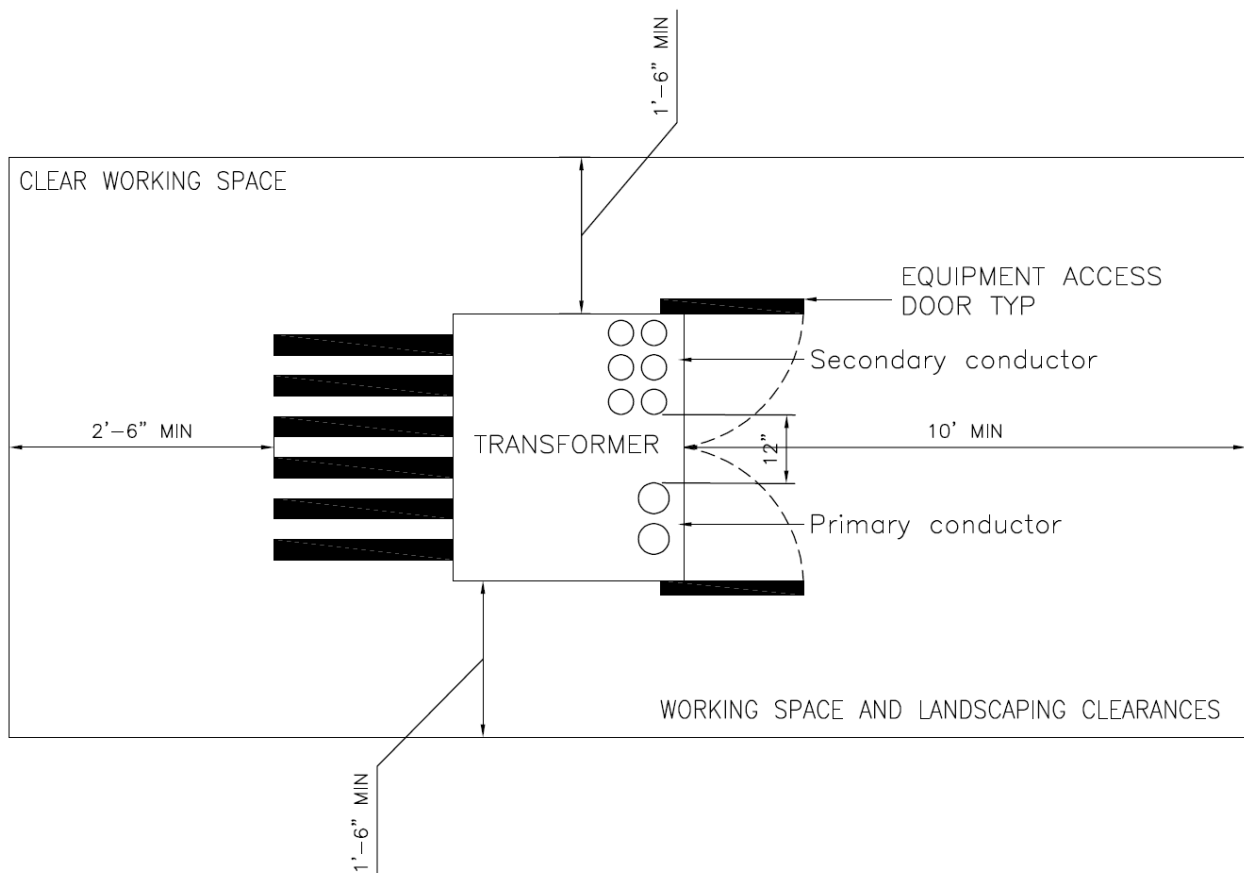
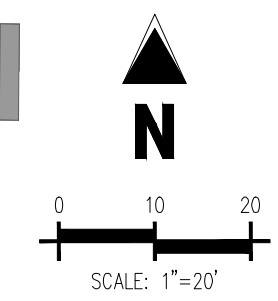


Three-phase Pad Mounted Equipment

- Three-phase pad mounted equipment with cooling fins shall have a clear working space minimum of 1'-6" on the sides, 2'-6" at the rear of the equipment, and 10' of level ground in front of the equipment. CORE's written approval is required for any variance. Roadways and drive-throughs are not considered working space. Secondary conduits shall be located in the front right quadrant of the transformer and will maintain a minimum separation of 12" between primary and secondary conduits. Secondary cables shall not encroach into the primary side of the transformer.

PLAN VIEW OF THREE-PHASE PAD MOUNTED EQUIPMENT WORKING SPACE AND LANDSCAPING CLEARANCES





- CALL OUT EASEMENT WIDTHS BY OTHERS
SHOULD BE DEDICATED VIA PLAT

- Galloway Response:**
Revised indicate
easement widths.

GAMBEL RIDGE BLVD
PUBLIC RIGHT OF WAY
(WIDTH VARIES)

LOT 3
0.61 ACRES
(26,403 SQ. FT.)
PLANNING AREA: E-2
ZONING DAWSONS TRAIL PD

LOT 2
0.84 ACRES
(36,743 SQ. FT.)
PLANNING AREA: E-2
ZONING: DAWSONS TRAIL PD

LOT 1
12.09 ACRES
(526,696 SQ. FT.)
PLANNING AREA: E-2
ZONING DAWSONS TRAIL P

LOT 4
0.91 ACRES
(39,462 SQ. FT.)

CORE WILL REQUIRE
A MIN 10' FROM
FRONT OF
TRANSFORMER TO
BACK OF CURB

Galloway Response:
Revised to rotate the transformer to provide required clearance.

DAWSON TRAILS BLVD
PUBLIC RIGHT OF WAY
(WIDTH VARIES)

SDP26-XXXX - SITE DEVELOPMENT PLAN
LOT 4, DAWSON TRAILS FILING NO. 2 AMENDMENT 4

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SITE DEVELOPMENT PLAN
LOT 4 DAWSON TRAILS FILING NO. 2 AMENDMENT 4

KEYBANK

DAWSON TRAILS BLVD. & GAMBEL RIDGE BLVD.
CASTLE ROCK COLORADO

[illegible]

SITE PLAN

