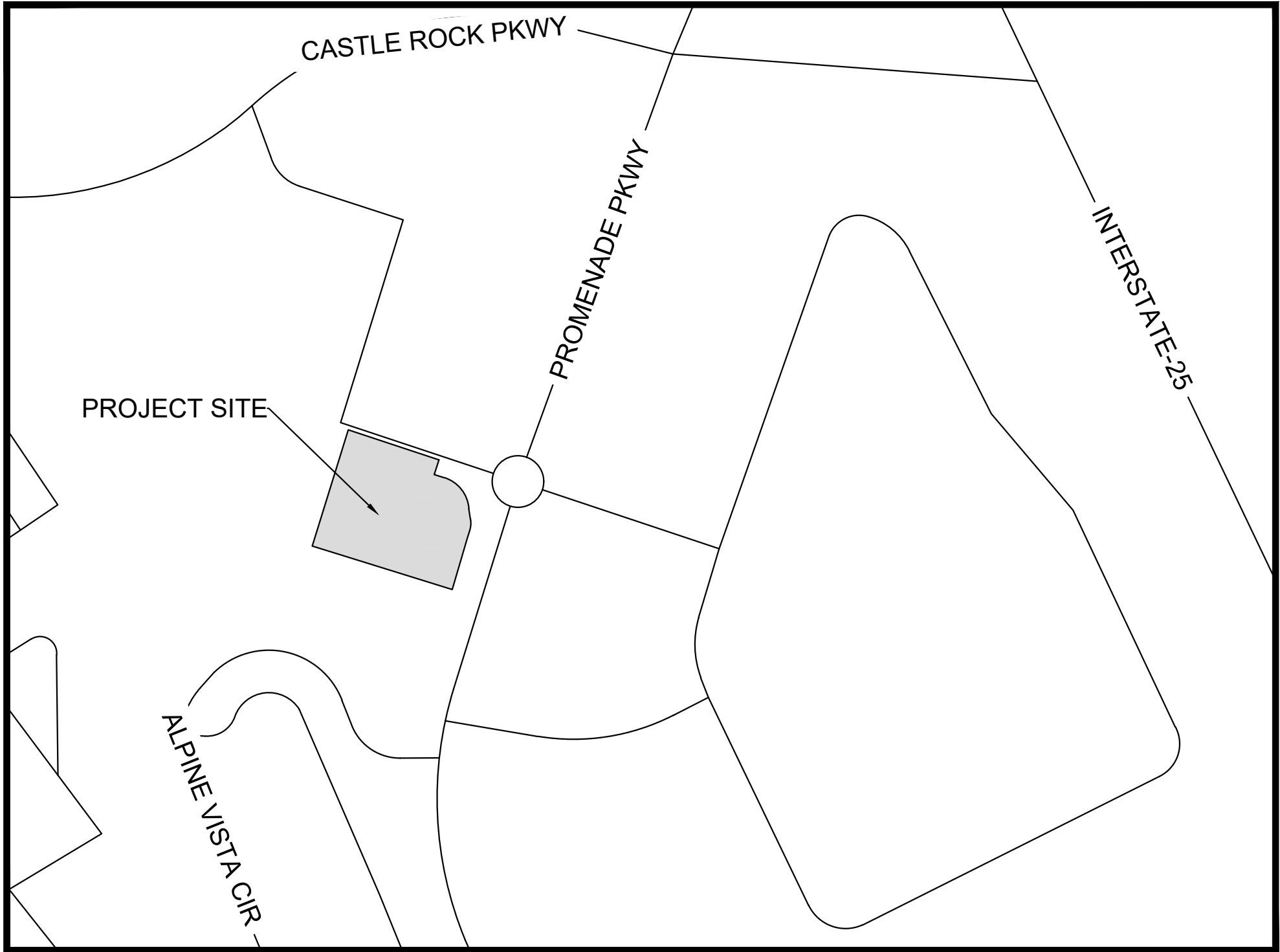
(Name of owner)
SIGNED THIS _____ DAY OF _____, 20____.

STATEMENT OF DIRECTOR OF DEVELOPMENT
SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES
THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____,
20____.

DIRECTOR OF DEVELOPMENT SERVICES

JULY 2026



VICINITY MAP

NOT TO SCALE



CONTACTS

DEVELOPER:
CHICK-FIL-A, INC.
5200 BUFFINGTON ROAD
ATLANTA, GA 30349
TEL: (707) 317-7000
CONTACT: RANDY KIMOTO

CIVIL PROJECT MANAGER:
KIMLEY-HORN AND ASSOCIATES, INC.
3325 SOUTH TIMBERLINE ROAD, SUITE 130
FORT COLLINS, CO 80525
TEL: (970) 822-7911
CONTACT: HANNAH CRAIL, P.E.

ARCHITECT:
INTERPLAN LLC
220 E CENTRAL PKWY, STE 4000
ALTAMONTE SPRINGS, FL 32701
TEL: (407) 645-5008
CONTACT: STEPHANIE NIEMELA

SURVEYOR:
KIMLEY-HORN AND ASSOCIATES, INC.
6200 S. SYRACUSE WAY, # 300
GREENWOOD VILLAGE, CO 80111
TEL: (303) 228-2300
CONTACT: JEREMY FELDER, P.L.S.

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
3325 SOUTH TIMBERLINE ROAD, SUITE 130
FORT COLLINS, CO 80525
TEL: (970) 822-7911
CONTACT: EMILY SHAUGHNESSY, P.L.A.

Zoning Comparison and Development Standards			
Zoning	PD		
Use Area	PD Zoning Allowance	Existing	Proposed
Uses		Drive Thru Restaurant	Drive Thru Restaurant
Min. front yard setback	8-Ft	8-Ft	8-Ft
Min. rear yard setback	0-Ft	0-Ft	0-Ft
Min. side yard setback	0-Ft	0-Ft	0-Ft
Min. side to street setback	0-Ft	0-Ft	0-Ft
Max. Building Height	21-Ft 8-In	21-Ft 8-In	21-Ft 8-In
Max. Buildable Slope			
Min. Parking Space (1 Space 1,000 SF (Gross Building SF))	50	53	53
Min. Drive Thru Stacking Spaces (8 Stacking Spaces Per Drive-Thru)	8	16	16
Min. Accessable Parking (Included in Total Count)	3	3	3
Min. Bicycle Space (5% of Total Spaces)	3	4	4

Site Utilization			
	SF/Acreage/% of total		
Total Lot Area	1.04 AC	45,302 SF	
Lot Coverage	0.89 AC	38,768 SF	85.00%
ROW Coverage	0	0	
Landscape/Open Space Coverage	0.150	6,534 SF	15.00%
Other Coverage:	0	0	0.00%

*1 SPACE / 100 S.F. (GROSS BLDG S.F.) (*4,997 / 100) = 50 SPACES REQUIRED PER TOWN OF CASTLE ROCK MUNI CODE
PREVIOUSLY APPROVED GROSS BLDG SF = 5,122 SF. CURRENT ARCHITECT LIST GROSS BLDG SF = *4,997 SF

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Chick-fil-A
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Atlanta, Georgia
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Kimley»Horn

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Kimley-Horn and Associates, Inc.

CHICK-FIL-A
PROMENADE AT CASTLE ROCK
6353 PROMENADE PKWY
CASTLE ROCK, CO 80108

FSU# 04027

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 096203021

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DATE 07/10/2026

DRAWN BY BSF

REVIEWED BY HPC

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SHEET

COVER SHEET

PAGE NUMBER

1 OF 12

SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13

PROJECT NO. SDP26-0015



Know what's below.
Call before you dig.

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

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A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

TOWN OF CASTLE ROCK SITE DEVELOPMENT PLAN GENERAL NOTES

- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
- THIS SITE IS ZONED PD.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0167G. PORTIONS OF THE PROPERTY ARE LOCATED WITHIN A DESIGNATED 100-YEAR FLOODPLAIN ZONE X.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN.
- THIS DEVELOPMENT IS IMPACTED BY THE TOWN OF CASTLE ROCK SKYLINE/RIDGELINE PROTECTION REGULATIONS. SKYLINE/RIDGELINE AREAS MUST ADHERE TO CHAPTER 17.48 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4 FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND REQUIRE A BUILDING PERMIT.
- IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT. PLEASE SEE LINK BELOW FOR INFORMATION RELATED TO THE PREBLE'S MEADOW JUMPING.
- RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY THE HOA OR METRO DISTRICT.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
- THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY INCHES HEIGHT ABOVE THE FLOW LINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
- ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
- NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
- ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS.

FIRE NOTES

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES, AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 88,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL-WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING - FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE CASTLE ROCK FIRE DEPARTMENT. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- "FIRE LANE NO PARKING" CURB MARKING. ALL DESIGNATED LANES SHALL BE ACCOMPANIED WITH CURB MARKINGS IN A WEATHER RESISTANT RED PAINT. REFLECTIVE PAINT MAY BE USED FOR HIGHER VISIBILITY. CURBING SHALL BE LABELED, "NO PARKING - FIRE LANE" IN ALL UPPER CASE LETTERS. LETTERING SHALL BE NO LESS THAN THREE (3") INCHES HIGH WITH WHITE LETTERING ON A RED BACKGROUND AND PLACED ON THE FACE AND TOP OF THE CURB. LETTERING SHALL BE LOCATED NO MORE THAN FIFTY (50') APART AND WITHIN FIVE FEET OF THE BEGINNING AND END OF ANY FIRE LANE.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) OR COMMUNITY WILDFIRE PROTECTION PLAN (CWPP) THAT MAY ARISE AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION.

ABBREVIATIONS

APPD	APPROVED	NW	NORTHWEST
APPROX	APPROXIMATE	PROP	PROPOSED
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	PSI	POUNDS PER SQUARE INCH
B.O.P.	BOTTOM OF PIPE	PVC	POLYVINYL CHLORIDE
BLVD	BOULEVARD	RCP	REINFORCED CONCRETE PIPE
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	RD	ROAD
CEC	CIVIL ENGINEERING CONSULTANT	ROW	RIGHT-OF-WAY
COM	COMMUNICATIONS	RW	RIGHT-OF-WAY
CY	CUBIC YARDS	S	SOUTH
E	EAST OR ELECTRIC	SD	STORM DRAIN
EA	EACH	SE	SOUTHEAST
EL	ELECTRIC OR ELEVATION	SF	SQUARE FEET
ELEC	ELECTRIC	SS	SANITARY SEWER
EX	EXISTING	ST	STREET
FL	FLOW LINE	SW	SIDEWALK OR SOUTHWEST
FO	FIBER OPTIC	SY	SQUARE YARDS
G	GAS	T	TELEPHONE
HP	HIGH POINT	TYP	TYPICAL
IRRIG	IRRIGATION	VAR	VARIES
LF	LINEAR FEET	VC	VERTICAL CURVE
MAX	MAXIMUM	W	WATER OR WEST
ME	MATCH EXISTING		
MH	MANHOLE		
MIN	MINIMUM		
N	NORTH		
NE	NORTHEAST		
NO	NUMBER		
NTS	NOT TO SCALE		



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Kimley»Horn

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CHICK-FIL-A
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CASTLE ROCK, CO 80108

FSU# 04027

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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CONSULTANT PROJECT # 096203021

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SHEET

GENERAL NOTES

PAGE NUMBER

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SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO. 1, AMENDMENT NO. 13

PROJECT NO. SDP26-0015

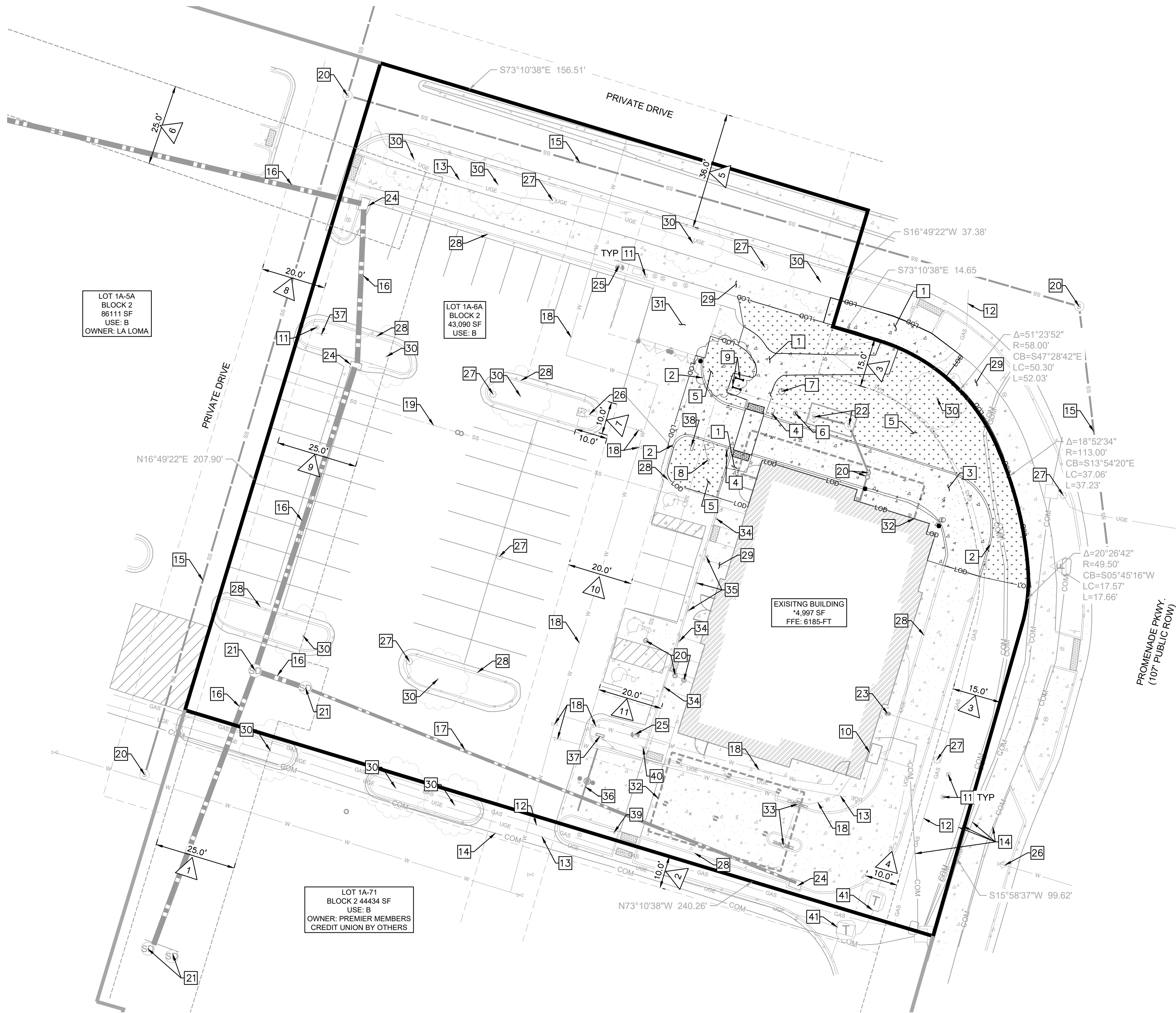


Know what's below.
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LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



DEMOLITION GENERAL NOTES

- CONTRACTOR TO VERIFY EXISTING IMPROVEMENTS SHOWN ON THE PLAN.
- CONTRACTOR TO PROTECT IN PLACE, DURING DEMOLITION AND CONSTRUCTION, ALL EXISTING IMPROVEMENTS THAT ARE TO REMAIN AS NOTED ON THE PLAN.
- ANY EXISTING STRUCTURE, IMPROVEMENT OR APPURTENANCE TO REMAIN THAT IS DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE IMMEDIATELY REPAIRED OR REPLACED BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- EXISTING UTILITIES - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND WERE BASED ON THE BEST AVAILABLE INFORMATION AND RECORDS. THE DEPICTED LOCATION OF THE EXISTING UTILITIES MAY NOT BE EXACT AND OTHER UTILITIES MAY ALSO BE PRESENT. LOCATION OF THE EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR AND ELEVATIONS OF ALL UTILITIES PRIOR TO EXCAVATION AND CONSTRUCTION. CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO AT 811 OR CALL 811.COM
- EXISTING FACILITIES - EXISTING FACILITIES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED IN PLACE OR REMOVED AND REPLACED IN KIND, AS APPROVED BY ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICT.
- FRANCHISE UTILITIES ARE SHOWN FOR REFERENCE ONLY. DESIGN AND LOCATIONS TO BE COORDINATED WITH FRANCHISE UTILITY COMPANIES.
- DRY UTILITIES DESIGNED BY OTHERS.

DEMOLITION NOTES

- EXISTING SIDEWALK TO BE REMOVED.
- EXISTING CURB AND GUTTER TO BE REMOVED.
- EXISTING CONCRETE TO BE REMOVED.
- EXISTING SIGN TO BE REMOVED AND RELOCATED.
- EXISTING LANDSCAPE/TREE TO BE REMOVED AND MITIGATED, SEE LANDSCAPE PLANS.
- EXISTING IRRIGATION VALVE TO BE REMOVED AND RELOCATED. REFER TO UTILITY PLAN FOR RELOCATION.
- EXISTING LIGHT POLE TO BE REMOVED AND RELOCATED. REFER TO UTILITY PLAN FOR RELOCATION.
- EXISTING FLAGPOLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING BIKE RACK TO BE REMOVED AND RELOCATED.
- EXISTING STRUCTURE TO BE REMOVED
- EXISTING IRRIGATION VALVE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING NATURAL GAS LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING UNDERGROUND POWER LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING COMMUNICATION LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 15-IN PVC SANITARY LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 18-IN RCP STORM LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 10-IN RCP STORM LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING WATER LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING SANITARY SEWER SERVICE LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING SANITARY STRUCTURE TO REMAIN AND TO BE ADJUSTED TO FINISHED GRADE.
- EXISTING STORM MANHOLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING GREASE TRAP TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING GAS METER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING DENVER NO. 16 COMBINATION INLET TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING WATER METER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING FIRE HYDRANT TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING LIGHT POLE TO REMAIN. REFER TO PHOTOMETRIC PLANS.
- EXISTING CURB AND GUTTER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING SIDEWALK TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING TREE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING DUMPSTER ENCLOSURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING CANOPY TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING MENU BOARD TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING ACCESSIBLE PARKING SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING MOBILE PICK UP ORDER SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING HEIGHT DETECTOR TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING CFA DRIVE-THRU SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING CFA DO NOT ENTER SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING PEDESTRIAN CROSSING SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING WATCH FOR VEHICLES SIGN TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING TRANSFORMER TO REMAIN AND BE PROTECTED IN PLACE.

LEGEND

- LEASE LINE
- LIMITS OF DISTURBANCE (5561 SF)
- EXISTING STORM LINE TO REMAIN
- EXISTING SANITARY SEWER LINE TO REMAIN
- EXISTING WATER LINE TO REMAIN
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- EXISTING GAS LINE TO REMAIN
- EXISTING COMMUNICATION LINE TO REMAIN
- CONCRETE PAVEMENT TO REMAIN
- CONCRETE PAVEMENT TO BE REMOVED
- LANDSCAPE TO BE REMOVED
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING SANITARY MANHOLE
- EXISTING CLEANOUT
- EXISTING GREASE TRAP
- EXISTING GAS METER
- EXISTING SIGN
- EXISTING BOLLARD

EASEMENT NOTES

- EXISTING 25-FT DRAINAGE EASEMENT REC. NO. 2018041858
- EXISTING 10-FT DRY UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 15-FT UTILITY EASEMENT REC. NO. 2015057859
- EXISTING 10-FT X 10-FT UTILITY EASEMENT REC. NO. 2018024339
- EXISTING 36-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 25-FT DRAINAGE EASEMENT REC. NO. 2017086766
- EXISTING 10-FT X 10-FT NON-EXCLUSIVE EASEMENT REC. NO. 2018041855
- EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING DRAINAGE EASEMENT REC. NO. 2018041857
- EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 20-FT X 20-FT NON-EXCLUSIVE EASEMENT REC. NO. 2018041856

SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO. 1, AMENDMENT NO. 13
PROJECT NO. SDP26-0015



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CASTLE ROCK, CO 80108

FSU# 04027

REVISION SCHEDULE
NO. DATE DESCRIPTION

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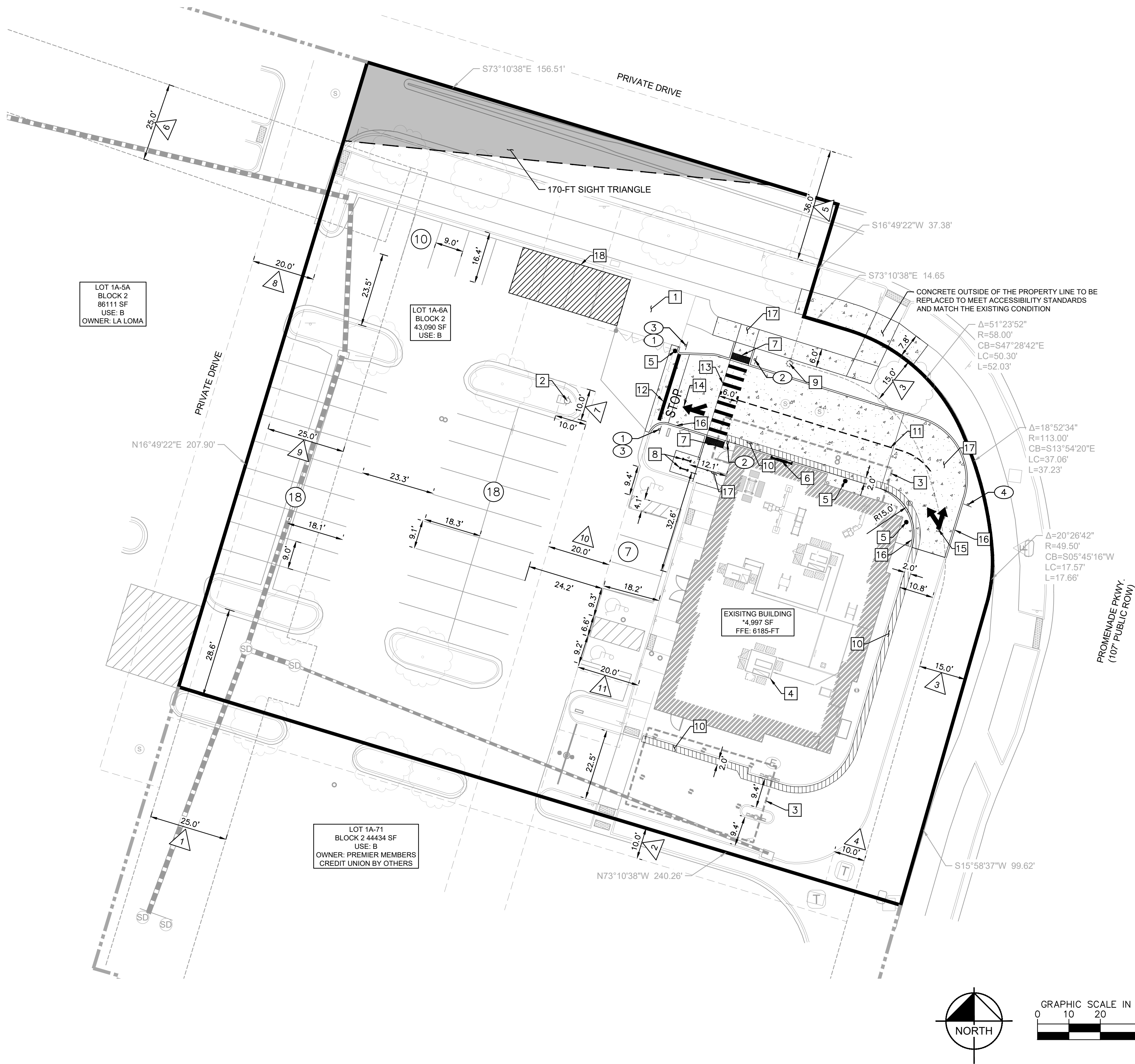
EXISTING
CONDITION AND
DEMOLITION PLAN

PAGE NUMBER

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SITE NOTES

- EXISTING TRASH ENCLOSURE TO BE PROTECTED IN PLACE
- EXISTING FIRE HYDRANT TO BE PROTECTED IN PLACE
- EXISTING CANOPY TO REMAIN AND BE PROTECTED IN PLACE
- EXISTING ROOF TOP UNIT TO REMAIN AND BE PROTECTED IN PLACE
- PROPOSED BOLLARD PER DETAIL 8 ON SHEET 7
- PROPOSED TORMAX DRIVE-THRU DOOR PER DETAIL 6 ON SHEET 7
- PROPOSED ACCESSIBLE RAMP
- PROPOSED BIKE RACK PER DETAIL 9 ON SHEET 7
- PROPOSED RELOCATED LIGHT POLE REFER TO PHOTOMETRIC PLANS
- PROPOSED 2-FT DRIVE-THRU STRIPING PER DETAIL 4 ON SHEET 7
- PROPOSED 4-IN WIDE CENTERLINE STRIPING
- PROPOSED WHITE STOP BAR AND GRAPHIC PER DETAIL 2 ON SHEET 7
- PROPOSED WHITE 12-IN WIDE CROSSWALK MARKINGS
- PROPOSED MULTI-LANE DIRECTIONAL ARROW PER DETAIL 1 ON SHEET 7
- PROPOSED SPLIT ARROW PER DETAIL 1 ON SHEET 7
- PROPOSED CONCRETE 6-IN HEIGHT CURB AND GUTTER PER CASTLE ROCK STD DTL CG-1 ON SHEET 7
- PROPOSED CONCRETE PAVEMENT
- PROPOSED SNOW STORAGE LOCATION

SIGNAGE NOTES

- PROPOSED MUTCD R1-1 STOP SIGN PER DETAIL 7 ON SHEET 7
- PROPOSED CFA PEDESTRIAN CROSSING SIGN REFER TO SIGNAGE PACKAGE FOR DETAIL
- PROPOSED MUTCD W4-1 MULTI-LANE MERGE SIGN PER DETAIL 10 ON SHEET 7
- PROPOSED CFA BYPASS LANE ONLY SIGN

SITE INFORMATION

SITE ADDRESS: 633 PROMENADE PKWY
CASTLE ROCK, CO 80108
ZONING CLASSIFICATION: PLANNED DEVELOPMENT (PDP)
PROPOSED USE: NO CHANGE

BUILDING SUMMARY

EXISTING = APPROX. *4,997 SF (NO CHANGE)

LEGEND

- | | |
|--|---------------------------------------|
| | LEASE LINE |
| | EXISTING EASEMENT |
| | PROPOSED CURB AND GUTTER |
| | EXISTING CANOPY OVERHANG LINE |
| | PROPOSED CONCRETE PAVEMENT (3,341 SF) |
| | PROPOSED LANDSCAPE (1,621 SF) |
| | 170-FT SIGHT TRIANGLE |
| | PARKING COUNT |
| | EXISTING LIGHT POLE |
| | EXISTING FIRE HYDRANT |
| | EXISTING WATER VALVE |
| | EXISTING WATER METER |
| | EXISTING IRRIGATION CONTROL VALVE |
| | EXISTING SANITARY MANHOLE |
| | EXISTING CLEANOUT |
| | EXISTING GREASE TRAP |
| | EXISTING GAS METER |
| | EXISTING SIGN |
| | EXISTING BOLLARD |

EASEMENT NOTES

- EXISTING 25-FT DRAINAGE EASEMENT REC. NO. 2018041858
- EXISTING 10-FT DRY UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 15-FT UTILITY EASEMENT REC. NO. 2015057859
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- EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING DRAINAGE EASEMENT REC. NO. 2018041857
- EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 20-FT X 20-FT NON-EXCLUSIVE EASEMENT REC. NO. 2018041856



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NO.	DATE	DESCRIPTION
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CONSULTANT PROJECT #	096203021
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SHEET

SITE PLAN

PAGE NUMBER

4 OF 12

SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13
PROJECT NO. SDP26-0015

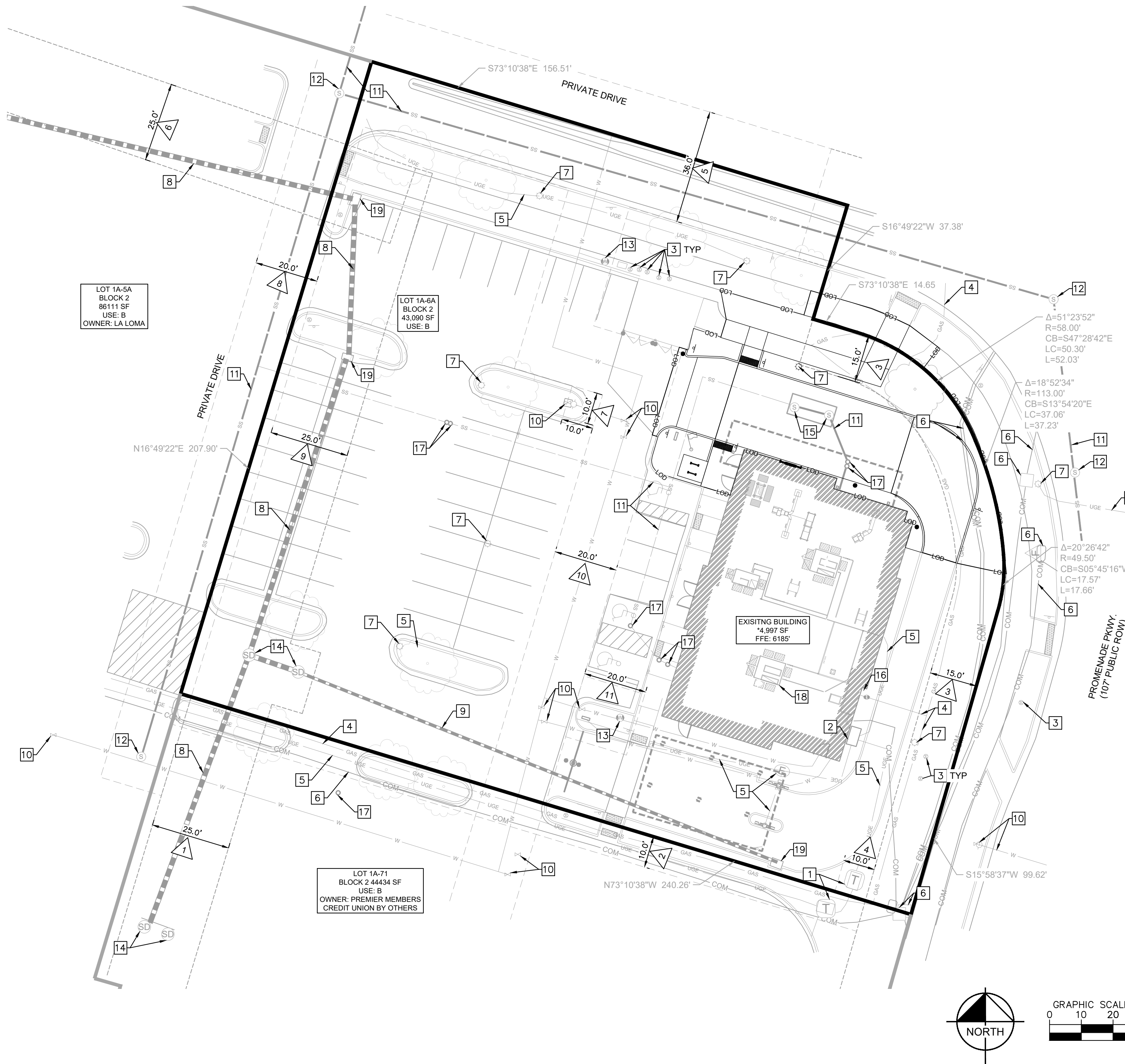


Know what's below.
Call before you dig.

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



UTILITY NOTES

- EXISTING TRANSFORMER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING MAIN DISTRIBUTION PANEL (MDP) TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING IRRIGATION VALVE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING NATURAL GAS LINE/STRUSSCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING UNDERGROUND POWER LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING COMMUNICATIONS LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING LIGHT POLE, CONSTRUCTOR TO REFER TO LIGHTING PLANS TO VERIFY NECESSITY OF REMOVAL OR TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 18-IN RCP STORM LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 10-IN RCP STORM LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING WATER LINE/STRUCTURE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 15-IN SANITARY SEWER LINE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 4-FT SANITARY MANHOLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING WATER METER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING 4-FT STORM MANHOLE TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING GREASE TRAP TO REMAIN AND BE PROTECTED IN PLACE. ADJUST AT GRADE STRUCTURE ELEVATIONS TO MATCH FINISH GRADE. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- EXISTING GAS METER TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING SANITARY CLEANOUT TO REMAIN AND BE PROTECTED IN PLACE. ADJUST AT GRADE STRUCTURE ELEVATIONS TO MATCH FINISH GRADE. NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- EXISTING ROOF TOP UNIT TO REMAIN AND BE PROTECTED IN PLACE.
- EXISTING DENVER NO. 16 COMBINATION INLET TO REMAIN AND BE PROTECTED IN PLACE.

UTILITY NOTES

- THIS SITE IS LOCATED WITHIN THE CASTLE ROCK MEADOWS YELLOW WATER PRESSURE ZONE.
- ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
- ALL UTILITY EASEMENTS FOR WATER AND WASTEWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
- THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
- THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
- ANY TIE-IN, CROSSING OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

GENERAL NOTES

- ADJUST EXISTING STRUCTURES, INCLUDING DRAINAGE INLETS AND UTILITY FEATURES, TO MATCH PROPOSED FINISH GRADES AS REQUIRED.

LEGEND

- LEASE LINE
- LIMITS OF DISTURBANCE (5561 SF)
- PROPOSED CURB AND GUTTER
- CANOPY OVERHAND LINE
- EXISTING SANITARY SEWER LINE TO REMAIN
- EXISTING WATER LINE TO REMAIN
- EXISTING COMMUNICATION LINE TO REMAIN
- EXISTING GAS LINE TO REMAIN
- EXISTING UNDERGROUND ELECTRIC LINE TO REMAIN
- EXISTING LIGHT POLE
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- EXISTING WATER METER
- EXISTING IRRIGATION CONTROL VALVE
- EXISTING SANITARY MANHOLE
- EXISTING CLEANOUT
- EXISTING GREASE TRAP
- EXISTING GAS METER
- EXISTING SIGN
- EXISTING BOLLARD

EASEMENT NOTES

- EXISTING 25-FT DRAINAGE EASEMENT REC. NO. 2018041858
- EXISTING 10-FT DRY UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 15-FT UTILITY EASEMENT REC. NO. 2015057859
- EXISTING 10-FT X 10-FT UTILITY EASEMENT REC. NO. 2018024339
- EXISTING 36-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 25-FT DRAINAGE EASEMENT REC. NO. 2017086766
- EXISTING 10-FT X 10-FT NON-EXCLUSIVE EASEMENT REC. NO. 2018041855
- EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING DRAINAGE EASEMENT REC. NO. 2018041857
- EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
- EXISTING 20-FT X 20-FT NON-EXCLUSIVE EASEMENT REC. NO. 2018041856

SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13
PROJECT NO. SDP26-0015



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CASTLE ROCK, CO 80108

FSU# 04027

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	096203021
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SHEET	

UTILITY PLAN

PAGE NUMBER

5 OF 12

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



GENERAL NOTES

1. CONTRACTOR TO VERIFY EXISTING GRADES SHOWN ON THE PLAN.
2. CONTRACTOR TO ENSURE POSITIVE DRAINAGE. IF A CONFLICT OCCURS BETWEEN THESE PLANS AND FIELD CONDITIONS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
3. ALL GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT.
4. ALL EXISTING UTILITY LOCATIONS SHOWN HEREIN ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
5. GAS UTILITIES ARE PROVIDED THROUGH BLACK HILLS ENERGY.
6. ELECTRIC IS SERVICED FROM CORE ELECTRIC COOPERATIVE.
7. FRANCHISE UTILITIES ARE SHOWN FOR REFERENCE ONLY. DESIGN AND LOCATIONS TO BE COORDINATED WITH FRANCHISE UTILITY COMPANIES.
8. DRY UTILITIES DESIGNED BY OTHERS.
9. EXISTING FACILITIES - EXISTING FACILITIES NOT INDICATED TO BE REMOVED SHALL BE PROTECTED IN PLACE OR REMOVED AND REPLACED IN KIND, AS APPROVED BY ENGINEER. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICT.

** FINISHED FLOOR NOTE

TOPOGRAPHIC SURVEY DATA INDICATES THE EXISTING FINISHED FLOOR ELEVATIONS VARIES. DESIGN ELEVATIONS NOTED WITH "" ARE INTENDED TO MATCH THE ADJACENT FINISHED FLOOR ELEVATIONS AT THAT LOCATION TO PROVIDE A FLUSH TRANSITION AT DOORWAYS. CONTRACTOR SHALL VERIFY THE ELEVATIONS AT THESE LOCATIONS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER IF GRADING REVISIONS ARE NEEDED.

ABBREVIATIONS

FG FINISHED GRADE
FL FLOWLINE
FFE FINISHED FLOOR ELEVATION
ME MATCH EXISTING
SW SIDEWALK
GB GRADEBREAK

ADD 6100 TO ALL TRUNCATED ELEVATION CALLOUTS AND CONTOURS

LEGEND

	LEASE LINE
	LIMITS OF DISTURBANCE (5,570 SF)
	EXISTING EASEMENT
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED SLOPE
	CATCH CURB
	SPILL CURB
	NOT TO EXCEED 2% IN ANY DIRECTION
	GRADE BREAK
	EXISTING LIGHT POLE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING IRRIGATION CONTROL VALVE
	EXISTING SANITARY MANHOLE
	EXISTING CLEANOUT
	EXISTING GREASE TRAP
	EXISTING GAS METER
	EXISTING SIGN
	EXISTING BOLLARD

EASEMENT NOTES

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3. EXISTING 15-FT UTILITY EASEMENT REC. NO. 2015057859
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10. EXISTING 20-FT UTILITY EASEMENT REC. NO. 2017086766
11. EXISTING 20-FT X 20-FT NON-EXCLUSIVE EASEMENT REC. NO. 2018041856



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GRADING PLAN

PAGE NUMBER

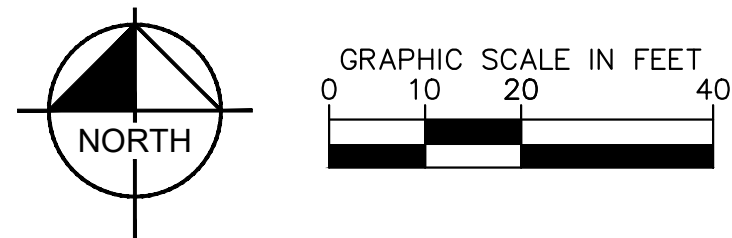
6 OF 12



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SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13

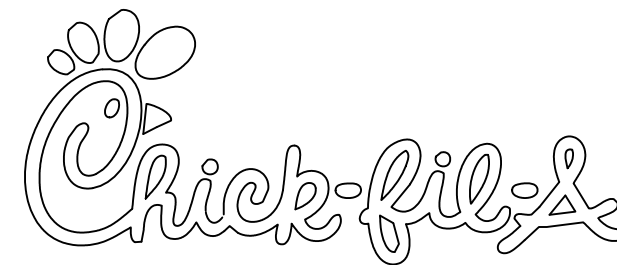
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SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

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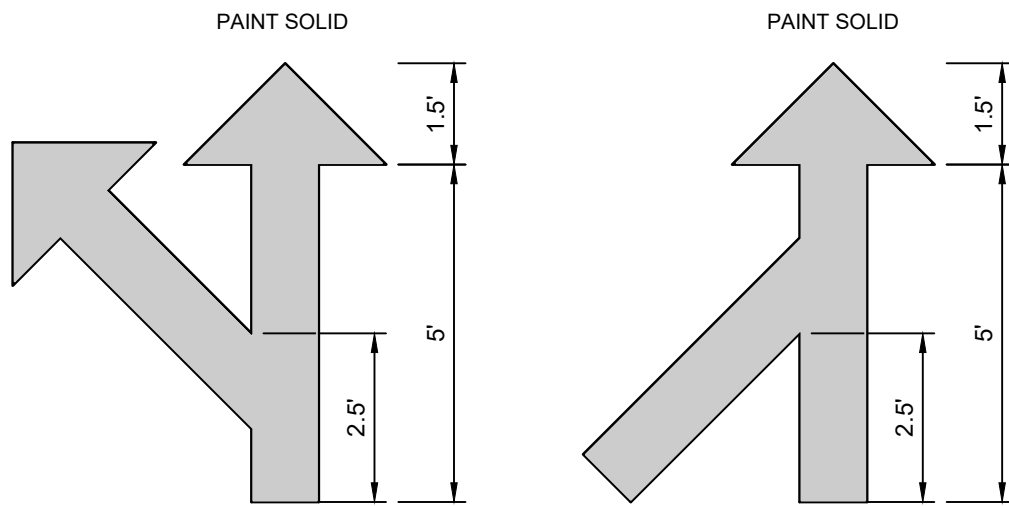
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DETAILS

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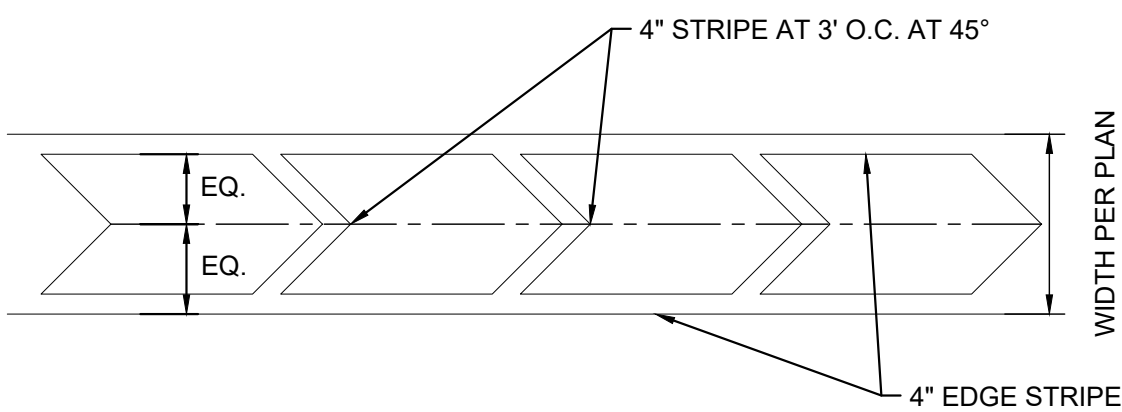


MULTI-LANE SPLIT

MULTI-LANE MERGE

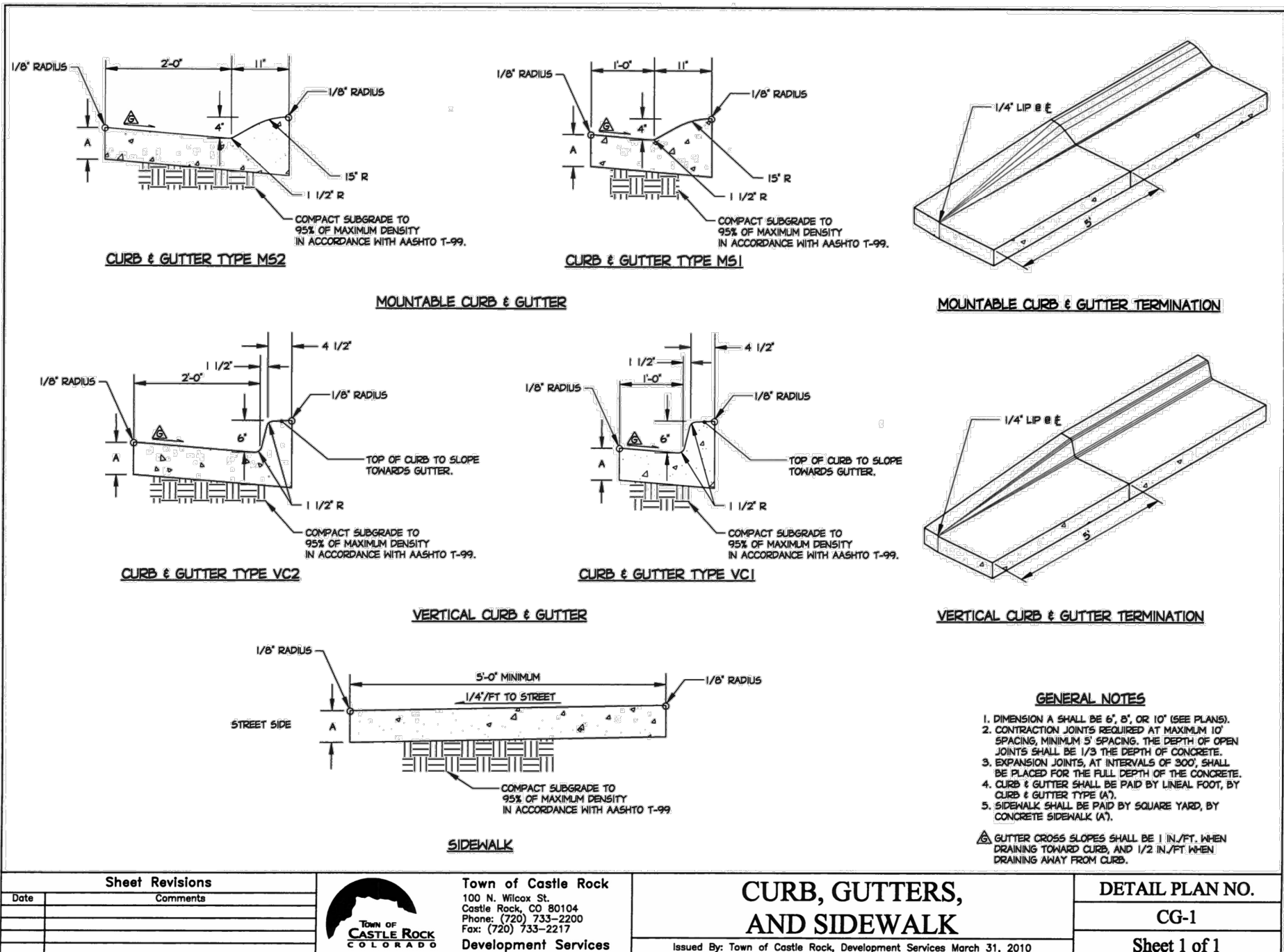
- NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
 2. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE.

1 MULTI-LANE DIRECTIONAL GRAPHICS
NOT TO SCALE



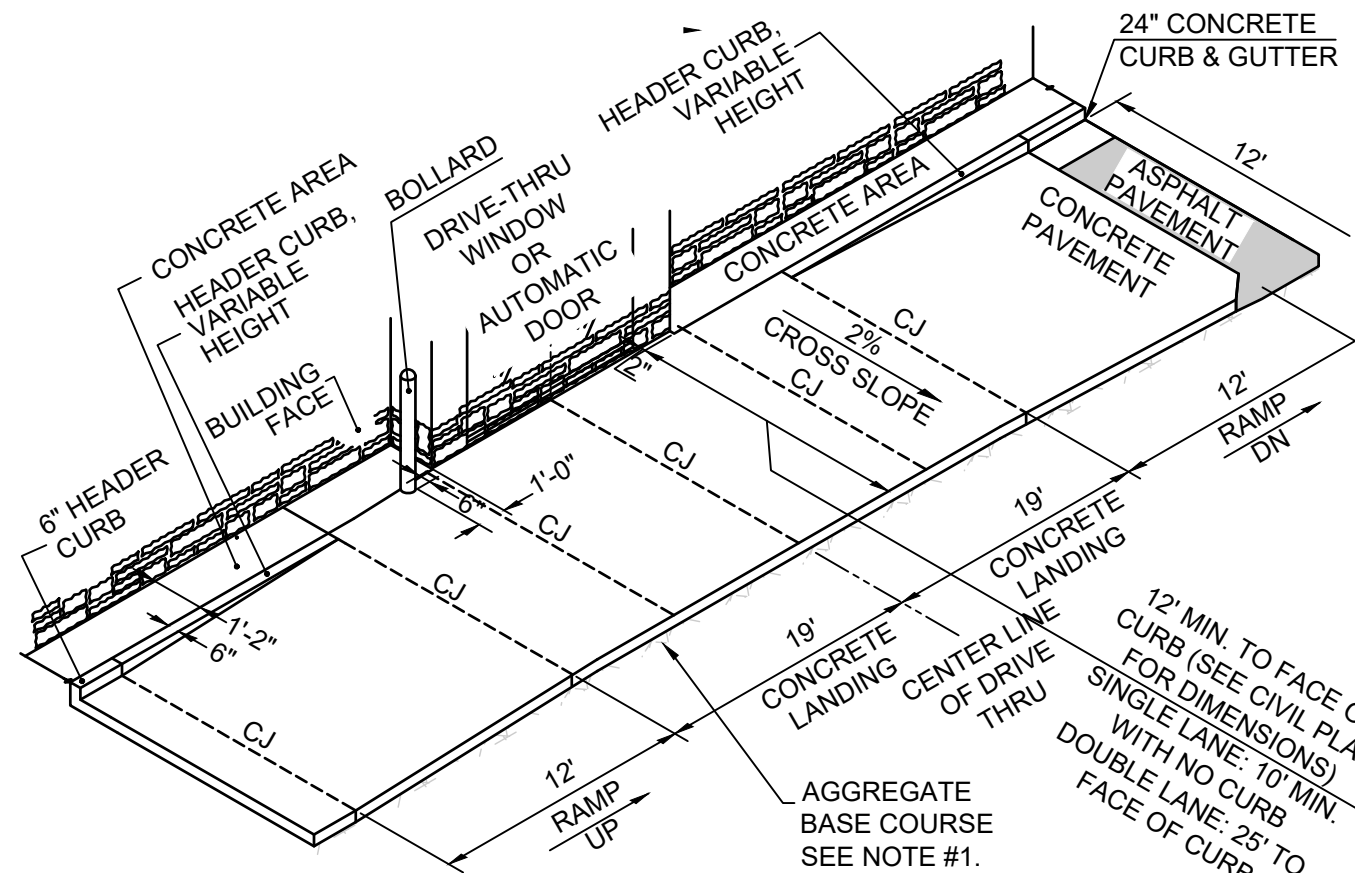
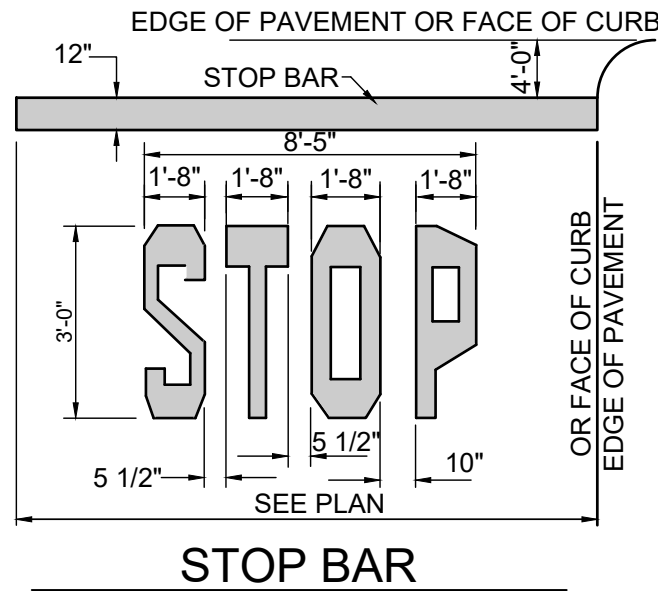
- NOTES:
1. STRIPES SHALL BE YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE.

5 DRIVE-THRU STRIPING TYPE 2
NOT TO SCALE



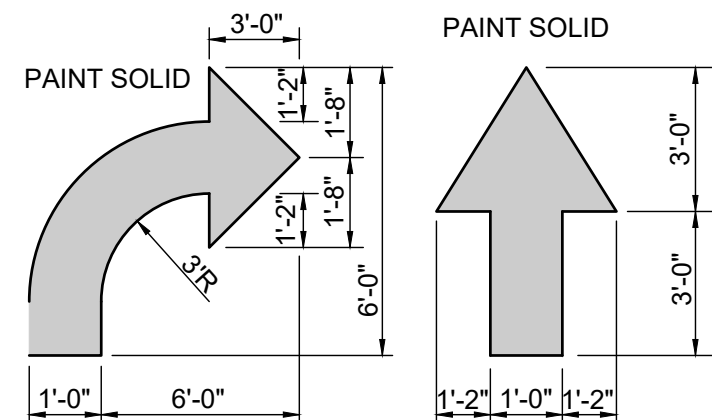
- NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
 2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.
 4. IF STOP SIGNS ARE PROPOSED, "STOP" LETTERING ON STOP BAR DETAIL IS NOT REQUIRED.

2 PAVEMENT MARKINGS - 2
NOT TO SCALE



- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
 2. FOR LC FOOTPRINT DECREASE LANDING FROM 38\"/>
 3. DIMENSIONS SHOWN HEREON ARE REPRESENTATIVE OF A TYPICAL LAYOUT. CONTRACTOR SHALL REFER TO THE PLANS FOR SITE SPECIFIC DIMENSIONS.

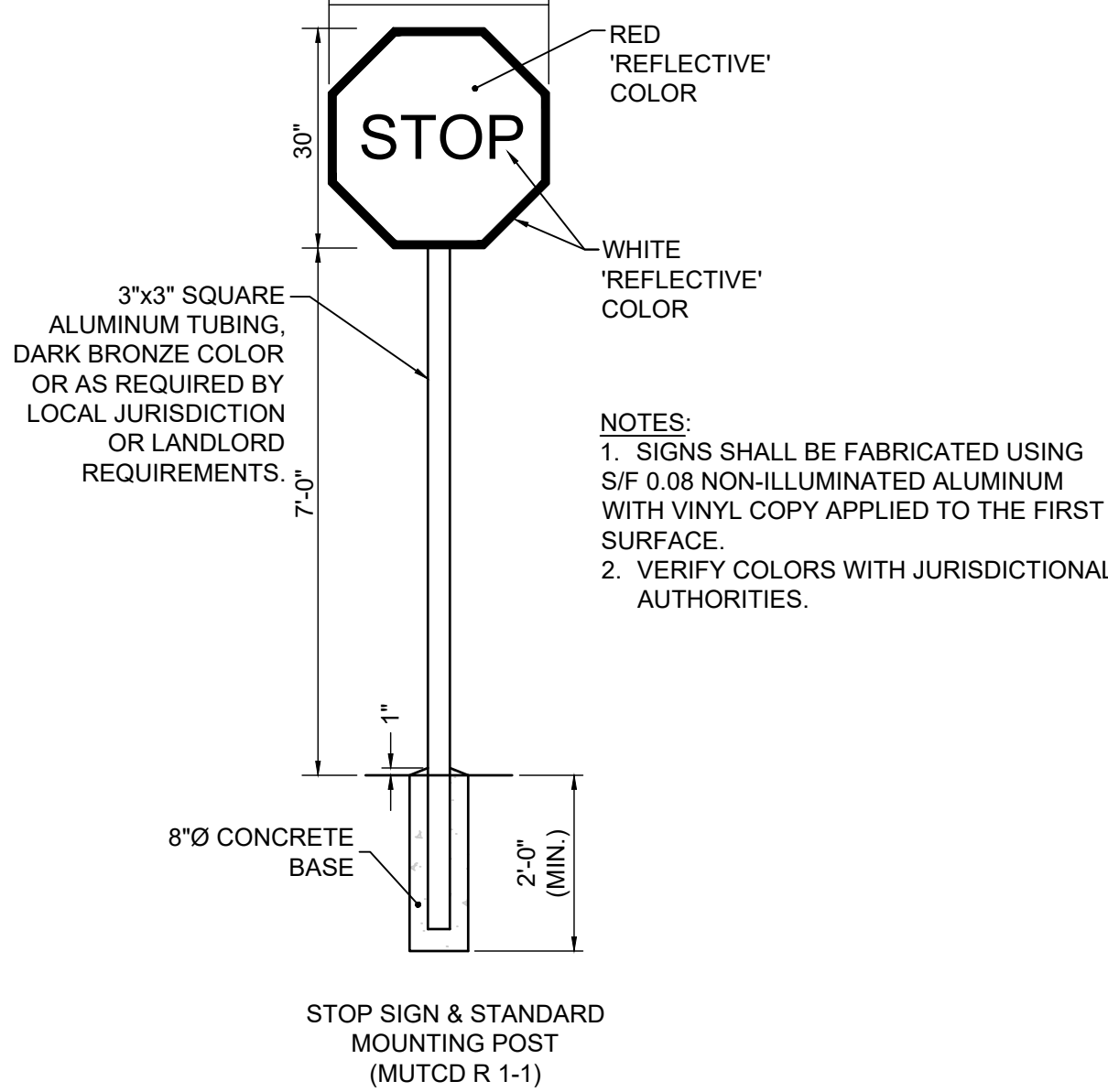
6 DRIVE-THRU ISOMETRIC
NOT TO SCALE



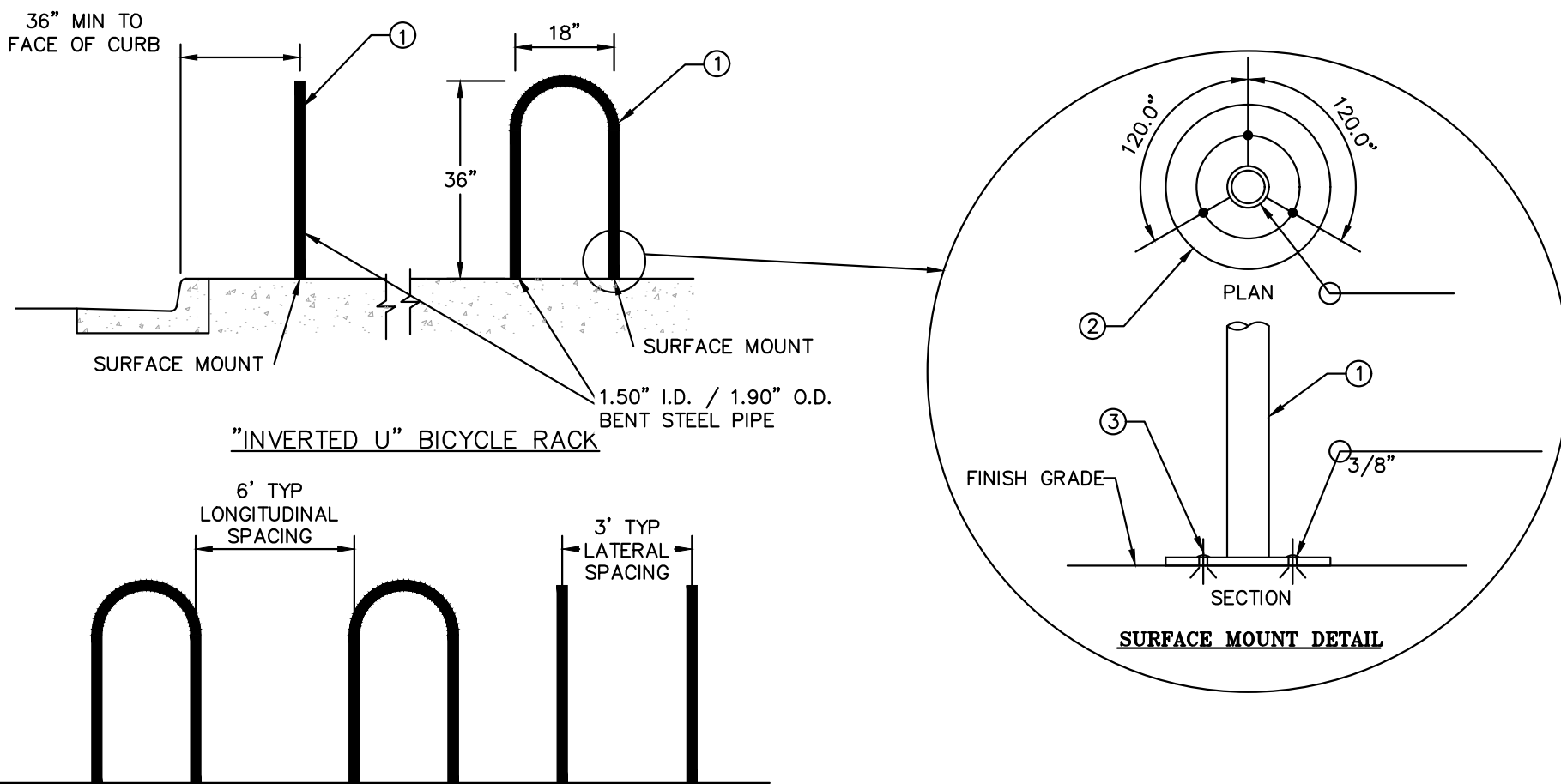
DIRECTIONAL ARROW

- NOTES:
1. GENERAL CONTRACTOR SHALL REFER TO PARKING LOT STRIPING SPECIFICATIONS, SEE DETAIL.
 2. PAVEMENT MARKINGS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 3. CONTRACTOR SHALL USE WHITE REFLECTIVE PAINT ON ASPHALT & YELLOW REFLECTIVE PAINT ON CONCRETE, UNLESS UPON VERIFICATION BY THE GENERAL CONTRACTOR IT IS DETERMINED THAT LOCAL, STATE, OR ADA CODES DIFFER, IN WHICH CASE THESE CODES SHALL GOVERN.

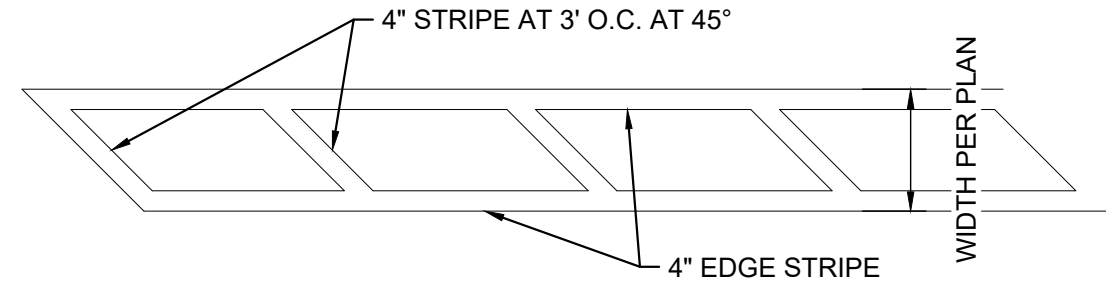
3 PAVEMENT MARKINGS - 1
NOT TO SCALE



7 STOP SIGN
NOT TO SCALE

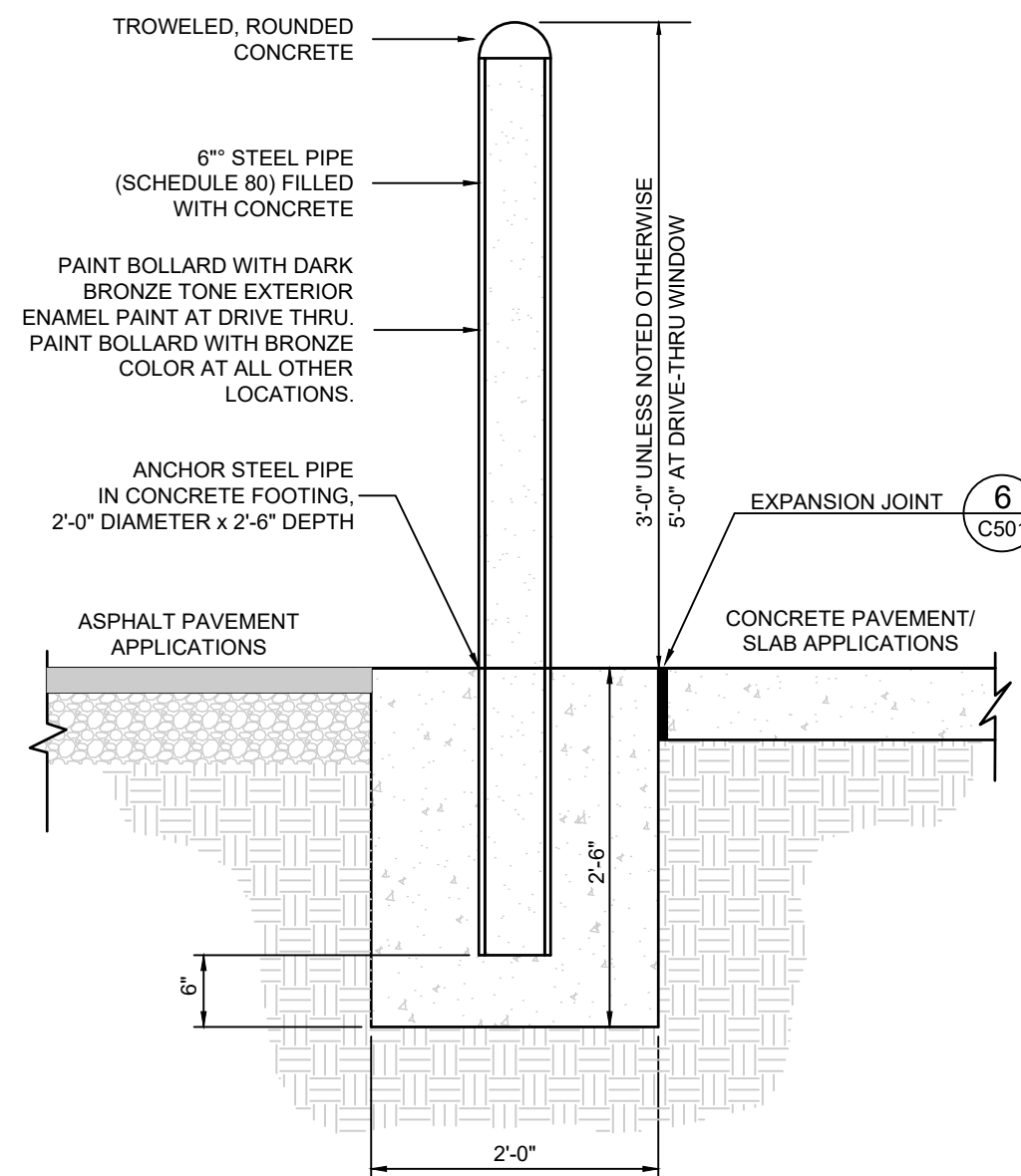


9 BIKE RACK DETAIL (BLACK POWDER COATED STEEL)
NOT TO SCALE

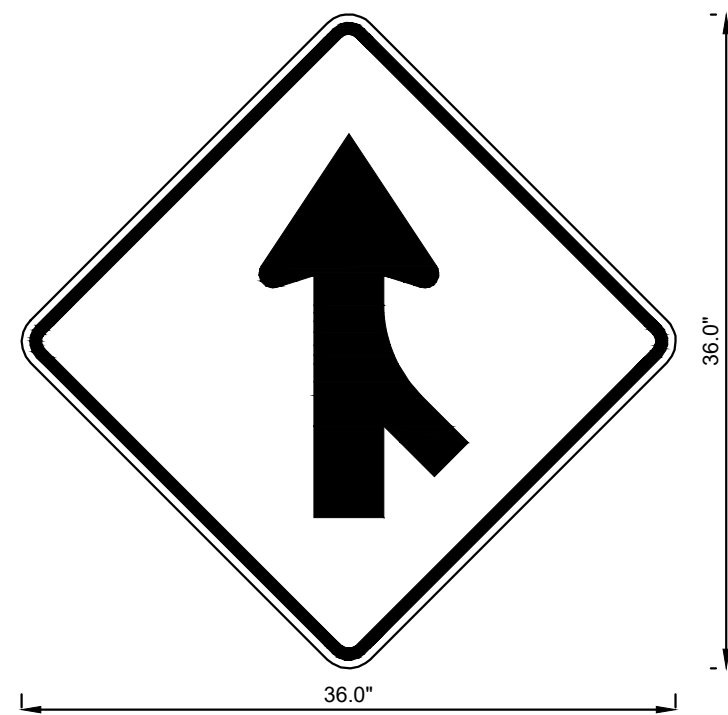


- NOTES:
1. STRIPES SHALL BE YELLOW REFLECTIVE PAINT WITH ANTI-SLIP ADHESIVE.

4 DRIVE-THRU STRIPING TYPE 1
NOT TO SCALE



8 CONCRETE BOLLARD
NOT TO SCALE



10 MUTCD W4-1 MULTI-LANE MERGE SIGN
NOT TO SCALE

SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13
PROJECT NO. SDP26-0015



Know what's below.
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100 N. Wilson St.
Castle Rock, CO 80104
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Fax: (720) 735-2577

CURB, GUTTERS,
AND SIDEWALK

Issued By: Town of Castle Rock, Development Services March 31, 2010

DETAIL PLAN NO.
CG-1
Sheet 1 of 1

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

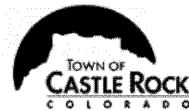
SHEET NOTES

1.) NON-RESIDENTIAL SITE INVENTORY TABLE AND PLANT SCHEDULE, ONLY CAPTURES LANDSCAPING CHANGES WITHIN THE DASHED OUTLINE PLEASE SEE SDP17-0023 FOR THE FULL/COMPLETE SITE INVENTORY FOR THIS PARCEL.

2.) THE PARKING LOT AND PARKING LOT PENINSULA/ISLANDS (40 SPACES OR MORE) TABLE REFLECTS THE CURRENT PARKING LOT AREA, PENINSULA, AND ISLAND LANDSCAPING.

LEGEND

	LEASE LINE
	EXISTING EASEMENT
	PROPOSED CURB AND GUTTER
	EXISTING CANOPY OVERHANG LINE
	PROPOSED CONCRETE PAVEMENT
	PROPOSED LANDSCAPE



NON-RESIDENTIAL SITE INVENTORY

Town of Castle Rock Registered Professional: _____ Emily Shaughnessy

Town of Castle Rock Registration # _____ State of Colorado License Landscape Architect # _____ LA 00001321

Company Name: _____ Kimley-Horn Address: _____ 3325 S Timberline Rd Suite 130, Fort Collins, CO 80525

Phone: _____ (970) 822-7911 Email: _____ emily.shaughnessy@kimley-horn.com Date: _____ 3/18/2026

Project Name: _____ Chick-fil-a #4027 Promenade at Castle Rock

Please add values/quantity in the shaded areas. Provided values/quantity must be equal to or greater than the required value/quantity.

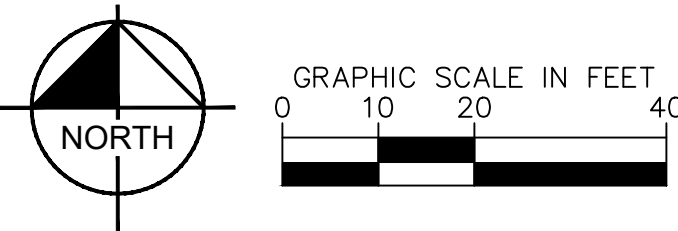
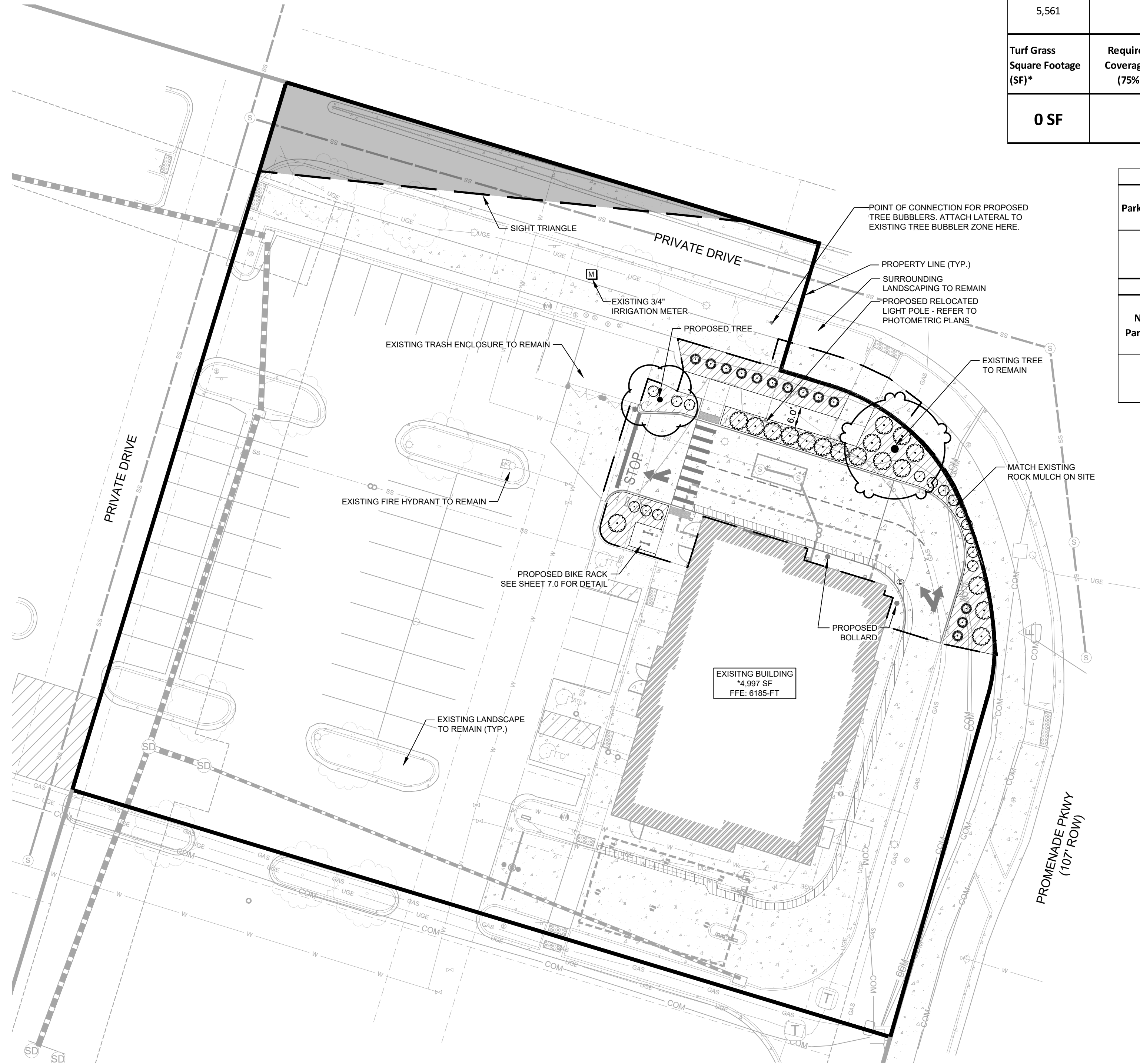
Gross Site Area	Required Landscape (10% of the gross site area)	Existing Landscape (If Applicable)	Provided Landscape Area	Required Trees (2 trees / 1,000 sqft)	Provided Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs	Soil Prep Amounts (cu.yds. Per 1000 SF)
5,561	556	1,621 SF	1,621 SF	1	1	2	46 SHRUBS	1.6 CUBIC YARDS
Turf Grass Square Footage (SF)*	Required Landscape Coverage Percentage (75% minimum)	Existing Landscape (If Applicable)	Provided Landscape Coverage at Maturity (SF)	Required Nonliving Ornamental Percentage (25% maximum)	Provided Nonliving Ornamental Area in Landscape (SF)	Required Large Canopy Deciduous Tree (50% minimum)	Provided Large Canopy Deciduous Shade Tree	Separate Irrigation Service Connections
0 SF	417	1,621 SF	1,216 SF	139	405	1	1	Yes ____ No __X__

Parking Lot							
Parking Lot Area	Landscaping Area Required (10% of square footage)	Existing Landscape (If Applicable)	Landscaped Area Provided	Required Trees (2 large canopy deciduous shade trees / 1,000 sqft)	Existing Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs
22,142	2,214	1,281 SF	1,281 SF	4	4	9	32 EXISTING 4 PROPOSED
Parking Lot Peninsula/Islands (40 Spaces or More)							
Number of Parking Spaces	Number of Landscaped Islands Required (1 island per 15 spaces)		Number of Landscaped Islands Provided	Required Trees (Minimum of 1 large canopy deciduous shade tree per island/peninsula)	Existing Trees	Required Shrubs (Minimum of 4 shrubs per island/peninsula)	Provided Shrubs
53	4		7	4	4	14	32 EXISTING 4 PROPOSED

PLANT SCHEDULE

Please add values/quantities in the shaded areas

	DECIDUOUS SHADE TREES	HYDROZONE	LOW/MODERATE	QUANTITY	1
	EXISTING TREE TO REMAIN				
	DECIDUOUS SHADE TREES	HYDROZONE	LOW/MODERATE	QUANTITY	1
	ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" IN CALIPER, MEASURED SIX (6) INCHES ABOVE GROUND				
	EVERGREEN TREES	HYDROZONE		QUANTITY	0
	EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, MEASURED TO THE MID-POINT OF THE MOST RECENT YEAR'S GROWTH				
	DECIDUOUS SHRUBS	HYDROZONE	LOW/MODERATE	QUANTITY	15
	SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
	EVERGREEN SHRUBS	HYDROZONE	LOW/MODERATE	QUANTITY	31
	SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
	ORNAMENTAL GRASSES	HYDROZONE		QUANTITY	0
	ORNAMENTAL GRASSES SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
	PERENNIAL PLANTING BEDS	HYDROZONE		AREA	0
	PERENNIALS, GROUND COVERS, AND VINES SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER IN SIZE				
	ANNUAL PLANTING BEDS	HYDROZONE		AREA	0
	ANNUALS SHALL BE SIZED SHALL BE APPROPRIATE TO APPLICATION, WHETHER FLATS, FOUR (4) INCH POTS OR LARGER AND SPACED TO PROVIDE SEVENTY-FIVE (75) PERCENT GROUND COVER				
	NATIVE SEED	HYDROZONE		AREA	0
	GRASS SEED PLANTING QUALITY AND QUANTITY IN IRRIGATED AREAS SHALL BE IN COMPLIANCE WITH NURSERY STANDARDS AND SHALL PROVIDE A MINIMUM GROUND COVER OF EIGHTY (80) PERCENT WITHIN THE FIRST GROWING SEASON				
	APPROVED NATIVE GRASS SEED MIXES: [Low Grow Mix/Foothills Mix/Colorado Native Mix]				



SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13
PROJECT NO. SDP26-0015



Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

Kimley»Horn

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3325 S TIMBERLINE RD., FORT COLLINS, CO 80525
PHONE: (970) 822-7911
WWW.KIMLEY-HORN.COM

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CHICK-FIL-A
PROMENADE AT CASTLE ROCK
6353 PROMENADE PKWY
CASTLE ROCK, CO 80108

FSU# 04027

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 096203021

PRINTED FOR REVIEW

DATE 07/10/2026

DRAWN BY AMC

REVIEWED BY EIWS

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SHEET

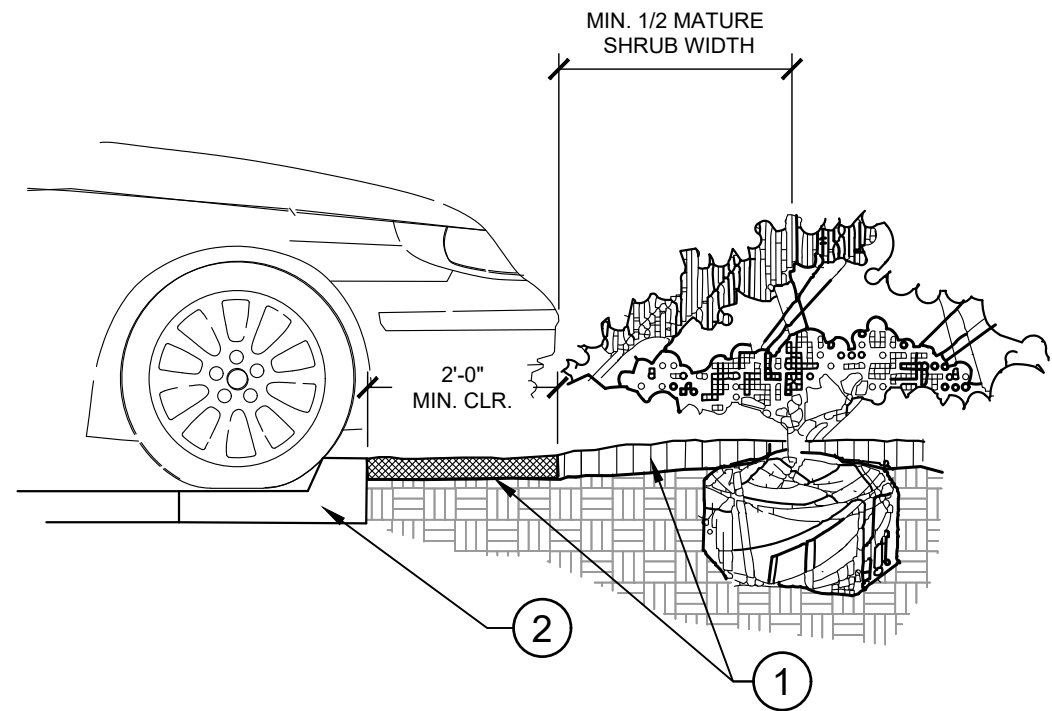
LANDSCAPE PLAN

PAGE NUMBER

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO.1 AMENDMENT NO.13

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



1. INSTALL CONTINUOUS MULCH BED ADJACENT TO PARKING SPACES AS SHOWN. MULCH SHALL BE MIN. 4" DEEP. NO POP-UP IRRIGATION HEADS SHALL BE LOCATED WITHIN 24" OF A PARKING SPACE ON ANY SIDE.
2. CURB / PARKING LOT EDGE.

1
L1.1
PARKING SPACE/CURB PLANTING
SECTION

NTS

RESIDENTIAL LOT
MULCH AREA

SIDEWALK

3" MULCH CUT

NOTE:

1. ROCK MULCH SHALL BE INSTALLED AT A DEPTH OF 2" OR GREATER
2. WOOD MULCH SHALL BE INSTALLED AT A MINIMUM DEPTH OF 4"
3. START MULCH CUT AT A DEPTH OF 3" TO KEEP MULCH IN PLACE AND OFF OF SIDEWALK AREA. BLEND DEPTH TO APPROPRIATE MULCH TYPE.

Sheet Revisions	
Date	Comments



Town of Castle Rock
100 N. Wilcox St.
Castle Rock, CO 80104
Phone: (720) 733-2200
Fax: (720) 733-2217
Development Services

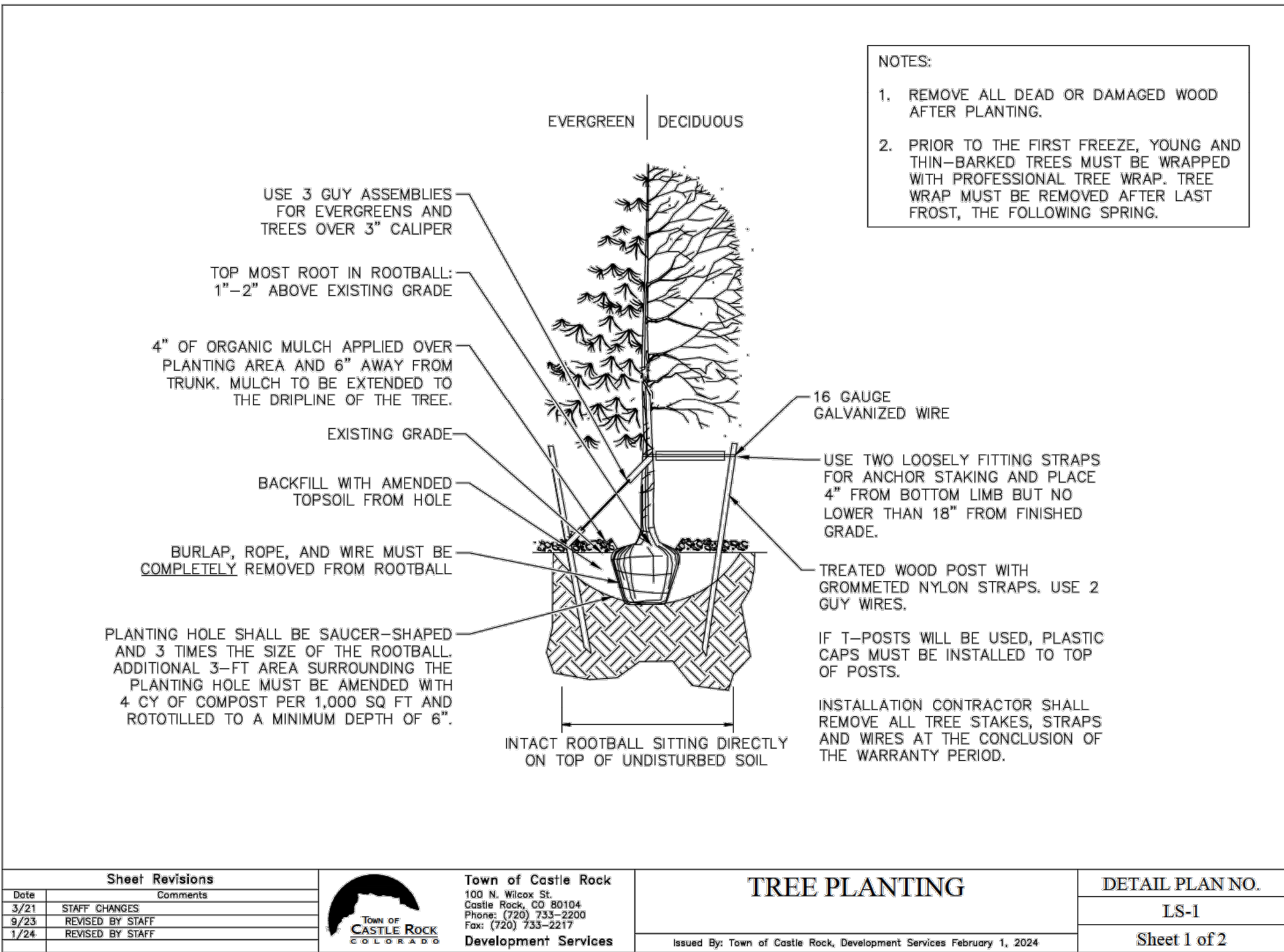
LOT PREPERATION
FOR MULCH

Issued By: Town of Castle Rock, Development Services December 9, 2024

DETAIL PLAN NO.
LS-4
Sheet 1 of 1

LANDSCAPE NOTES:

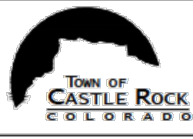
1. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
2. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
3. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF TEN (10) FEET.
4. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
5. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
6. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORSEEN FIELD CONSTRAINTS.
7. ALL PLANTS ARE TO BE PROPERLY HYDRO ZONED PER TOWN OF CASTLE ROCK PLANT LIST.
8. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
9. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
10. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
11. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
12. NONLIVING LANDSCAPE MATERIAL SUCH AS ROCK, STONE BARK CHIPS, AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY INSTALLED, SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF TWO (2) INCHES FOR ROCK MULCH AND FOUR (4) INCHES FOR WOOD MULCH.
13. PLANTS AND VEGETATION UNDER THE TOWN OF CASTLE ROCK'S PLANT LIST SHALL BE IN LINE WITH THE ADOPTED CWPP AND FIRE RESISTIVE VEGETATION FOR THE REGION TO MEET THE ADOPTED FIRE CODES BY THE TOWN OF CASTLE ROCK.
14. AN IRRIGATION PLAN AND DETAILS ARE REQUIRED WITH THE SUBMITTAL OF THE CONSTRUCTION DOCUMENTS.
15. A PLANTING PLAN, PLANT SCHEDULE AND DETAILS ARE REQUIRED WITH THE SUBMITTAL OF CONSTRUCTION DOCUMENTS.
16. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.



NOTES:

1. REMOVE ALL DEAD OR DAMAGED WOOD AFTER PLANTING.
2. PRIOR TO THE FIRST FREEZE, YOUNG AND THIN-BARKED TREES MUST BE WRAPPED WITH PROFESSIONAL TREE WRAP. TREE WRAP MUST BE REMOVED AFTER LAST FROST, THE FOLLOWING SPRING.

Sheet Revisions	
Date	Comments
3/21	STAFF CHANGES
3/23	REVISED BY STAFF
1/24	REVISED BY STAFF



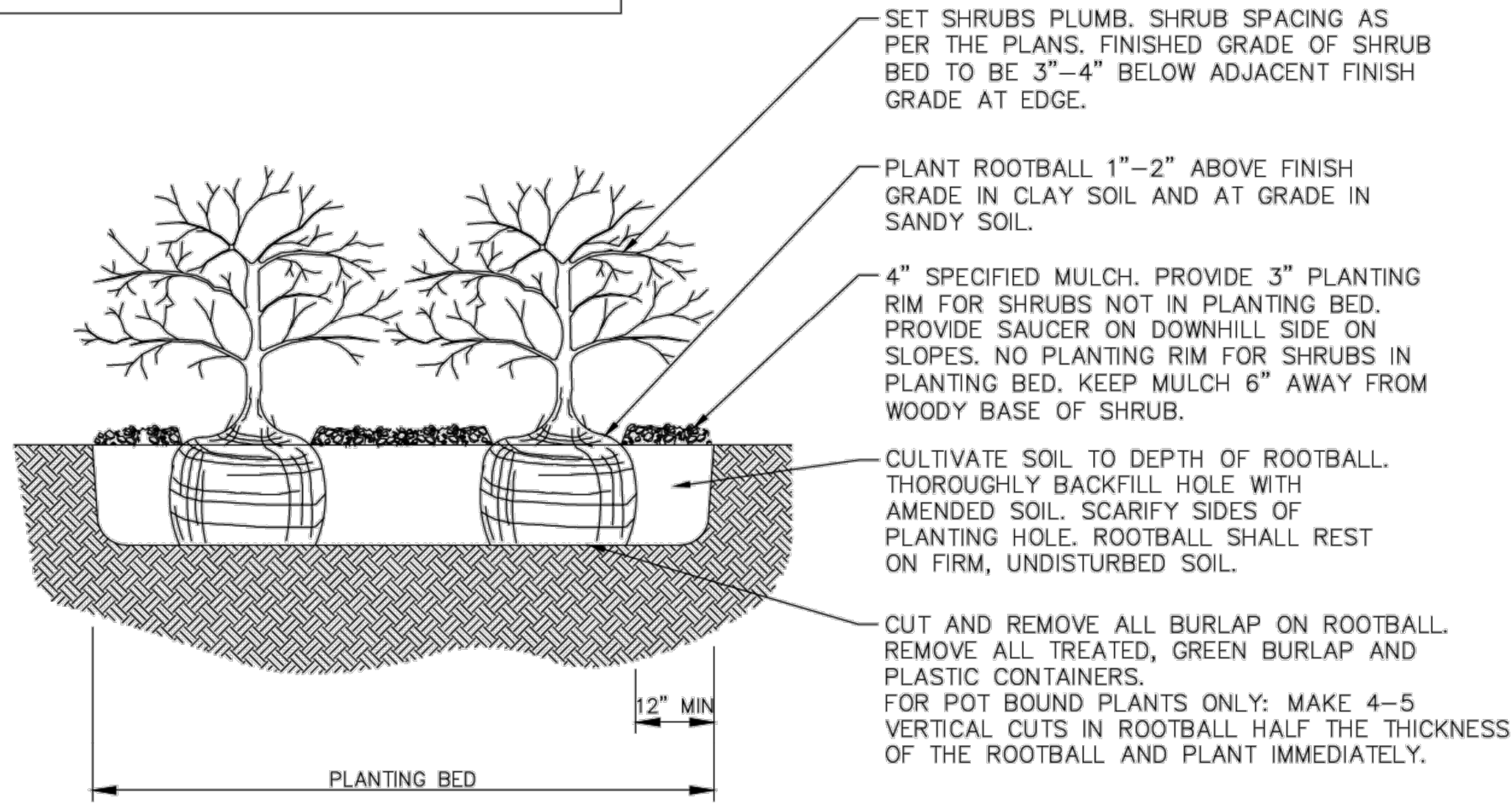
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100 N. Wilcox St.
Castle Rock, CO 80104
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Fax: (720) 733-2217
Development Services

TREE PLANTING

Issued By: Town of Castle Rock, Development Services February 1, 2024

DETAIL PLAN NO.
LS-1
Sheet 1 of 2

- NOTES:
- * REMOVE DEAD OR BROKEN BRANCHES.
 - * KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - * DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.



Sheet Revisions	
Date	Comments
3/21	STAFF CHANGES
4/03	REVISED BY STAFF



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100 N. Wilcox St.
Castle Rock, CO 80104
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Development Services

SHRUB PLANTING

Issued By: Town of Castle Rock, Development Services February 1, 2024

DETAIL PLAN NO.
LS-3
Sheet 1 of 1

SITE DEVELOPMENT PLAN AMENDMENT NO.2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO.1, AMENDMENT NO.13

PROJECT NO. SDP26-0015



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6353 PROMENADE PKWY
CASTLE ROCK, CO 80108

FSU# 04027

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 096203021

PRINTED FOR REVIEW

DATE 07/10/2026

DRAWN BY AMC

REVIEWED BY EIWS

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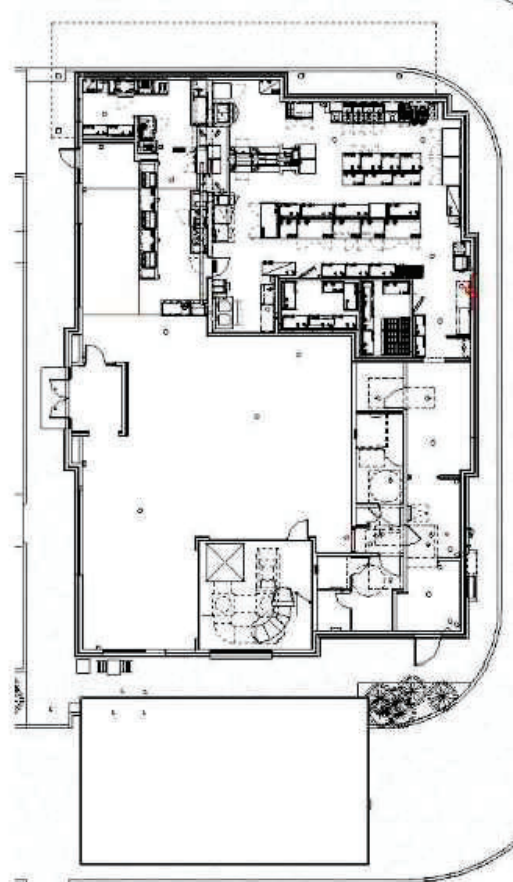
LANDSCAPE NOTES
AND DETAILS

PAGE NUMBER

9 OF 12

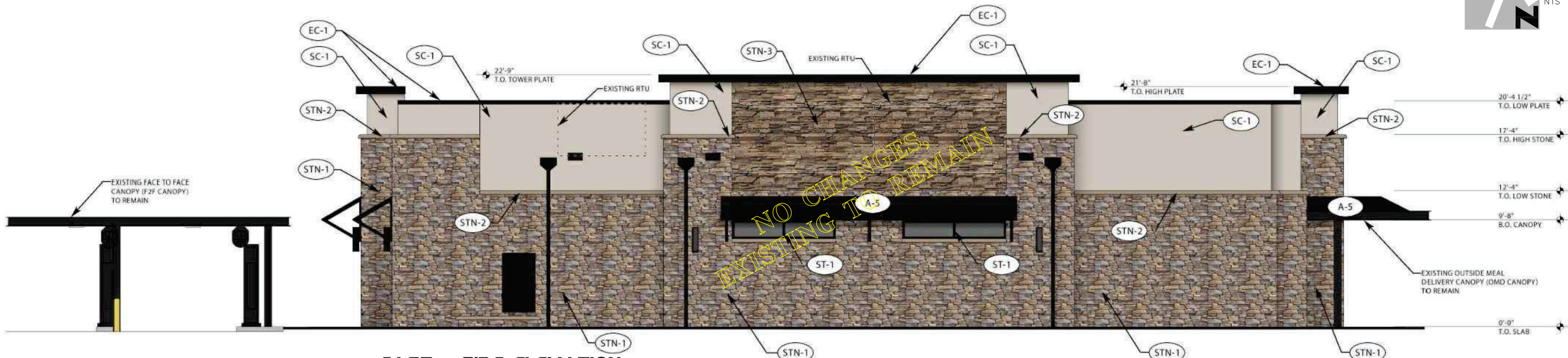
SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO. 1 AMENDMENT NO. 13
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY PLAN

NTS



EAST - SIDE ELEVATION

(ELEVATION HAS NO PROPOSED FACADE CHANGES — EXISTING TO REMAIN)

NTS



WEST - MAIN ENTRANCE ELEVATION

(ELEVATION HAS NO PROPOSED FACADE CHANGES — EXISTING TO REMAIN)

NTS

FINISH SCHEDULE - EXTERIOR					
MARK	DESCRIPTION	MANUFACTURER	MODEL NUMBER	COLOR	REMARKS
EC-1	PARAPET COPING	DUROLAST/EXCEPTIONAL METALS		DARK BRONZE (MATTE)	EXISTING TO REMAIN
PT-7	EXTERIOR PAINT	SHERWIN WILLIAMS	SW 2807	ROOKWOOD	EXISTING TO REMAIN
PT-9	EXTERIOR PAINT	SHERWIN WILLIAMS		DARK BRONZE	EXISTING TO REMAIN
SC-1	STUCCO	DRY-VIT	104	DOVER SKY	EXISTING TO REMAIN
ST-1	STOREFRONT	YKK		DARK BRONZE (MATTE)	EXISTING TO REMAIN
STN-1	STONE VENEER	ELDORADO STONE		CHESAPEAKE	EXISTING TO REMAIN
STN-2	STONE VENEER	ELDORADO STONE		BUCKSKIN	EXISTING TO REMAIN
STN-3	STONE VENEER	ELDORADO STONE		SADDLEWOOD	EXISTING TO REMAIN
A-1 TO A-6	EXTERIOR AWNING			DARK BRONZE	EXISTING TO REMAIN



Chick-fil-A

Chick-fil-A
5200 Buffington Road
Atlanta, Georgia
30349-2998

INTERPLAN
INTERPLAN LLC

AR99238
CA 8660

ARCHITECTURE
ENGINEERING
PERMITTING

220 E. CENTRAL PKWY, STE 4000
ALTAMONTE SPRINGS, FL 32701
407.645.5008

SEAL:



CHICK-FIL-A
PROMENADE AT
CASTLE ROCK
6353 PROMENADE PKWY
CASTLE ROCK, CO 80108

FSU#04027

BUILDING TYPE / SIZE: P12 SE LRG

RELEASE: PRINTED FOR

SITE DEVELOPMENT PLAN

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2025.0754

DATE JANUARY 2026

DRAWN BY SN

CHECKED BY JF

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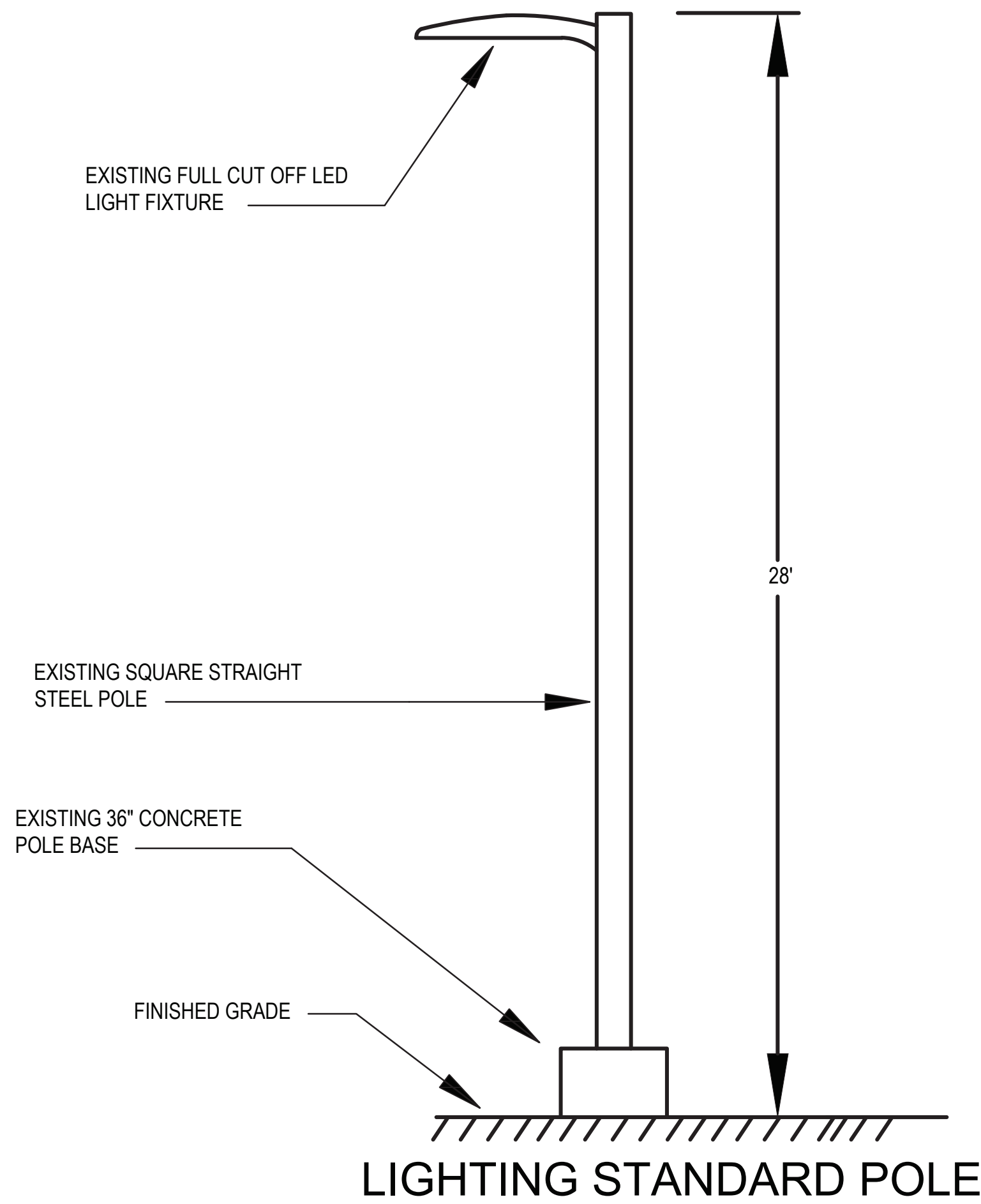
ELEVATION

SHEET NUMBER

12 of 13

SITE DEVELOPMENT PLAN AMENDMENT NO. 2

LOT 1A-6A BLOCK 2 PROMENADE AT CASTLE ROCK FILING NO. 1 AMENDMENT NO. 13
A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 22, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SITE LUMINAIRY SUMMARY TABLE NOTES

- SOME INFORMATION ON EXISTING FIXTURES WAS NOT ABLE TO BE OBTAINED AS IT WAS NOT PROVIDED WHEN THAT LIGHTING WAS ORIGINALLY PROPOSED AND APPROVED IN SDP18-0042. PLEASE SEE THE PRIOR SDP AMENDMENT 1 FOR LIGHTING INFORMATION PROVIDED ON THOSE FIXTURES (SDP18-0042, RECEPTION NO 2019000305). SOME OF THE APPROVED FIXTURES IN THAT SDP AMENDMENT NO 1 WOULD NOT MEET CURRENT TOWN OF CASTLE ROCK MUNICIPAL CODE.
- EXISTING BUILDING MOUNTED LIGHTING IS REQUIRED TO BE FULL CUTOFF IN CURRENT TOWN OF CASTLE ROCK MUNICIPAL CODE BUT SDP18-0042 APPROVED A NON FULL CUTOFF FIXTURE.
- EXISTING BUILDING MOUNTED LIGHTING DID NOT PROVIDE INFORMATION ON LUMENS AT TIME OF APPROVAL IN SDP18-0042, BUT THE MAX LUMENS ALLOWED UNDER CURRENT TOWN OF CASTLE ROCK CODE IS 3500 LUMENS.
- EXISTING POLE LIGHT FOR GENERAL LIGHTING (OG1-ETR ON THE SITE LUMINARY SUMMARY TABLE) IS 28'-0" AS APPROVED ON SDP18-0042 BUT CURRENT TOWN OF CASTLE ROCK HAS A 25'-0" MAXIMUM MOUNTING HEIGHT.
- PROPOSED RELOCATED POLE MOUNTED LIGHT FOR GENERAL SITE LIGHTING (OG1-REL ON THE SITE LUMINARY SUMMARY TABLE) IS 28'-0" AS APPROVED ON SDP18-0042 BUT CURRENT TOWN OF CASTLE ROCK MUNICIPAL CODE HAS A 25'-0" MAXIMUM MOUNTING HEIGHT.

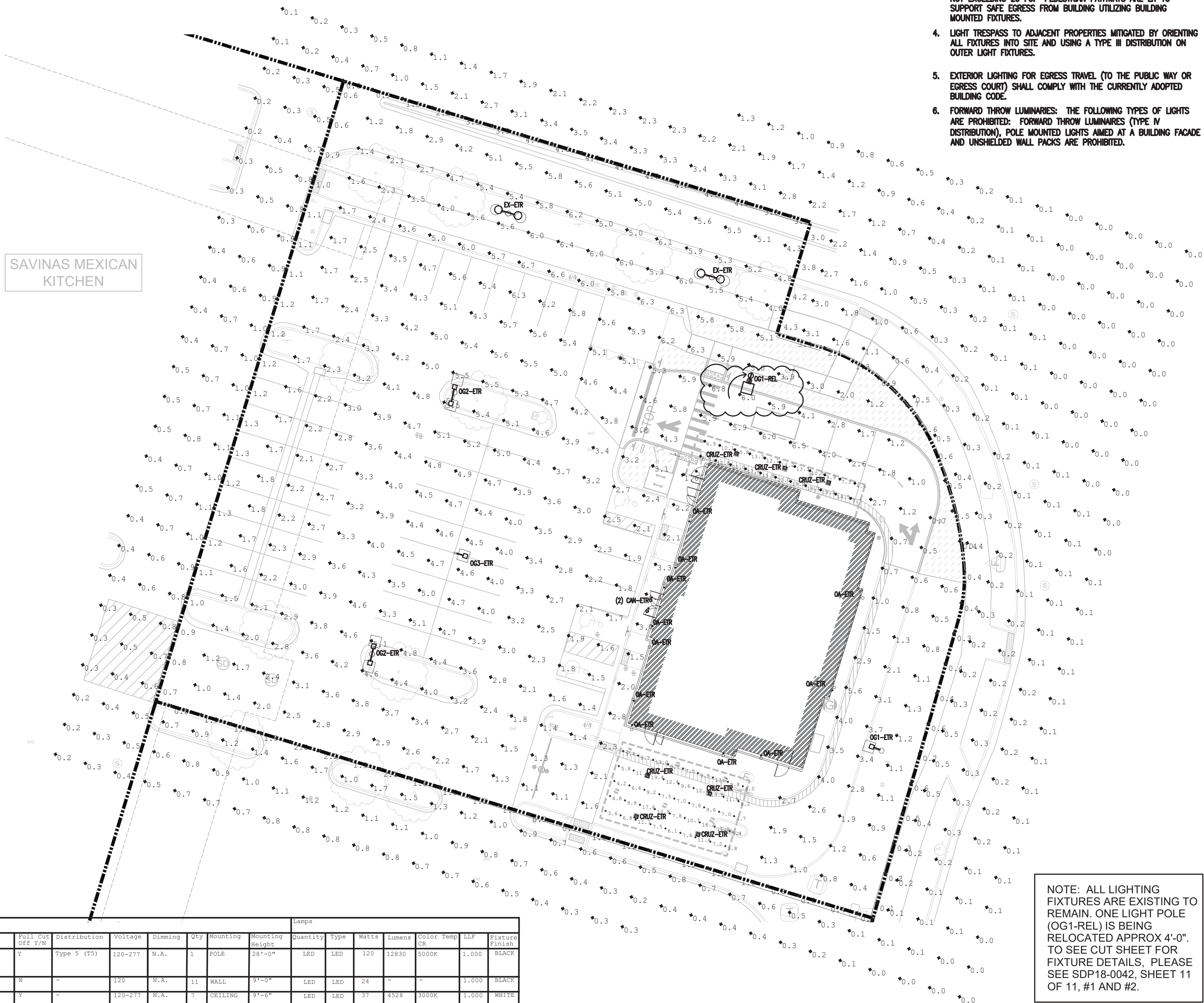
Calculation Summary	Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Boundary Illuminance	FC	1	fc	0.24	0.4	0.1	0.24	0.4
Meal Delivery Canopy Illuminance	FC	1	fc	0.03	0.2	0.01	0.03	0.2
Order Canopy Illuminance	FC	1	fc	0.32	19.8	0.6	0.32	19.8
Outside Strip Line Illuminance	FC	1	fc	0.0	0.0	0.0	0.0	0.0
Site Illuminance	FC	1	fc	0.50	0.8	0.4	0.50	0.8

Site Luminaire Summary Table													Lamps						
ID/Label	Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off Y/N	Distribution	Voltage	Dimming	Qty	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp CR	LLF	Fixture Finish
OG1-ETR		VISIONAIRE LTD	AMERICAN LED	AMS-2-L-TSW-72LC-5_SK-UNV-BOA-10-BK	19" SQ x 12" H LED Luminaire Semi - specular reflector LENS with TSW Optics	Y	Type 5 (T5)	120-277	N.A.	1	POLE	28'-0"	LED	LED	120	12830	5000K	1.000	BLACK
OA-ETR		PROGRESS LTD	UP/DOWN CYLINDER	P5675-31/P8799	Decorative Up/down Cylinder	N	-	120	N.A.	11	WALL	9'-0"	LED	LED	24	-	-	1.000	BLACK
CRUZ-ETR		ISI	CRUZ	CRUZ-80-LED-LW-10 WITH FACTORY INSTALLED RESISTOR	RECESSED LED WITH FACTORY INSTALLED RESISTOR TO DECREASE LUMEN OUTPUT	Y	-	120-277	N.A.	7	CEILING	9'-6"	LED	LED	37	4528	3000K	1.000	WHITE
OG1-ETR		VISIONAIRE LTD	AMERICAN LED	AMS-2-L-T3-72LC-5-SK-UNIV-BOA10-BK	19" SQ x 12" H LED Luminaire Semi - specular reflector LENS with T3 Optics	Y	Type 3 (T3)	120-277	N.A.	1	POLE	28'-0"	LED	LED	120	10501	5000K	1.000	BLACK
OG1-REL		VISIONAIRE LTD	AMERICAN LED	AMS-2-L-T3-72LC-5-SK-UNV-BOA10-BK	19" SQ x 12" H LED Luminaire Semi - specular reflector LENS with T3 Optics	Y	Type 5 (T5)	120-277	N.A.	1	POLE	28'-0"	LED	LED	120	10501	5000K	1.000	BLACK
CAN-ETR		RAB LIGHTING	REKORDEL ROUND DOWNLIGHT	RDLED4R20-80Y-B-B	RECESSED DOWNLIGHT, LENSED NO DECOR BEAM	Y	-	120	10%	2	CEILING	9'-0"	LED	LED	21	1162	3000K	1.000	BLACK
EX-ETR		VISIONAIRE LTD	ODEN SERIES	ODN-3-L75-64LC-5-SK-UNV-AML-BK-C6-HI	VISIONAIRE LIGHTING ODEN SERIES FIXTURE	Y	Type 5 (T5)	120-277	N.A.	2	POLE	26'-0"	LED	LED	210	14649	5000K	1.000	BLACK
OG2-ETR		VISIONAIRE LTD	AMERICAN LED	AMS-2-L-TSW-72LC-5_SK-UNV-BOA-10-BK	19" SQ x 12" H LED Luminaire Semi - specular reflector LENS with TSW Optics	Y	Type 5 (T5)	120-277	N.A.	2	POLE	28'-0"	LED	LED	240	12830	5000K	1.000	BLACK

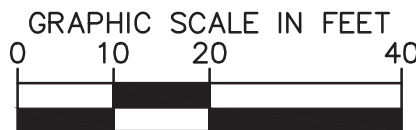
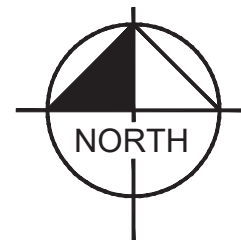
ETR=EXISTING TO REMAIN REL=RELOCATED

LIGHTING STANDARD NOTES

- THE LIGHT LOSS FACTOR IS 1 AS SHOWN ON THE LUMINARY SUMMARY TABLE.
- ALL LIGHTS EXCEPT THOSE REQUIRED FOR SECURITY AT THE BUILDING ENTRANCES, STAIRWAYS AND LOADING DOCKS SHALL BE CIRCUITED SUCH THAT LIGHTING SHALL BE REDUCED BY 50% WITHIN (1) HOUR AFTER THE END OF BUSINESS.
- THE PARKING AREAS ARE DESIGNATED FOR VEHICULAR TRAFFIC AND PEDESTRIAN SAFETY AND SECURITY, TARGETING AN AVERAGE OF 4.2 FC. ORDER AND MEAL DELIVERY CANOPIES ARE DESIGNED WITH AN AVERAGE OF 5 FC AND 8 FC RESPECTIVELY AND A MAXIMUM VALUE NOT EXCEEDING 20 FC. PEDESTRIAN PATHWAYS ARE LIT TO SUPPORT SAFE EGRESS FROM BUILDING UTILIZING BUILDING MOUNTED FIXTURES.
- LIGHT TRESPASS TO ADJACENT PROPERTIES MITIGATED BY ORIENTING ALL FIXTURES INTO SITE AND USING A TYPE II DISTRIBUTION ON OUTER LIGHT FIXTURES.
- EXTERIOR LIGHTING FOR EGRESS TRAVEL (TO THE PUBLIC WAY OR EGRESS COURT) SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.
- FORWARD THROW LUMINAIRES: THE FOLLOWING TYPES OF LIGHTS ARE PROHIBITED: FORWARD THROW LUMINAIRES (TYPE IV DISTRIBUTION), POLE MOUNTED LIGHTS AIMED AT A BUILDING FACADE AND UNSHIELDED WALL PACKS ARE PROHIBITED.



NOTE: ALL LIGHTING FIXTURES ARE EXISTING TO REMAIN. ONE LIGHT POLE (OG1-REL) IS BEING RELOCATED APPROX 4'-0". TO SEE CUT SHEET FOR FIXTURE DETAILS, PLEASE SEE SDP18-0042, SHEET 11 OF 11, #1 AND #2.



SITE PHOTOMETRIC PLAN

SITE DEVELOPMENT PLAN AMENDMENT NO. 2
LOT 1A-6A, BLOCK 2, PROMENADE AT CASTLE ROCK
FILING NO. 1 AMENDMENT NO. 13

PROJECT NO. SDP26-0015



Chick-fil-A

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SEAL:



Gregory T. Henson
2026.07.14
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CHICK-FIL-A
PROMENADE AT
CASTLE ROCK
6353 PROMENADE PKWY
CASTLE ROCK, CO 80108

FSU#04027

BUILDING TYPE / SIZE: P12 SE LRG

RELEASE: PRINTED FOR

SITE DEVELOPMENT PLAN

REVISION SCHEDULE

NO. DATE DESCRIPTION

CONSULTANT PROJECT # 2025.0754

DATE JANUARY 2026

DRAWN BY BEM

CHECKED BY SN

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SHEET

SITE PHOTOMETRIC

PLAN

SHEET NUMBER

13 OF 13

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