

SITE DEVELOPMENT PLAN
LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT AND
LOT 4A2, CASTLE PLAZA SOUTH-4TH AMENDMENT
LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION:

LOT 3, CASTLE PLAZA SOUTH 1ST AMENDMENT AND
LOT 4A2, CASTLE PLAZA SOUTH 4TH AMENDMENT
TOWN OF CASTLE ROCK
COUNTY OF DOUGLAS
STATE OF COLORADO

STATEMENT OF INTENT:

THE PROPOSED PROJECT SCOPE FOR RIVERS CHURCH IS TO PROVIDE A TENANT FINISH DESIGN FOR 136 / 138 S. WILCOX STREET. THE EXISTING STUCCO FINISH OF THE WEST SIDE OF THE BUILDING WILL BE REPLACED WITH A COMBINATION OF STONE WAINSCOTING, METAL SIDING FINISHES (BLACK & GREY) & FIBER CEMENT WOOD SIDING. THERE WILL BE A NEW METAL SIDING AWNING ADDED & THE PARAPET OF THE FACADE WILL BE RAISED 2'-6" ABOVE THE EXISTING PARAPET.

STANDARD NOTES:

- Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval. There may be subsequent amendments.
- This site is zoned B - Business/Commercial, Downtown Overlay District.
- Retaining walls in common areas or that span multiple lots regardless of size/height must be located in a tract. The retaining walls must be maintained by the HOA or Metro District.
- The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
- Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the areasubject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
- Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this Site Development Plan. Any changes to the approved landscape plans shall require an SDP amendment.
- The number of parking spaces are based on the proposed uses on this Site Development Plan. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code or applicable Planned Development Zoning will require an amendment to this Site Development Plan.
- A sign permit for each sign must be obtained from the Town of Castle Rock Zoning Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code or applicable Planned Development Zoning regulations.
- Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
- The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
- No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flow line elevations of the adjacent street, including but not limitedto buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shallbe placed within sight distance lines and sight distance easements.
- All proposed Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan are conceptual and shall be established with a plat or separate document.
- Unless otherwise noted, all lots shall have a 10-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gaslines, cable television lines, fiber optic lines and telephone lines, water meters, fire hydrants and curb boxes as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines. Any variation from this requires an approved Technical Criteria Variance.
- All subdivisions shall include adequate easements to accommodate the construction, maintenance and repair of all public access, sidewalks, trails, water supply system, waste water systems, storm water management system and erosion control facilities, telecommunications and other utilities required to provide each utility to each occupied structure in the subdivision.
- No structure shall be constructed over any portions of a recorded Town easement unless a revocable license is approved by the Town and the structure will not interfere with the intended use of the easement.
- Any structures placed in the easement including but not limited to paving, fencing, retaining walls and landscaping shall be removed and replaced by the owner upon the request of the utilities department or private utility company so that maintenance may be performed. The owner of the land shall agree to hold the Town and/or private utility company harmless for any loss of property or landscaping and irrigation removed from the easement or damaged due to maintenance activities and all associated costs.

FIRE NOTES:

- If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
- Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
- It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
- All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.
- Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction, the fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
- Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
- Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
- Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 88,000 pounds, and shall be surfaced so as to provide allweather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
- "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Castle Rock Fire Department. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to32 feet wide.
- "Fire Lane No Parking" Curb Marking: All designated lanes SHALL be accompanied with curb markings in a weather resistant red paint. Reflective paint may be used for higher visibility. Curbing shall be labeled, "NO PARKING- FIRE LANE" in all upper case letters. Lettering shall be no less than three (3") inches high with white lettering on a red back ground and placed on the face and top of the curb. Lettering shall be located no more than fifty (50') apart and within five feet of the beginning and end of any fire lane.
- The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) or Community Wildfire Protection Plan (CWPP) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.

CONTACT INFO:

ARCHITECT:
LEE ARCHITECTS
2525 SOUTH WADSWORTH BLVD., SUITE 21
DENVER, CO 80227
303.989.4500
CONTACT: KEITH ZAHLLER
KZAHLLER@LEEARCHITECTS.COM

OWNER:
RIVERS CHURCH
200 S. WILCOX ST., SUITE 137
CASTLE ROCK, CO 80104
CONTACT: ANDREW LAND, SR. PASTOR

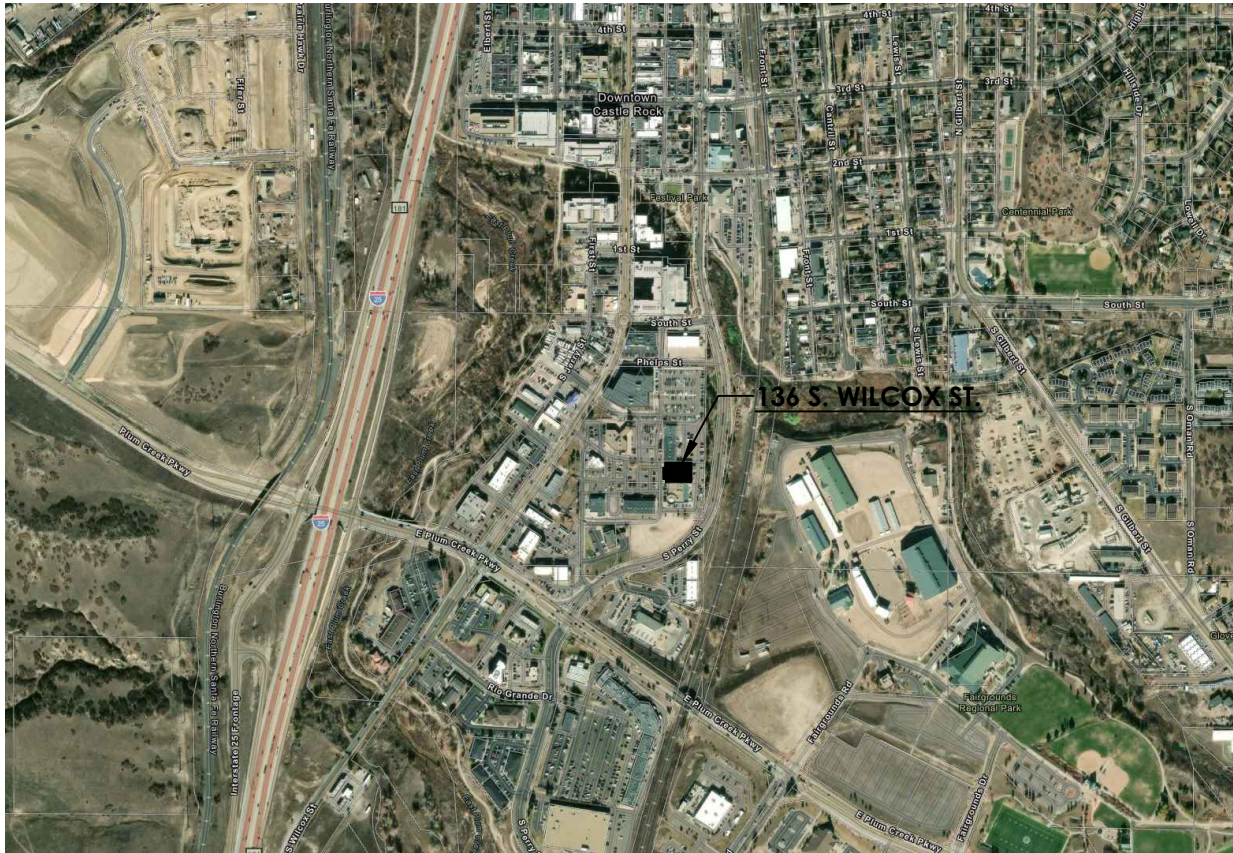
OWNER:
HALAZ, LLC
13892 W. BOWLES AVE., SUITE 200
LITTLETON, CO 80127
CONTACT: BILLY HALAX

LIENHOLDER:
ISAIAH 58:12 FOUNDATION, INC.
10940 S. PARKER RD., SUITE 778
PARKER, CO 80134
CONTACT: BRIAN PAYNE

LIENHOLDER:
IBOKF, NA DBA BOK FINANCIAL
COLORADO MAIN OFFICE
1600 BROADWAY
DENVER, CO 80202

VICINITY MAP:

SCALE: 1" = 1000'-0"



ZONING COMPARISON TABLE:

ZONING: B- BUSINESS/COMMERCIAL		DISTRICT(DOD)		DOWNTOWN OVERLAY	
	ZONINGALLOWANCE	EXISTING	PROPOSED		
USE	PER B- BUSINESS/COMMERCIAL AND DOD	MIXED COMMERCIAL	PLACE OF PUBLIC ASSEMBLY		
LOT SIZE	N/A	45,103 SF (1.04 AC)	45,103 SF (1.04 AC)		
BUILDING COVERAGE	100% MAX	14,000 SF / 31 %	14,000 SF / 31 %		
BUILDING SETBACKS	ZONING ALLOWANCE	EXISTING	PROPOSED		
	FRONT (WEST)	0' MIN	0'		
	REAR (EAST)	0' MIN	0'		
	SIDE (NORTH)	0' MIN	0'		
	SIDE (SOUTH)	0' MIN	0'		
MAX BUILDING SETBACK	A MINIMUM OF 25% OF A BUILDING'S LINEAR FOOTAGE FACING A PUBLIC ROADWAY MUST HAVE A SETBACK OF 0'-20' WITH A DIRECT PEDESTRIAN CONNECTION				
BUILDING HEIGHT	6 STORIES MAX	1	1		
DESCRIPTION OF USES	ZONING ALLOWANCE	EXISTING	PROPOSED		
SEATS IN MAIN ASSEMBLY AREA	N/A	N/A	368		
FLOOR AREA FOR OTHER ASSEMBLY	N/A	N/A	8343		
PARKING USE CATEGORY	REQ'D PER CODE	EXISTING	PROPOSED		
PLACES OF PUBLIC ASSEMBLY (1 SPACE/ 3 FIXED SEATS IN THE MAIN ASSEMBLY AREA PLUS 5 SPACES/ 1,000 SF OF FLOOR AREA FOR OTHER ROOMS USED FOR ASSEMBLY PLUS REQUIRED SPACES FOR EACH ADDITIONAL USE)	122 for seats, 32 for other 154 Total	= 43 stalls on Lot 3	43 stalls on Lot 3		
TOTAL SPACES		43*	43		
ACCESSIBLE PARKING (FOR 1 TO 10 TOTAL SPACES) (1 VAN PER 6 ACCESSIBLE (INCLUDED IN TOTAL SPACES)	2 (1 VAN)	0 (0 VAN)	**1 (0 VAN)		
EV ACCESSIBLE PARKING NON-DESIGNATED (INCLUDED IN TOTAL SPACES)	N/A	0	0		
EVSE INSTALLED PARKING (INCLUDED IN TOTAL SPACES)	N/A	0	0		
BICYCLE PARKING (5% OF TOTAL SPACES)	3 required	0	4		
Notes: * Existing Parking is from Mixed Commercial previously with Gym (4 spaces per 1,000 sq. ft. of GFA) and Full Service Restaurant (1 space per 3 seats OR 12 spaces per 1,000 sq. ft. of GFA, whichever provides the most parking). This lot is part of a larger shopping center (Castle Plaza South) that shares parking.					
Notes: ** A Van accessible parking stall shall be provided on adjacent lot 4A2.					

SITE UTILIZATION TABLE:

	EXISTING		PROPOSED	
	SF	% OF TOTAL	SF	% OF TOTAL
BUILDING COVERAGE	14,000	31%	14,000	31%
OPEN SPACE/ LANDSCAPE COVERAGE	4,006	9%	4,006	9%
PARKING COVERAGE	25,380	56%	25,380	56%
OTHER COVERAGE (SIDEWALKS, GUTTERS, CURBS, AND MISC. HARDSCAPE)	1,717	4%	1,717	4%

DRAWING INDEX:

- 1 OF 6 COVER SHEET
- 2 OF 6 SITE PLAN
- 3 OF 6 EXISTING BUILDING ELEVATIONS
- 4 OF 6 PROPOSED BUILDING ELEVATIONS
- 5 OF 6 PHOTOMETRIC PLAN
- 6 OF 6 LIGHTING DETAILS

OWNERSHIP CERTIFICATION (AS TO LOT 3)

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

RIVERS CHURCH, A COLORADO NONPROFIT CORPORATION

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____,
20____ BY _____ AS _____ OF _____.
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

LIENHOLDER SUBORDINATION CERTIFICATE (AS TO LOT 3)

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED MAY 21, 2026 AT RECEPTION NO. 202625282, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

ISAIAH 58:12 FOUNDATION, INC., A COLORADO NONPROFIT CORPORATION

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____,
20____ BY _____
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

OWNERSHIP CERTIFICATION (AS TO LOT 4A2)

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

HALAX, LLC, A COLORADO LIMITED LIABILITY COMPANY

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____,
20____ BY _____ AS _____ OF _____.
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

LIENHOLDER SUBORDINATION CERTIFICATE (AS TO LOT 4A2)

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED DECEMBER 30, 2020 AT RECEPTION NO. 2020131229, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

BOKF, NA DBA BOK FINANCIAL

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____,
20____ BY _____
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____,
20____ BY _____ AS AUTHORIZED REPRESENTATIVE
OF _____.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

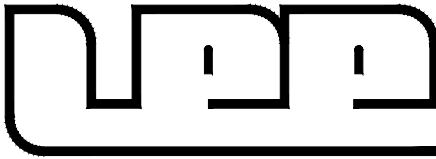
STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE ____ DAY OF _____, 20____.

DIRECTOR OF DEVELOPMENT SERVICES

SITE DEVELOPMENT PLAN
LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO. SDP26-0011

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ARCHITECTS
INTERIOR DESIGNERS

2525 S. WADSWORTH BOULEVARD SUITE #21
DENVER, COLORADO 80227
PHONE: 303.989.4500 FAX: 303.989.4511

WWW.LEEARCHITECTS.COM

rivers church

Castle Rock

Castle Rock, CO 80104

136 - 138 South Wilcox Street

Job No: 26010

Revisions / Submittals:
No. Date Description
1. 08.18.2026 - SITE SUBMITTAL #3

Date
07.20.2026

Drawn by MBP Checked by KPZ

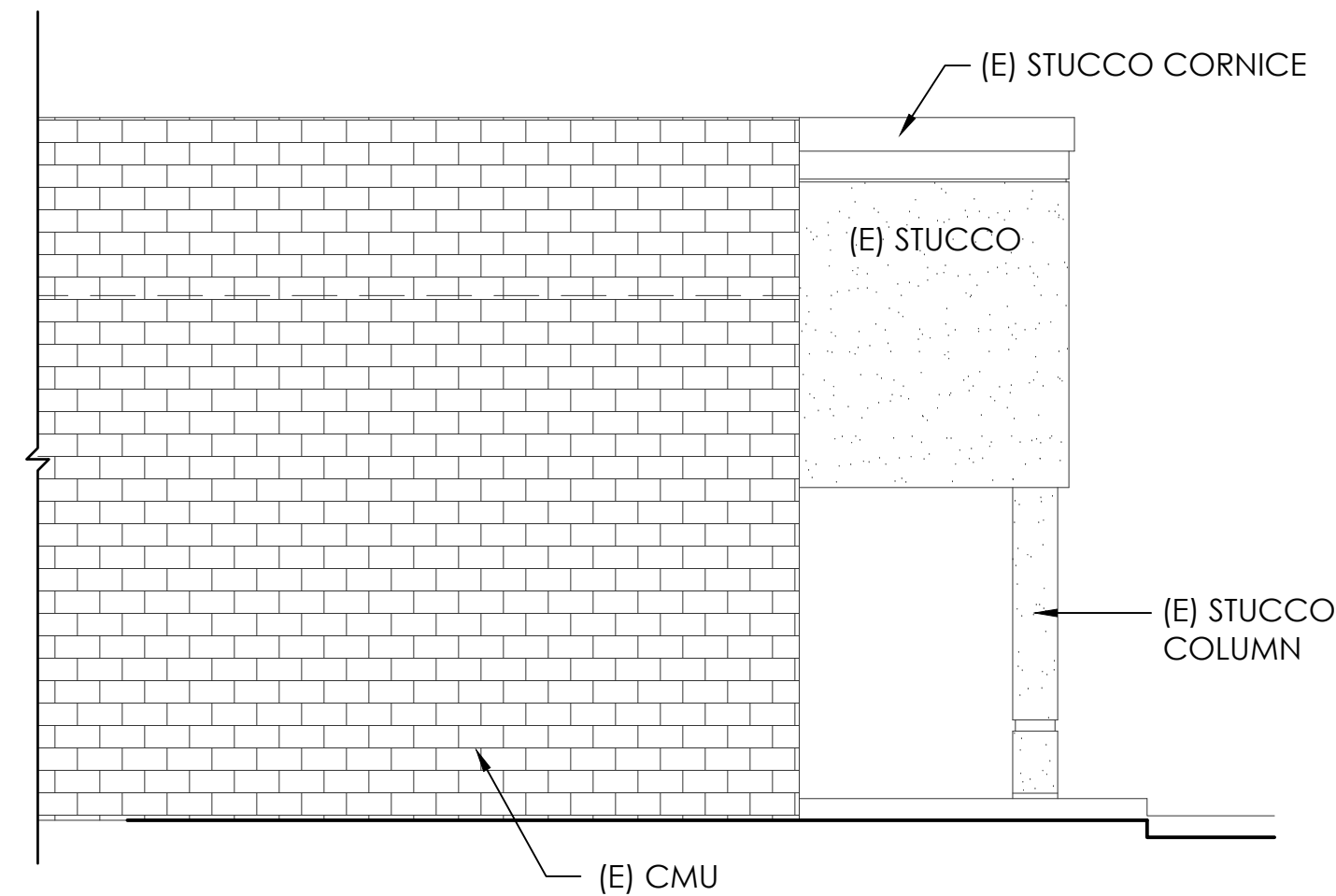
Title
COVER SHEET

1 OF 6

SITE DEVELOPMENT PLAN
LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT AND
LOT 4A2, CASTLE PLAZA SOUTH-4TH AMENDMENT
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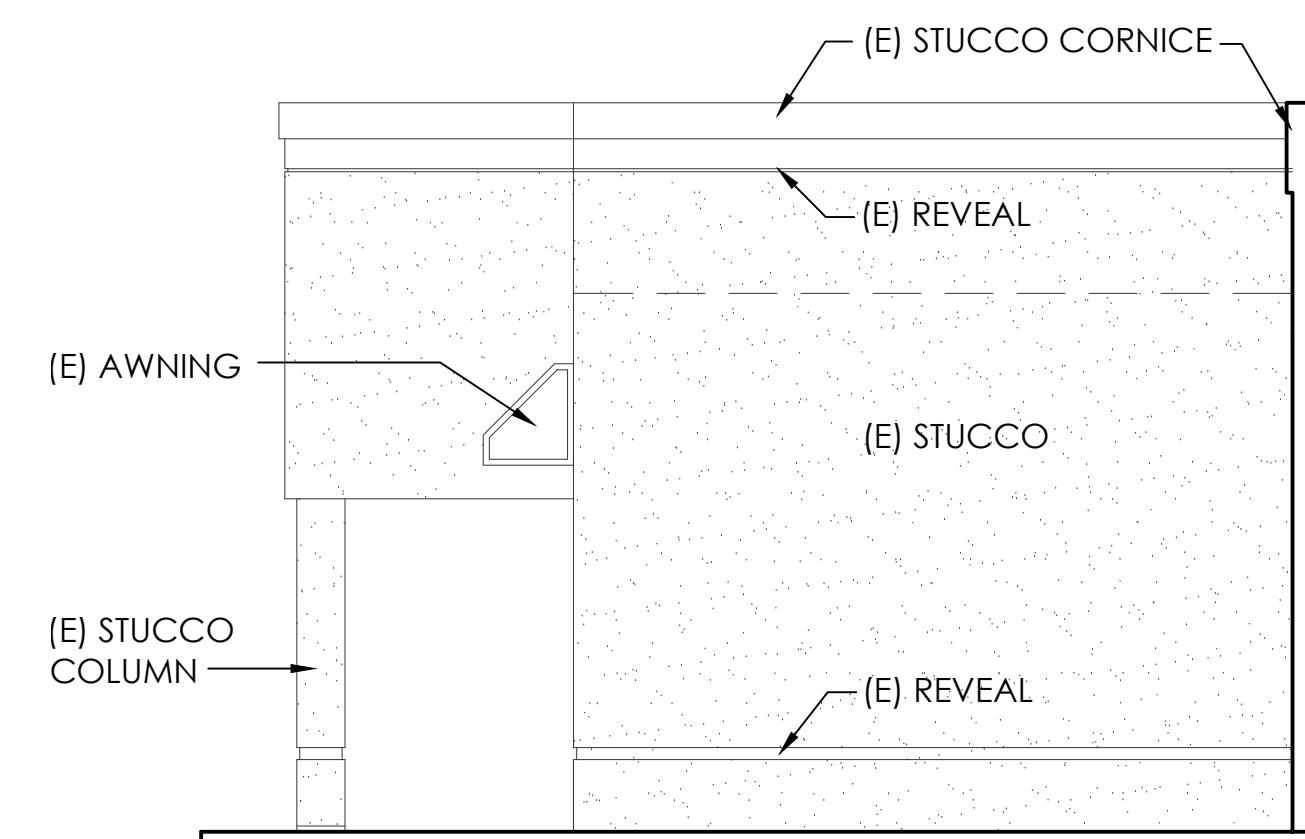


EXISTING FACADE



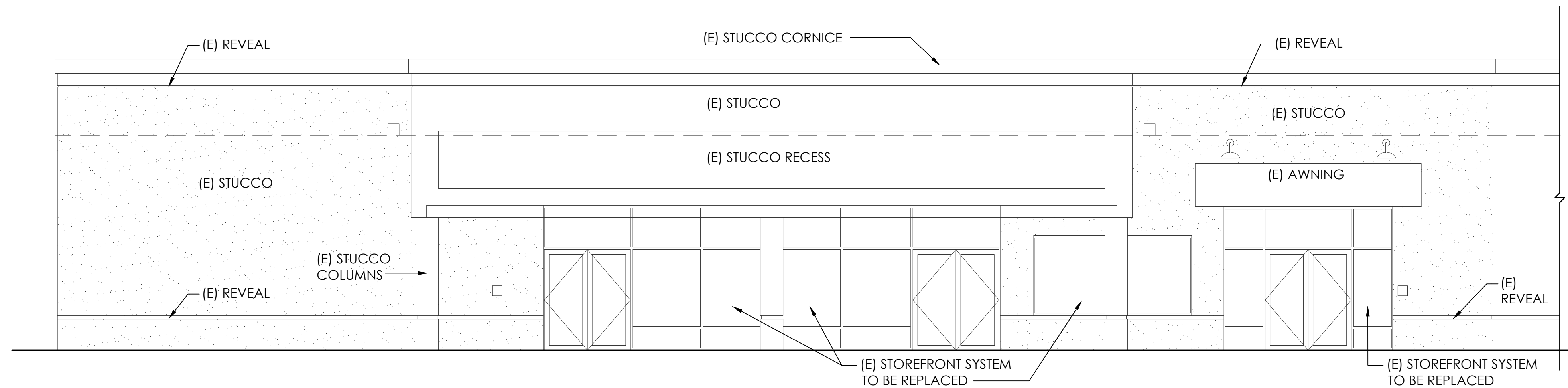
EXISTING NORTH ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"

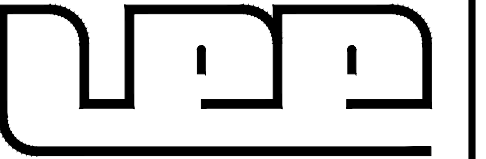


EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"

SITE DEVELOPMENT PLAN
LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO. SDP26-0011

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Title EXISTING
BUILDING
ELEVATIONS

3 OF 6

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LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT AND
LOT 4A2, CASTLE PLAZA SOUTH-4TH AMENDMENT

LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



RENDERING

1. ELDORADO-STONE
CLIFFSTONE
COLOR: BANFF SPRINGS 737

2. WOODTONE RUSTIC SERIES
SUBSTRATE: ALLURA
PROFILE: LAP
COLOR: SAND CASTLE

CORRESPONDING TRIM
COLOR: WHOLE WHEAT

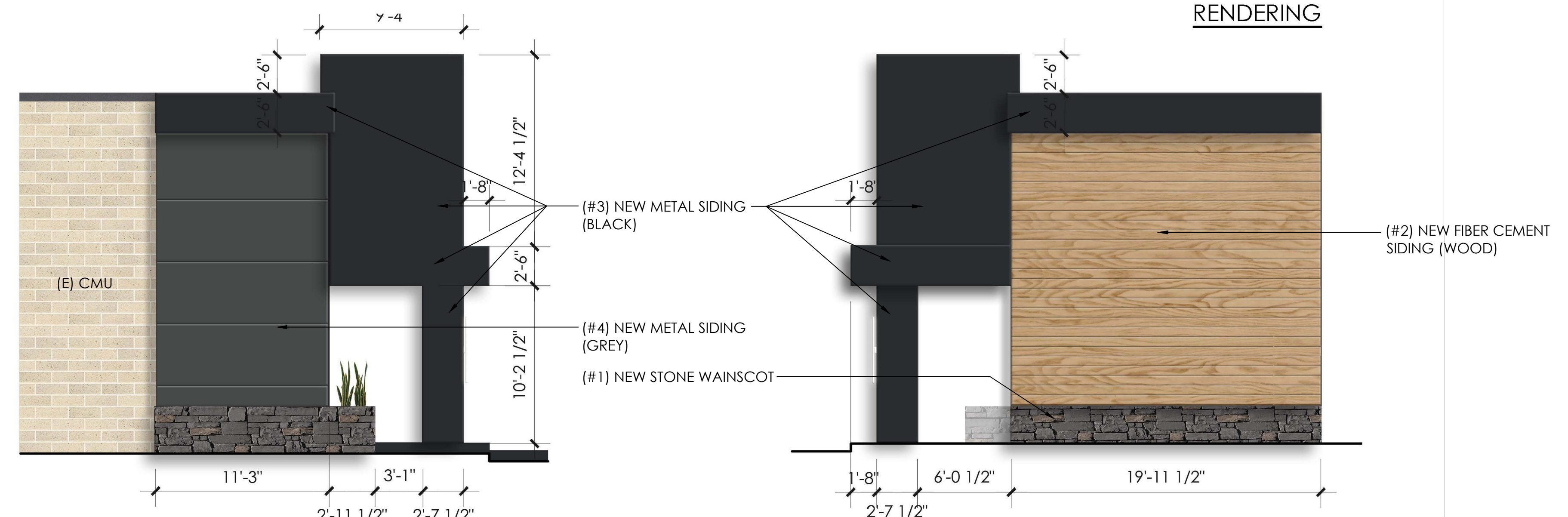
3. ALUCUBOND
ALUMINUM COMPOSITE PANELS,
OR EQUAL
COLOR: TRI-CORN BLACK

4. ALUCOBOND
ALUMINUM COMPOSITE PANELS,
OR EQUAL
COLOR: GREYHOUND

5. OLDCASTLE
STOREFRONT
COLOR: SOLAR GRAY

BLACK DOOR & WINDOW FRAMES

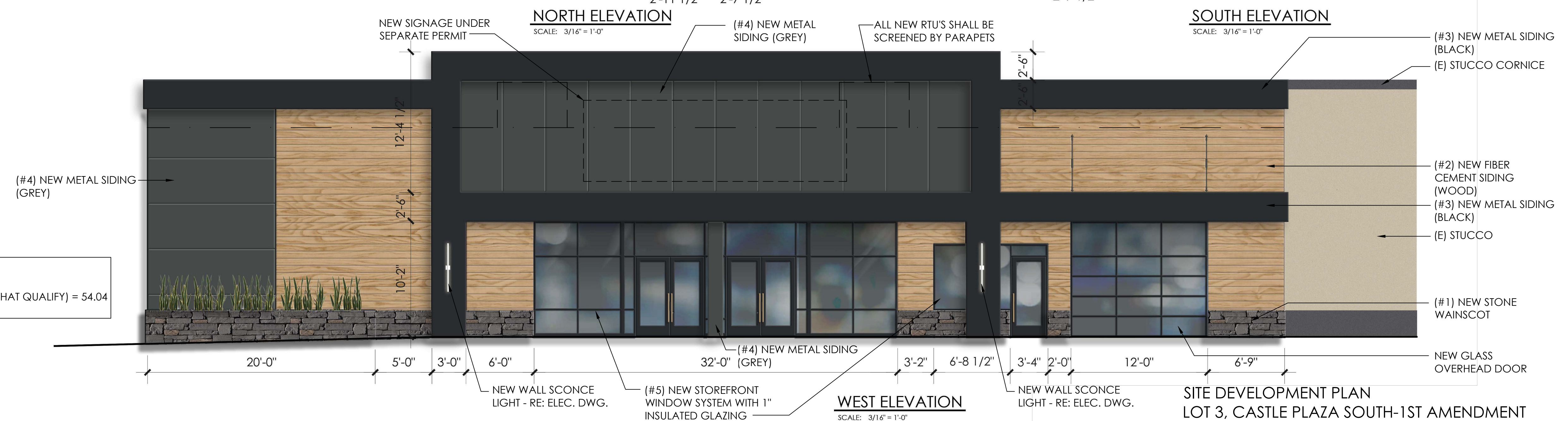
MATERIAL BOARD



2-11

NORTH ELEVATION

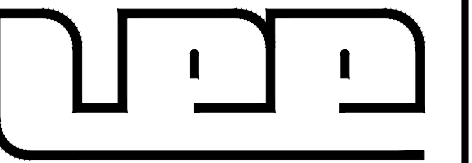
SOUTH ELEVATION



WEST ELEVATION

TRANSPARENCY CALCULATIONS:
TOTAL LINEAR WIDTH OF BUILDING = 99.96'
TOTAL LINEAR TRANSPARENCY (WINDOWS & DOORS THAT QUALIFY) = 54.04
 $54.04/99.96 = 54.06\%$ TRANSPARENCY

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1.	08.18.2026	- SITE SUBMITTAL #3

Date 07.20.2026

Drawn by	Checked by
MBP	KPZ

PROPOSED
BUILDING
ELEVATIONS

4 OF 6

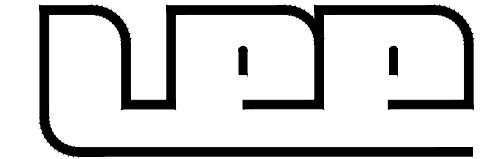
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136 - 138 South Wilcox Street Castle Rock, CO 80104

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No. Date Description
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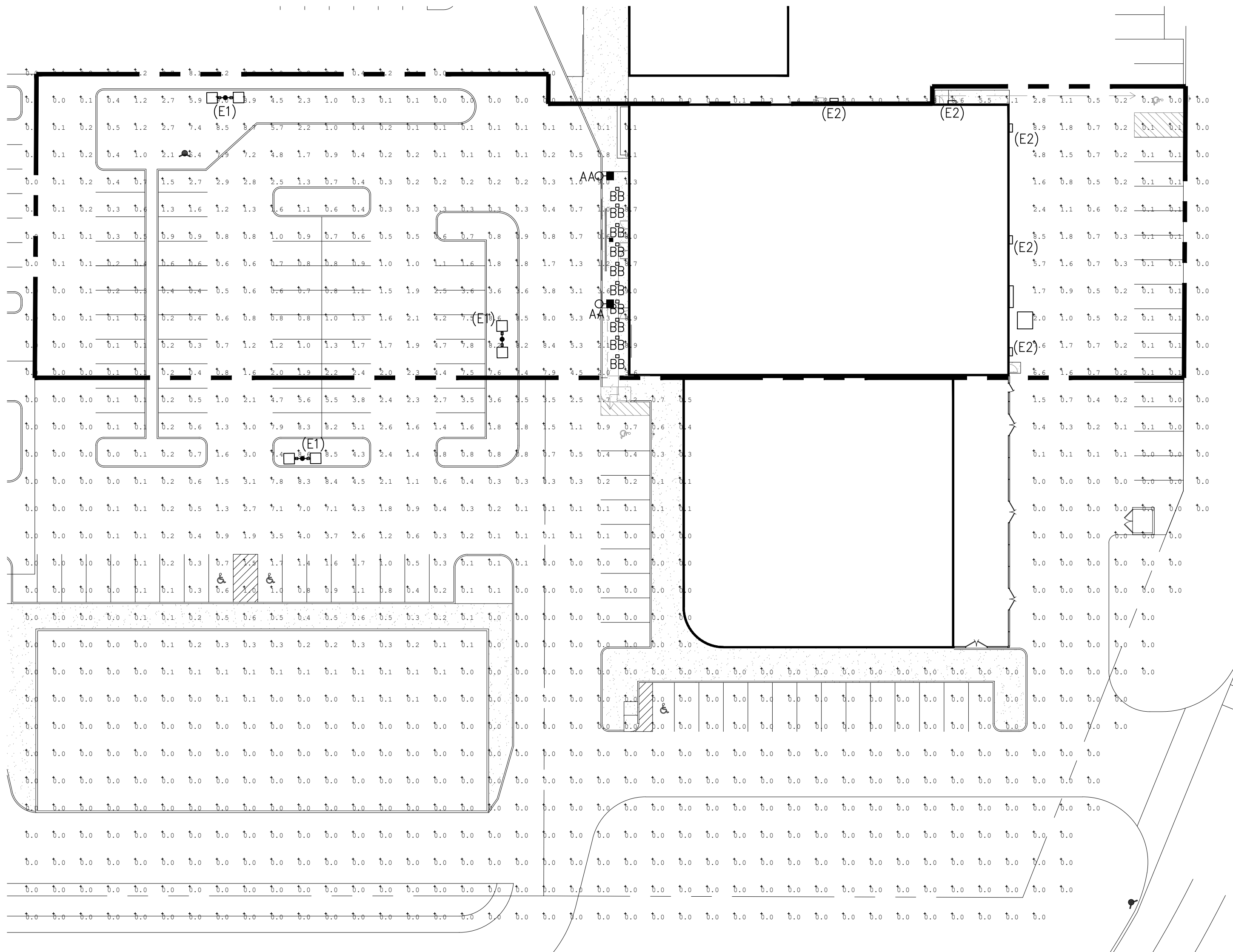
Date 07.20.2026

Drawn by JCB Checked by JCB

Title
PHOTOMETRIC PLAN

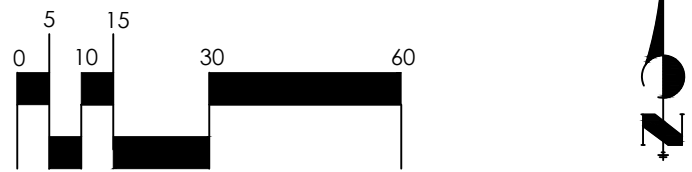
5 OF 6

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PHOTOMETRIC PLAN

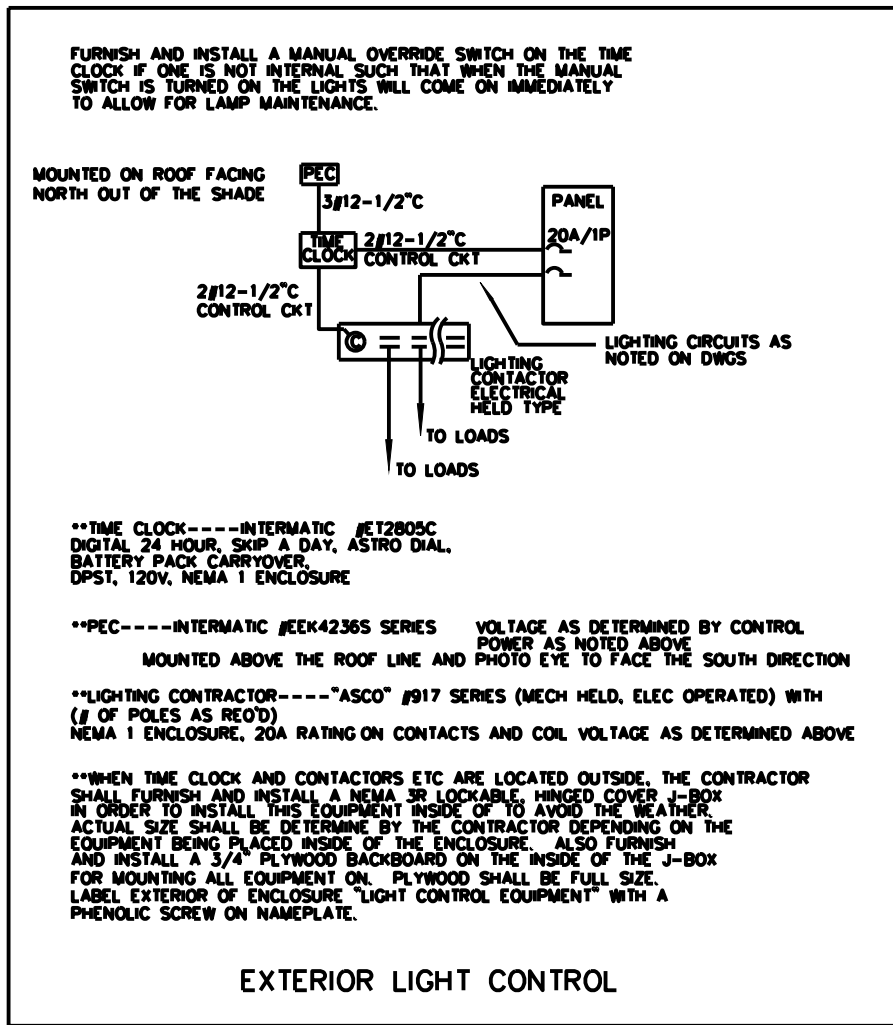
SCALE: 1" = 30'-0"



Site Luminaire Summary Table																		
Luminaire													Lamps					
ID/Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp CRI	Light Loss Factor	Fixture Finish
(E1)	EXISTING POLE LIGHT	EXISTING POLE LIGHT	EXISTING POLE LIGHT	EXISTING POLE LIGHT	NO	III	120	NO	3	POLE	20'-0"	6	M.H.	(2) 250	(2) 18500	70	1.000	BRONZE
(E2)	EXISTING WALL PACK	EXISTING WALL PACK	EXISTING WALL PACK	EXISTING WALL PACK	NO	III	120	NO	5	WALL	12'-6"	5	H.P.S.	100	8950	70	1.000	BRONZE
AA	VISUAL INTEREST	TEGEL 18 OUTDOOR WALL	700OWTEG 8 80 30 W 18 C B DO UNV	ARCHITECTURAL WALL SCNCE	YES	III	120	0-10V	2	WALL	6'-6"	2	LED	15.6	1212	70	1.000	BLACK
BB	COOPER	PORTFOLIO RECESSED DOWNLIGHT	DSQ6B10D010 EU6B10209024 6LBSQ1LI	ARCHITECTURAL DOWNLIGHT	YES	V	120	0-10V	10	CEILING	12'-0"	10	LED	10.5	760	80	1.000	ALZAK

Calculation Summary							
Label	Calc Type	Units	Average	Min	Max	Avg/Min	Max/Min
Site		Fc	1.81	0.0	9.0	N.A.	N.A.
Canopy		Fc	8.63	1.3	9.0	6.62	6.92
Bldg. Surround		Fc	3.28	0.0	8.9	N.A.	N.A.
N. Walkway		Fc	0.16	0.1	0.4	1.60	4.0
S. Walkway		Fc	1.30	1.3	1.3	1.0	1.0

Lighting Hours of Operation						
Sunday	Monday	Tuesday	Weds.	Thurs.	Friday	Saturday
5pm-10pm	5pm-9pm	5pm-9pm	5pm-9pm	5pm-9pm	5pm-9pm	5pm-10pm



EXTERIOR LIGHT CONTROL

Lighting Standard Notes:

- Light Loss Factor is 1.
- All hours of illumination are noted in the Light Hours of Operation schedule included on this sheet. Please see the adjacent lighting control detail for technical information. All building light fixtures will be controlled by a time-clock with a photocell override. (photocell 'on', time-clock 'off'). All building lights will be turned off 1-hour after daily operations with the exception of the 'BB' canopy lights. These light fixtures will remain on for security purposes. The parking lot pole lights will be dimmed via integrated motion sensors.
- All lighting objectives are shown on the plan. Existing pole mounted lights are limited to the parking lot and are intended to provide a safe & operational means of entry & egress during evening events. The existing maximum pole light height on this project is 20'-0". Building facade lighting is wall mounted. It is designed for safety an aesthetics pointing to entry & exit points of the building.
- Forward throw fixtures are not designed into this project and will not be aimed at the building facade for illumination. All new light fixtures specified on the project are full cut off. These full cut-off light fixtures are engineered to mitigate glare & light trespass to adjacent properties & neighborhoods.
- Exterior lighting for egress travel (to the public way or egress court) shall comply with currently adopted building code.
- Forward throw fixtures are not designed into this project and will not be aimed at the building facade for illumination.

SITE DEVELOPMENT PLAN
LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT
TOWN OF CASTLE ROCK PROJECT NO. SDP26-0011

SITE DEVELOPMENT PLAN
LOT 3, CASTLE PLAZA SOUTH-1ST AMENDMENT AND
LOT 4A2, CASTLE PLAZA SOUTH-4TH AMENDMENT
LOCATED IN THE SOUTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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rivers church
Castle Rock
136 - 138 South Wilcox Street
Castle Rock, CO 80104



1 TYPE (E1): EXISTING HIGH PRESSURE SODIUM POLE LIGHT
6 NTS



2 TYPE (E2): EXISTING HIGH PRESSURE SODIUM WALL PACK
6 NTS

TEGEL 18 OUTDOOR WALL

PRODUCT FEATURES

- From the brand formerly known as Tech Lighting
- Powerful, long lasting (L70, 70,000 hours) dimmable LED tested against the highest quality standards to ensure it delivers consistent LED performance and color over time.
- Die cast aluminum structure, powder coat finish, and stainless steel hardware for robust durability in harsh elements, appropriate for commercial use.
- Universal 120-277 volt driver with integral transient surge protection at 250V per American National Standard (ANSI) and IEEE standards.
- Wet listed, IP65 (International Protection rating indicating resistance to dust and water. Suitable and safe for commercial use).
- Available up and down light OR down light only. Each with beam spread options of 10° or 30°. Available in modern finishes.

LAMPING

ORDERING INFORMATION

7000WTEG	CR	COLOR TEMP	BEAM SPREAD	LENGTH (IN)	LENS (IN)	FINISH	FUNCTION	VOLTAGE	OPTIONS
8160	35-3000K	N	10° NARROW	18 1/8"	C CLEAR	B BLACK	DOWNLIGHT ONLY	UNV 277V	NONE
CB	40-4000K	NN	10° UP & DOWN		Z BRONZE	LED UPLIGHT & H CHARCOAL	DOWNLIGHT	277V	PC BUTTON PHOTOCONTROL, PCBP BUTTON PHOTOCONTROL, SURGE PROTECTION, SP SURGE PROTECTION

7000WTEG
JOB NAME
NOTES

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3 TYPE 'AA': VISUAL INTEREST - 7000WTEG 8 80 30 W 18 C B DO UNV
6 NTS

Project Catalog # Type

Prepared by Notes Date

Portfolio

LDSQ6C | EU6C | 6LBSQ

6" Square, New Construction Downlight and Wall Wash
250-15,000 Lumens

Typical Applications
Office • Education • Healthcare • Hospitality • Retail • Code Compliance Areas • Sports Venues

Interactive Menu

- Order Information page 2
- Product Specifications page 4
- Dimensional & Mounting Details page 5
- Energy Data page 6
- Photometric Data page 7
- Connected Systems page 10
- Product Warranty

Top Product Features

- 250-15,000 lumens; Offered in 90, 97 and 98 CRI; ENERGY STAR® qualified
- Optional snap in driver for ease of replacement; Die-cast or anodized aluminum reflectors
- Standard 0-10V driver dims to 1%; Easy disconnect for LED engine replacement and installation
- 2400K, 2700K, 3000K, 3500K, 4000K, 5000K; D2W™ option from 3000K to 1850K
- W2N tunable white CCT range 2700K to 6500K or 2000K to 5000K

Dimensional and Mounting Details

DOWNLIGHT

WALL WASH

CLICK HERE
dimensional information

COOPER Lighting Solutions
A Signify® business

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4 TYPE 'BB': PORTFOIL - LDSQ6B10D010 EU6B10209024 6LBSQ1LI
6 NTS