

SITE DEVELOPMENT PLAN AMENDMENT NO. 3

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
7TH AMENDMENT TO THE FINAL PD SITE PLAN
QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES:

- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
- THE ZONING RECORDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER 2022007449 ON FEBRUARY 1ST, 2022.
- THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0169G & 08035C0167G DATED 03/16/2016.
- RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY THE HOA OR METRO DISTRICT.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
- THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN, A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE, REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOW LINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
- ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
- NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
- ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS.

FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 88,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE CASTLE ROCK FIRE DEPARTMENT. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- "FIRE LANE NO PARKING" CURB MARKING. ALL DESIGNATED LANES SHALL BE ACCOMPANIED WITH CURB MARKINGS IN A WEATHER RESISTANT RED PAINT. REFLECTIVE PAINT MAY BE USED FOR HIGHER VISIBILITY. CURBING SHALL BE LABELED, "NO PARKING - FIRE LANE" IN ALL UPPER CASE LETTERS. LETTERING SHALL BE NO LESS THAN THREE (3) INCHES HIGH WITH WHITE LETTERING ON A RED BACK GROUND AND PLACED ON THE FACE AND TOP OF THE CURB. LETTERING SHALL BE LOCATED NO MORE THAN FIFTY (50') APART AND WITHIN FIVE FEET OF THE BEGINNING AND END OF ANY FIRE LANE.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) OR COMMUNITY WILDFIRE PROTECTION PLAN (CWPP) THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

ZONING		MEADOWS, 7TH AMENDMENT							
USE AREA		COI (COMMERCIAL, OFFICE, INDUSTRIAL)							
LOT		LOT 3							
LOT SIZE SF/ACRES		1,740,412 SF/39.954 ACRES							
PROJECT #		PROVIDED							
CDC RECEPTION #		FPD10-0002 2010058543	FPD10-0005 2014014183	FPD11-0003 2011054888	FPD12-0002 2012061618	SDP21-0030/SDP22-0059**** (THIS SDP) 2022007449/TBD	SDP26-0003 TBD		
PERMITTED USE		AS PER 5.4 OF THE ZONING REGULATIONS, WHICH INCLUDES HOSPITAL, OTHER HEALTH CARE FACILITIES, OFFICES	EMERGENCY DEPARTMENT/IMAGING	MEDICAL OFFICE	HOSPITAL	MEDICAL OFFICE	AMBULATORY CARE MEDICAL OFFICE	MEDICAL OFFICE	
MINIMUM LOT AREA		AS PER 4.8 OF THE ZONING REGULATION, THE DEVELOPMENT OF CRITERIA FOR MINIMUM LOT AREA TO BE ESTABLISHED AT TIME OF FINAL SITE PLAN	1,740,412 SQUARE FEET, 39.954 ACRES						
BUILDING FLOOR AREA		N/A	22,854	61,800	210,339	428,398 0.25 (428,398/1,740,412)	61,800	70,000	1,605
BUILDING FLOOR AREA TOTAL		N/A							
MAX. FLOOR AREA RATIO (FAR)		0.60							
GROSS LEASABLE AREA (GLA)			21,711	57,000	199,822	57,000	66,500 (42,600 SF OUTPATIENT + 23,900 SF MEDICAL OFFICE)	1,605	
MINIMUM FRONT YARD SETBACK		AS PER 4.8 OF THE ZONING REGULATION, THE DEVELOPMENT OF CRITERIA FOR MINIMUM SETBACKS TO BE ESTABLISHED AT TIME OF FINAL SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	AS SHOWN ON RESPECTIVE SITE PLAN	259'-1 1/2"	258'-10 1/2"	
MINIMUM REAR YARD SETBACK							AS SHOWN ON FPD10-0002	99'-2 3/4"	
MINIMUM SIDE YARD SETBACK							N/A	280'-8 3/4" (SOUTH) / 913'-0" (NORTH)	
MINIMUM SIDE TO STREET SETBACK							AS SHOWN ON FPD10-0005	310'-1 3/8" (SOUTH) / 924'-3" (NORTH)	
MAXIMUM BUILDING HEIGHT		60' 75"	35'-4"	55'	89'-8 1/2"	52'	59'	23'-2 1/2"	
MINIMUM PARKING		TOCR REQ. #1 - 1 SPACE/2 BEDS TOCR REQ. #2 - 1 SPACE/5 OUTPATIENT TOCR REQ. #3 - 1 SPACE/EMPLOY MAX. TOCR REQ. #4 - 5 SPACE/1,000 SF OF GROSS LEASABLE AREA	TOTAL PROVIDED = 1,123 TOTAL REQUIRED = 1,143 - 20** = 1,123						
			PARKING SPACES PROVIDED = 68	PARKING SPACES PROVIDED = 229***	PARKING SPACES PROVIDED = 319	PARKING SPACES PROVIDED = 309	PARKING SPACES PROVIDED = 198	PARKING SPACES PROVIDED = 198	
			PARKING SPACES REQUIRED = 35	PARKING SPACES REQUIRED = 285	PARKING SPACES REQUIRED = 349	PARKING SPACES REQUIRED = 285	PARKING SPACES REQUIRED = 189	PARKING SPACES REQUIRED = 197	
			CALC #1 - NOT APPLICABLE CALC #2 - (75/5)x1 = 15 SPACES CALC #3 - 20 STAFF = 20 SPACES CALC #4 - NOT APPLICABLE	CALC #1 - NOT APPLICABLE CALC #2 - NOT APPLICABLE CALC #3 - NOT APPLICABLE CALC #4 - (57,000/1,000)x5 = 285 SPACES	CALC #1 - (110/2)x1 = 55 SPACES CALC #2 - (220/5)x1 = 44 SPACES CALC #3 - 250 STAFF = 250 SPACES CALC #4 - NOT APPLICABLE	CALC #1 - NOT APPLICABLE CALC #2 - NOT APPLICABLE CALC #3 - NOT APPLICABLE CALC #4 - (57,000/1,000)x5 = 285 SPACES	CALC #1 - NOT APPLICABLE CALC #2 - (144/5)x1 = 29 SPACES CALC #3 - 40 STAFF = 40 SPACES CALC #4 - (23,900/1,000)x5 = 120 SPACES	CALC #1 - NOT APPLICABLE CALC #2 - NOT APPLICABLE CALC #3 - NOT APPLICABLE CALC #4 - (1605/1,000)x5 = 8 SPACES	
			TOTAL PROVIDED = 55 TOTAL REQUIRED = 31						
MINIMUM ADA PARKING		PER MUNI. CODE: 3 ADA SPACES FOR 51 TO 75 TOTAL SPACES; 6 ADA SPACES FOR 151 TO 200 TOTAL SPACES; 8 ADA SPACES FOR 301 TO 400 TOTAL SPACES	ADA PARKING PROVIDED = 17	ADA PARKING PROVIDED = 9	ADA PARKING PROVIDED = 12	ADA PARKING PROVIDED = 11	ADA PARKING PROVIDED = 6	ADA PARKING PROVIDED = 0	
			ADA PARKING REQUIRED = 3	ADA PARKING REQUIRED = 6	ADA PARKING REQUIRED = 8	ADA PARKING REQUIRED = 8	ADA PARKING REQUIRED = 6	ADA PARKING REQUIRED = 0	
**INCREASE IN MAXIMUM BUILDING HEIGHT TO 75' PERMITTED AS A USE BY SPECIAL REVIEW ONLY.									
***REDUCTION OF THE MINIMUM PARKING REQUIREMENT BY 20 SPACES (1.75%) APPROVED VIA AVA21-0004.									
****INCLUDES 41 OFF-SITE SPACES ON LOT 4, MEADOWS, F17, AREA 1 AS SHOWN ON FPD10-0005.									
*****NO PROPOSED CHANGES TO THE ZONING COMPARISON TABLE WITH PROJECT SDP22-059									

CONTACTS:

OWNER/DEVELOPER

ADVENTHEALTH
2350 MEADOWS BLVD.
CASTLE ROCK, CO 80109
720.455.5000

ARCHITECT

SMITHGROUP
899 LOGAN STREET
SUITE 508
DENVER, CO 80203
303.832.3272

CIVIL ENGINEER

S.A. MIRO INC.
4582 S. ULLSTER STREET
SUITE 750
DENVER, CO 80237
303.741.3737

LANDSCAPE ARCHITECT

SMITHGROUP
455 N. THIRD STREET
SUITE 250
PHOENIX, AZ
602.256.2200

MEP ENGINEER

RMH GROUP
12600 WEST COLFAX AVENUE
SUITE A-400
LAKEWOOD, CO 80215
303.239.0909

CONTRACTOR

LAYTON CONSTRUCTION
8480 E. ORCHARD ROAD
SUITE 6200
GREENWOOD VILLAGE, CO 80111
303.209.7853

BENCHMARK:

DOUGLAS COUNTY CONTROL, 3-1/4" BRASS CAP STAMPED "2.011031".
ELEVATION=6089.46 (NAVD 1988)

SITE: NO. 6 REBAR WITH 3-1/4" ALUMINUM CAP, STAMPED "PLS 38026", FLUSH WITH GRADE, AS SHOWN, ELEVATION=6104.69 (NAVD 1988)

LEGAL DESCRIPTION:

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1, TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

PURPOSE STATEMENT:

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN AMENDMENT IS TO PROVIDE THE FIELD CHANGE ORDER UPDATES FOR THE MEDICAL OFFICE BUILDING AND ASSOCIATED PARKING AND LANDSCAPING TO THE CASTLE ROCK ADVENTIST HOSPITAL CAMPUS.

OWNERSHIP CERTIFICATION:

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

PORTERCARE ADVENTIST HEALTH SYSTEM
A COLORADO NON-PROFIT CORPORATION

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____, BY _____ OF PORTERCARE ADVENTIST HEALTH SYSTEM.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES _____.

CIVIL ENGINEER CERTIFICATION:

I, RYAN J. HUMPHREY, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, DO HEREBY ATTEST THAT ALL GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

RYAN J. HUMPHREY
CO# 64927

DATE _____

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICE APPROVAL:

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL
THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20____.

DIRECTOR OF DEVELOPMENT SERVICES

TITLE CERTIFICATION:

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____,

A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY
SIGNED THIS _____ DAY OF _____, 20____.

NOTARY BLOCK
SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ AS AUTHORIZED REPRESENTATIVE OF _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

WATER RIGHTS DEDICATION AGREEMENT:

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE MEADOWS (FOURTH AMENDMENT) DEVELOPMENT AGREEMENT, RECORDED ON THE 10TH DAY OF JULY, 2003 AT RECEPTION NO. 2003102970.

SITE UTILIZATION (SCOPE OF WORK)

	S.F.	% OF TOTAL
BUILDING COVERAGE	1,605	30.95%
PARKING COVERAGE	0	0.00%
STREET COVERAGE	0	0.00%
LANDSCAPE/OPEN SPACE COVERAGE	2,245	62.41%
SIDEWALK/CONCRETE BAND/ MAINTENANCE EDGE COVERAGE	1,335	6.63%
TOTAL	5,185	100%

SITE DEVELOPMENT PLAN AMENDMENT NO. 3

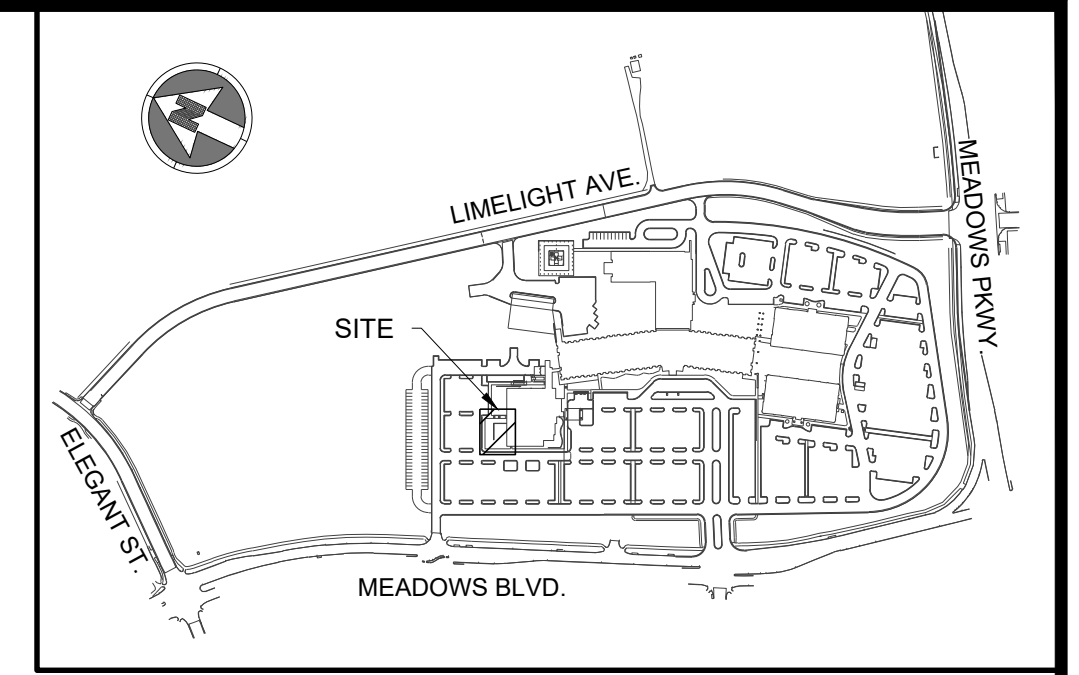
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SDP26-0003

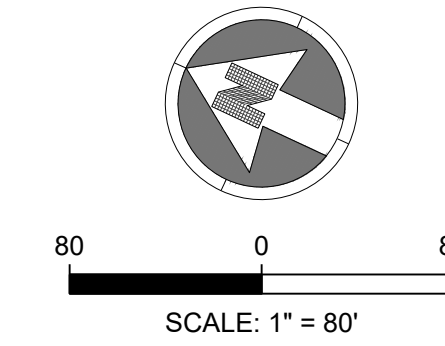
COVER SHEET
SHEET 1 OF 8

SITE DEVELOPMENT PLAN AMENDMENT NO. 3

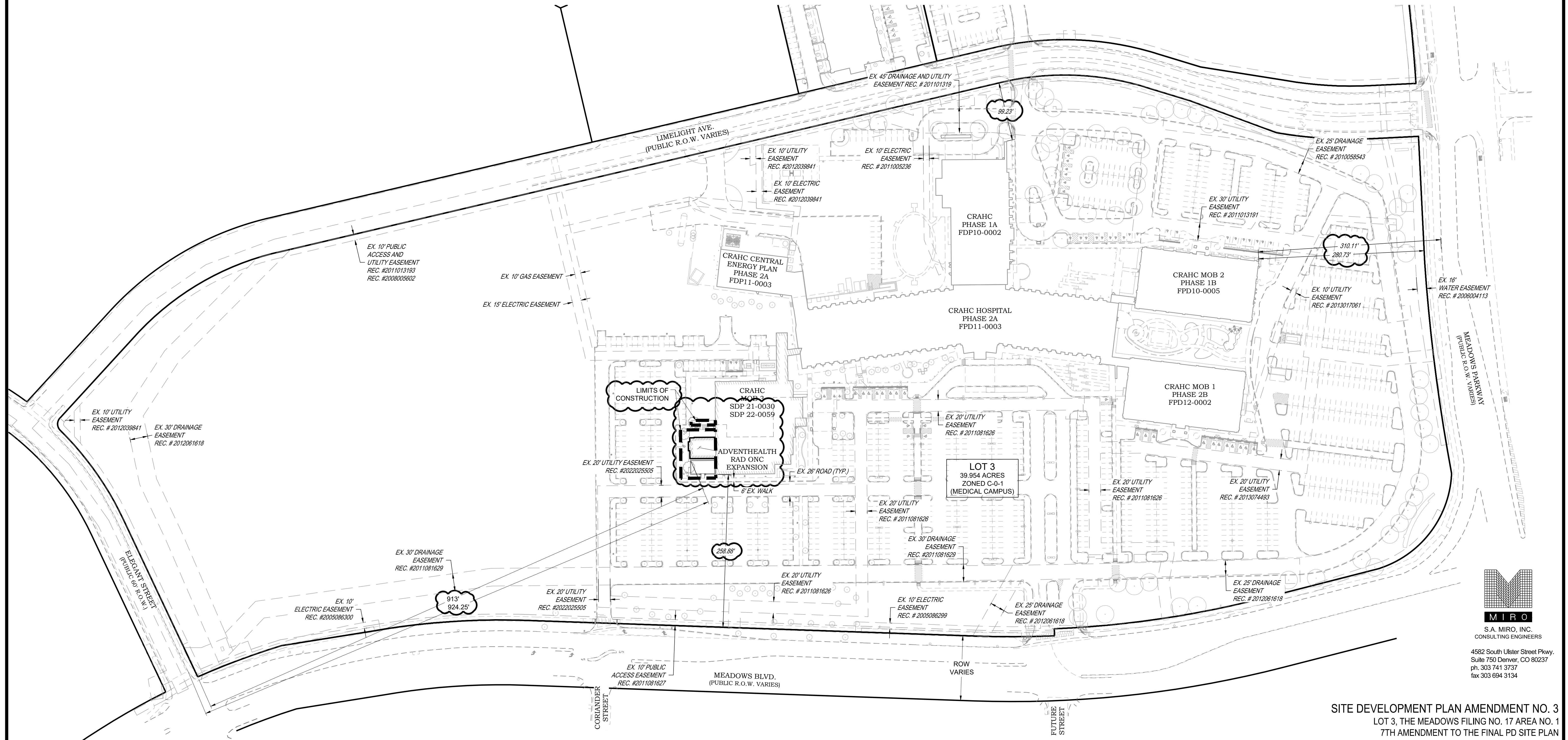
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KEYMAP
NTS



SCALE: 1" = 80'



S.A. MIRO, INC.
CONSULTING ENGINEERS
4582 South Ulster Street Pkwy.
Suite 750 Denver, CO 80237
ph. 303 741 3737
fax 303 694 3134

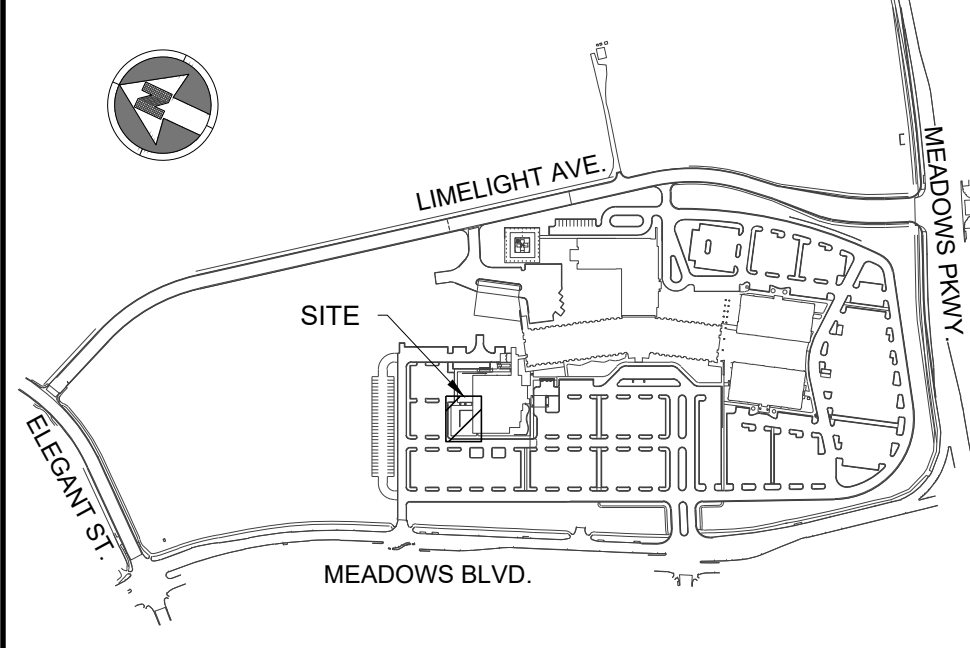
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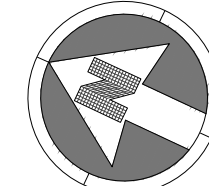
OVERALL SITE PLAN
SHEET 2 OF 8

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KEYMAP
NTS



10 0 10
SCALE: 1" = 10'

LEGEND:

PROPOSED	
	PROPERTY LINE
	SECTION LINE
	RIGHT OF WAY LINE
	CENTER LINE
	CURB AND GUTTER
	SIDEWALK
	WALL
	FENCE
	SIGN
	LIGHT
	TREE
EXISTING	
	CURB AND GUTTER
	SIDEWALK
	WALL
	FENCE
	SIGN
	LIGHT
	TREE

CRAHC
MOB 3

ADVENTHEALTH
RAD ONC
EXPANSION
1,605 SQ. FT.

0.09' NEW BLDG.
EXPANSION TO
EX. EASEMENT

46.19' EX. BLDG. TO EX. EASEMENT

43.75'

EX. 20' UTILITY EASEMENT
REC. NO. 2022025905

CONCRETE BAND
RE: LANDSCAPE

SEAT WALL
RE: LANDSCAPE

6' WALK

RELOCATED NO PARKING FIRE LANE SIGN

4' EX. WALK

6' EX. WALK

EX. 26' ROAD (TYP.)

EX. 20' UTILITY EASEMENT
REC. NO. 2022025905



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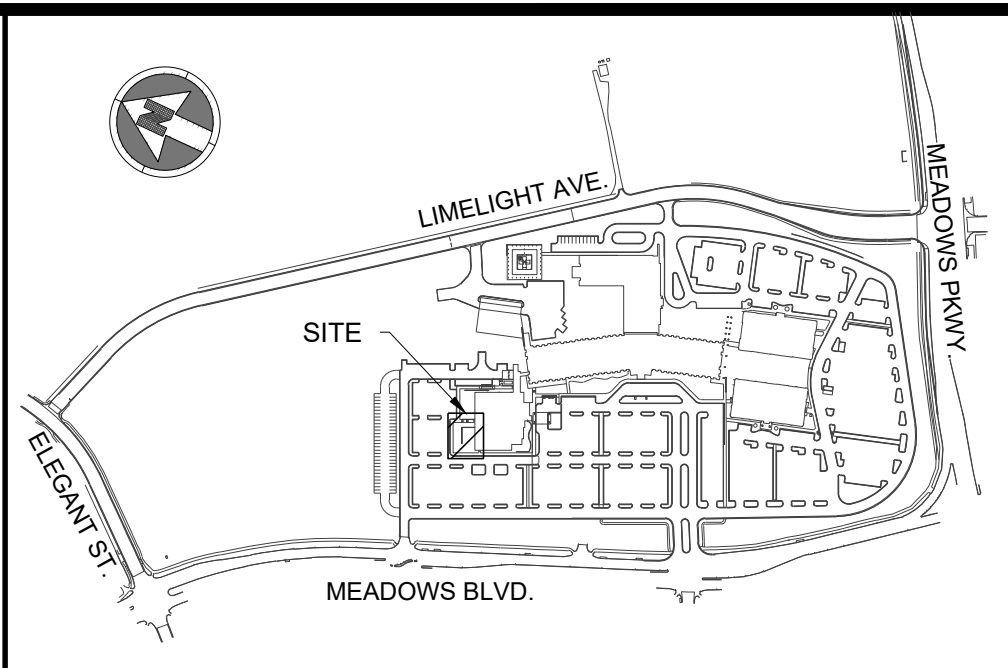
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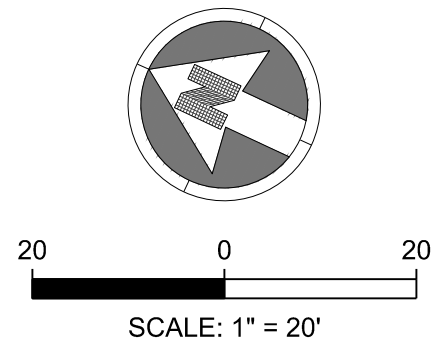
SITE PLAN
SHEET 3 OF 8

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NTS



- NOTES:
1. SITE GRADING (EXCAVATION, EMBANKMENTS, AND COMPACTION) SHALL CONFORM TO THE RECOMMENDATIONS OF THE LATEST GEOTECHNICAL REPORT FOR THIS PROPERTY.
 2. SPOT ELEVATIONS ARE TO FLOWLINE UNLESS NOTED OTHERWISE.
 3. MAXIMUM TEMPORARY SLOPES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND IN COMPLIANCE WITH OSHA REQUIREMENTS.

- LEGEND:
- 5343 EXISTING MINOR CONTOURS
 - 5345 EXISTING MAJOR CONTOURS
 - 43.50 EXISTING SPOT ELEVATION
 - 5343 PROPOSED MINOR CONTOURS
 - 5345 PROPOSED MAJOR CONTOURS
 - 43.50 PROPOSED SPOT ELEVATION
 - EX SD EXISTING STORM LINE
 - EXISTING STORM INLET
 - EXISTING STORM MANHOLE
 - PROPOSED STORM LINE
 - PROPOSED STORM INLET
 - PROPOSED STORM MANHOLE

- ABBREVIATIONS:
- ELEV. ELEVATION
 - EX EXISTING
 - FG FINISHED GRADE
 - FS FINISHED SURFACE
 - FL FLOWLINE
 - GB GRADE BREAK
 - HP HIGH POINT
 - INV. INVERT
 - LP LOW POINT
 - MH MANHOLE
 - PC POINT OF CURVATURE
 - PVC POLYVINYL CHLORIDE
 - RCP REINFORCED CONCRETE PIPE
 - RL RIDGE LINE
 - ROW RIGHT OF WAY
 - SD STORM DRAINAGE SEWER
 - STRM STORM SEWER
 - TW TOP OF WALL @ FINISHED GRADE
 - TYP. TYPICAL



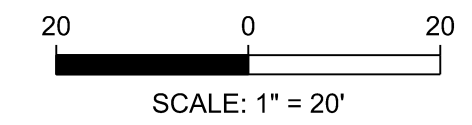
S.A. MIRO, INC.
CONSULTING ENGINEERS

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SITE DEVELOPMENT PLAN AMENDMENT NO. 3
LOT 3, THE MEADOWS FILING NO. 17 AREA NO. 1
7TH AMENDMENT TO THE FINAL PD SITE PLAN
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SDP26-0003
GRADING PLAN
SHEET 4 OF 8

LOT 3, THE MEADOWS FILING NO. 17, AREA NO. 1
7TH AMENDMENT TO THE FINAL PD SITE PLAN
QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO



SCALE: 1" = 20'

1. EXISTING 8" PVC STORM SEWER AND AREA DRAIN WITHIN RESERVED LINACOT BE CUT AND USED AS ROOF DRAIN CONNECTION FOR BUILDING
2. SANITARY SERVICE WILL BE ROUTED INTERNALLY TO THE EXISTING SERVICE LINE(S)
3. DOMESTIC WATER AND FIRE SPRINKLER SERVICES WILL BE INSTALLED AND CONNECTED TO EXISTING SERVICE LINES
4. PROTECT EXISTING FIRE HYDRANT AND LATERAL LINE DURING FOUNDATION DRAIN INSTALLATION. THE PUBLIC TOWN OF CASTLE ROCK FIRE HYDRANT AND PIPE CANNOT BE DAMAGED. THE EXISTING UTILITY EASEMENT IS NON-EXCLUSIVE.

1. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK MEADOWS YELLOW WATER PRESSURE ZONE.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. ALL UTILITY EASEMENTS TO CROSS WATERWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
4. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
6. ANY TIE-IN, CROSSING OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

			EX FE			EXISTING ELECTRICAL LINE
			EX FO			EXISTING FIBER OPTIC LINE
			EX G			EXISTING GAS LINE
			EX T			EXISTING TELEPHONE LINE
			EX SS			EXISTING SANITARY LINE
			EX SD			EXISTING STORM LINE
			EX W			EXISTING WATER LINE
						EXISTING EASEMENT

EXISTING STORM INLET

EXISTING CLEANOUT

EXISTING FIRE HYDRANT

EXISTING WATER VALVE

EXISTING MANHOLES



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TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SDP26-0003

UTILITY PLAN
SHEET 5 OF 8

SITE DEVELOPMENT PLAN AMENDMENT NO. 3

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7TH AMENDMENT TO THE FINAL PD SITE PLAN
QUARTER: NW; SECTION: 34, TOWNSHIP: 7; RANGE: 67
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

Gross Site Area	Required Landscape (10% of the gross site area)	Existing Landscape (Applicable)	(If Provided Landscape Area	Required Trees (2 trees / 1,000 sqft)	Provided Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs	Soil Prep Amounts (cu.yds. Per 1000 SF)
5,185	518	0	2,245	2	3	8	41	2
Turf Grass Square Footage (SF)*	Required Landscape Coverage Percentage (75% minimum)	Existing Landscape (Applicable)	Provided Landscape Coverage at Maturity (SF)	Required Nonliving Ornamental Percentage (25% maximum)	Provided Nonliving Ornamental Area in Landscape (SF)	Required Large Canopy Deciduous Tree (50% minimum)	Provided Large Canopy Deciduous Shade Tree	Separate Irrigation Service Connections
0	389	N/A	1,684	130	320	1	2	Yes No ☒

HARDSCAPE FINISHES

A		EXISTING CONCRETE SIDEWALK COLOR: GRAY PATCH & REPAIR AS NEEDED AS IMPACTED BY NEW CONSTRUCTION.	1,350 SF
B		CONCRETE SIDEWALK COLOR: INTEGRAL COLOR TBD FINISH: ACID ETCH SCORING PER PLAN	50 SF

HARDSCAPE FURNISHINGS

1		CONCRETE SEATWALL COLOR: GRAY TOP FINISH: SMOOTH SIDE FINISH: SANDBLAST SIZE: 2' WIDE x 2' WIDE x 18" TALL NOTE: ALL EDGES TO HAVE 1/2" CHAMFER	2 TOTAL
2		STEEL HEADER COLOR: BLACK SIZE: 1/4"	140 LF
3		CONCRETE MAINTENANCE / MOW EDGE COLOR: GRAY SIZE: 12" WIDE x 6" DEEP x 1/2" TALL	120 LF

TOPDRESSING MATERIALS

	MAINTENANCE EDGE 2" COBBLE MIN. 2" DEPTH PROVIDE FILTER FABRIC BELOW COLOR: TBD, MATCH EXISTING	320 SF
	TEMPORARY NATIVE GRASS AREAS TEMPORARY NATIVE GRASS SEED	885 SF
	PLANTING BEDS 4" MIN. DEPTH CEDAR WOOD MULCH CHIPS PROVIDE FILTER FABRIC BELOW	2,240 SF

TOTAL LANDSCAPE AREA: 3,445 SF

DECORATIVE BOULDERS

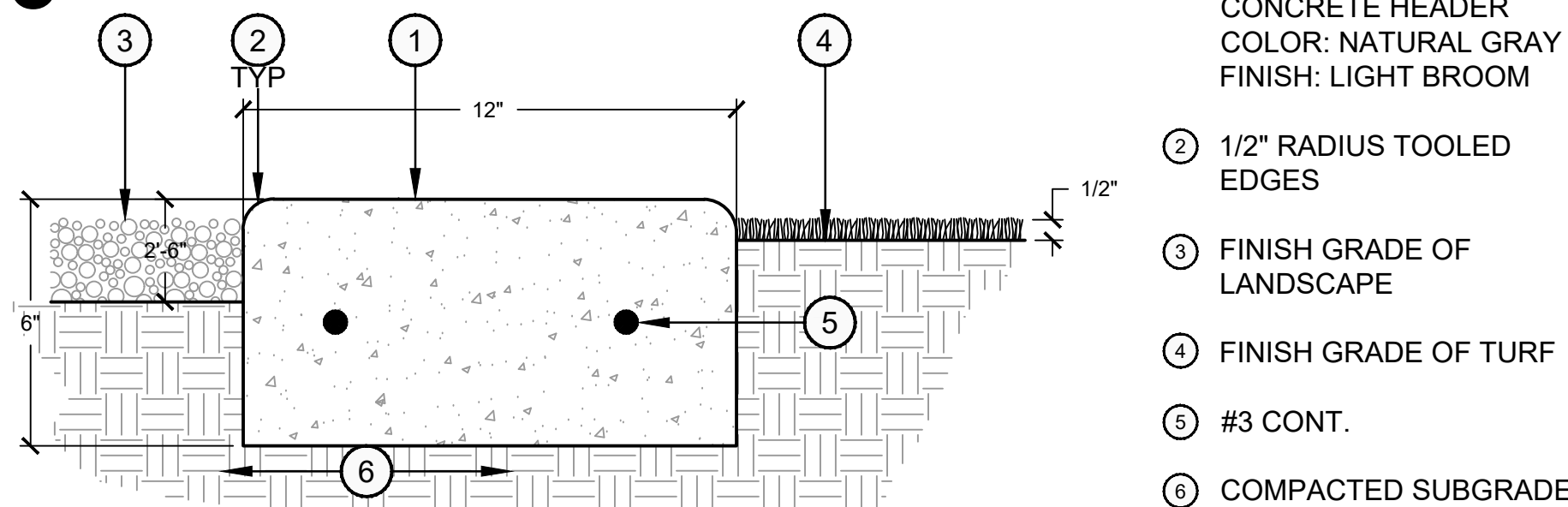
	2'x3'x3' TOTAL: 3		2'x2'x3' TOTAL: 3		2'x2'x2' TOTAL: 4
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TOWN OF CASTLE ROCK LANDSCAPE NOTES:

- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF TEN (10) FEET.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN ANY WET UTILITY AND DRAINAGE EASEMENTS.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDRO ZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- NONLIVING LANDSCAPE MATERIAL SUCH AS ROCK, STONE, BARK CHIPS, AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY INSTALLED, SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF TWO (2) INCHES FOR ROCK MULCH AND FOUR (4) INCHES FOR WOOD MULCH.
- PLANTS AND VEGETATION UNDER THE TOWN OF CASTLE ROCK'S PLANT LIST SHALL BE IN LINE WITH THE ADOPTED CWPP AND FIRE RESISTIVE VEGETATION FOR THE REGION TO MEET THE ADOPTED FIRE CODES BY THE TOWN OF CASTLE ROCK.
- AN IRRIGATION PLAN IS REQUIRED WITH THE SUBMITTAL OF THE CONSTRUCTION DOCUMENTS.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.

IRRIGATION NOTES

- CONNECT TO EXISTING IRRIGATION MAINLINE. VERIFY LOCATION IN FIELD.
- EXISTING 3" METER TO SERVE NEW SYSTEM.
- TREES, SHRUBS, AND NATIVE SEED TO BE ON SEPARATE VALVES.
- TREES AND SHRUBS TO BE ON DRIP IRRIGATION SYSTEM. NATIVE SEED TO BE TEMPORARILY ABOVE GROUND IRRIGATED AND REMOVED AT THE END OF THE APPROVED ESTABLISHMENT PERIOD.
- TREES ARE ONE HYDROZONE. SHRUBS/ GRASSES/ PERENNIALS ARE ONE HYDROZONE. NATIVE SEED IS ON ONE HYDROZONE.



CONCRETE MAINTENANCE / MOW EDGE

SCALE: 3"=1'-0"

LD-CONC-EDGE

- CAST-IN-PLACE CONCRETE SEATWALL
COLOR: NATURAL GRAY
FINISH: SMOOTH FINISH ON HORIZONTAL SURFACES AND MEDIUM SANDBLAST ON VERTICAL SURFACES
- #4 U-BAR AT 12" O.C., LAP & TIE ENDS
- #4 CONT. AT 12" O.C., TYP.
- #4 HORIZ. AT 12" O.C.
- 1/2" FIBER EXPANSION JOINT W/ TRAFFIC SEALANT WHERE CONCRETE PAVING OCCURS
- FINISHED GRADE
- COMPACTED SUBGRADE
- 1/4" RADIUS TOOLED EDGE

NOTE:
PROVIDE 1/2" V-CHANNEL CONTROL JOINTS AT CENTER OF EACH WALL. PROVIDE CONTROL JOINTS 20'-0" O.C.
PROVIDE MOCK-UP OF FULL HEIGHT X FULL WIDTH X 5'-0" MIN. LENGTH FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION. MOCK-UP(S) TO INCLUDE ALL FINISH AND JOINT TYPES.
PROVIDE SUBMITTAL OF JOINT LAYOUT FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.

CIP SEATWALL

SCALE: 1"=1'-0"

HD-SEATWALL

PLANT SCHEDULE

Please add values/quantities in the shaded areas

DECIDUOUS SHADE TREES	HYDROZONE	LOW	QUANTITY	2
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 2" INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GROUND.				
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 3" INCHES IN CALIPER WHEN IN A GRATE OR PLANTED IN AREAS LESS THAN EIGHT (8) FEET IN WIDTH.				
DECIDUOUS SHADE TREES	HYDROZONE	N/A	QUANTITY	0
ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" INCHES IN CALIPER, MEASURED SIX (6) INCHES ABOVE GROUND.				
EVERGREEN TREES	HYDROZONE	LOW	QUANTITY	1
EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, MEASURED TO THE MID-POINT OF THE MOST RECENT YEAR'S GROWTH.				
DECIDUOUS SHRUBS	HYDROZONE	LOW	QUANTITY	26
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE.				
EVERGREEN SHRUBS	HYDROZONE	LOW	QUANTITY	15
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE.				
ORNAMENTAL GRASSES	HYDROZONE	LOW	QUANTITY	37
ORNAMENTAL GRASSES SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE.				
PERENNIAL PLANTING BEDS	HYDROZONE	LOW	AREA	450 SF
PERENNIALS, GROUND COVERS, AND VINES SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER IN SIZE.				
ANNUAL PLANTING BEDS	HYDROZONE	N/A	AREA	0
ANNUALS SHALL BE SIZED SHALL BE APPROPRIATE TO APPLICATION, WHETHER FLATS, FOUR (4) INCH POTS OR LARGER AND SPACED TO PROVIDE SEVENTY-FIVE (75) PERCENT GROUND COVER.				
NATIVE SEED	HYDROZONE	LOW	AREA	885 SF
GRASS SEED PLANTING QUALITY AND QUANTITY IN IRRIGATED AREAS SHALL BE IN COMPLIANCE WITH NURSERY STANDARDS AND SHALL PROVIDE A MINIMUM GROUND COVER OF EIGHTY (80) PERCENT WITHIN THE FIRST GROWING SEASON.				
APPROVED NATIVE GRASS SEED MIXES: [Low Grow Mix/Foothills Mix/Colorado Native Mix]				

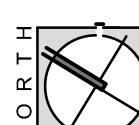
DUSTIN SIMMONS SMITHGROUP LANDSCAPE ARCHITECT
dustin.simmons@smithgroup.com

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SDP26-0003



Know what's below.
Call before you dig.

CALL PRIVATE UTILITY
LOCATOR TO LOCATE
PRIVATE UTILITIES

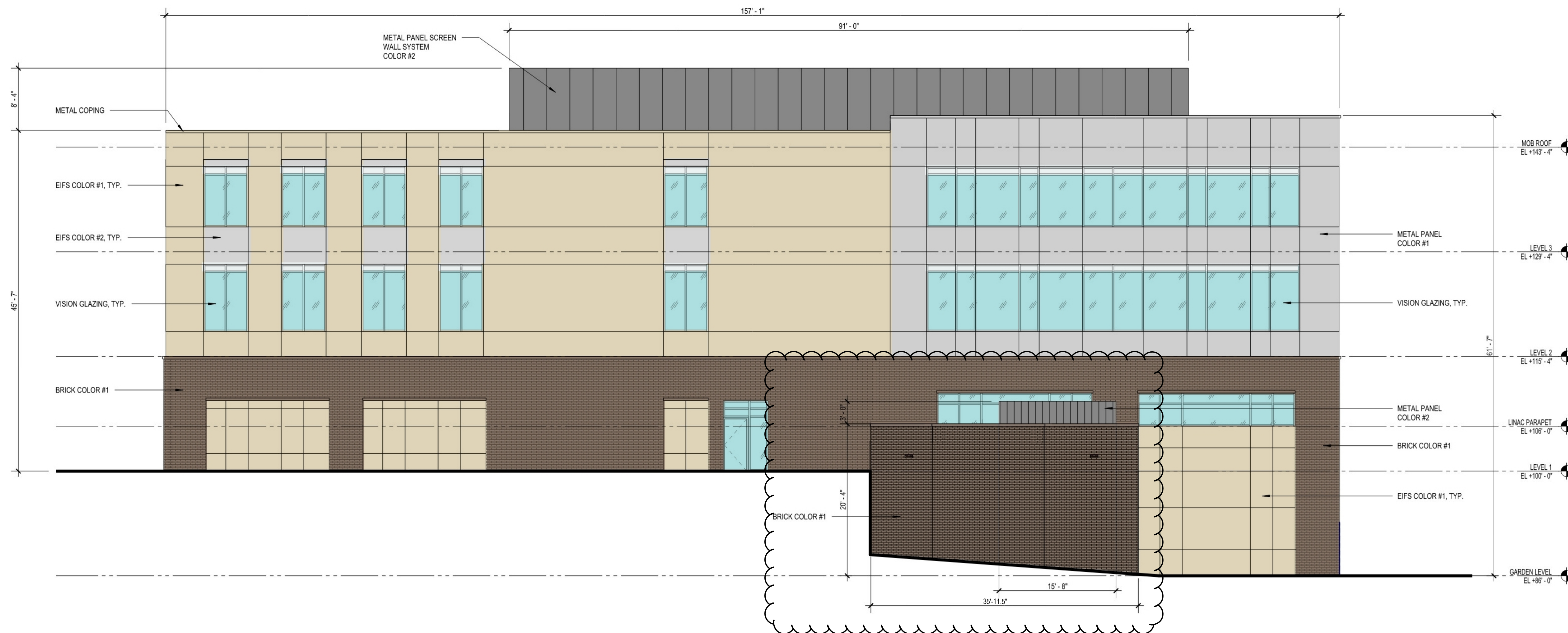


SCALE: 1"=10'-0"

LANDSCAPE PLAN
SHEET 6 OF 8

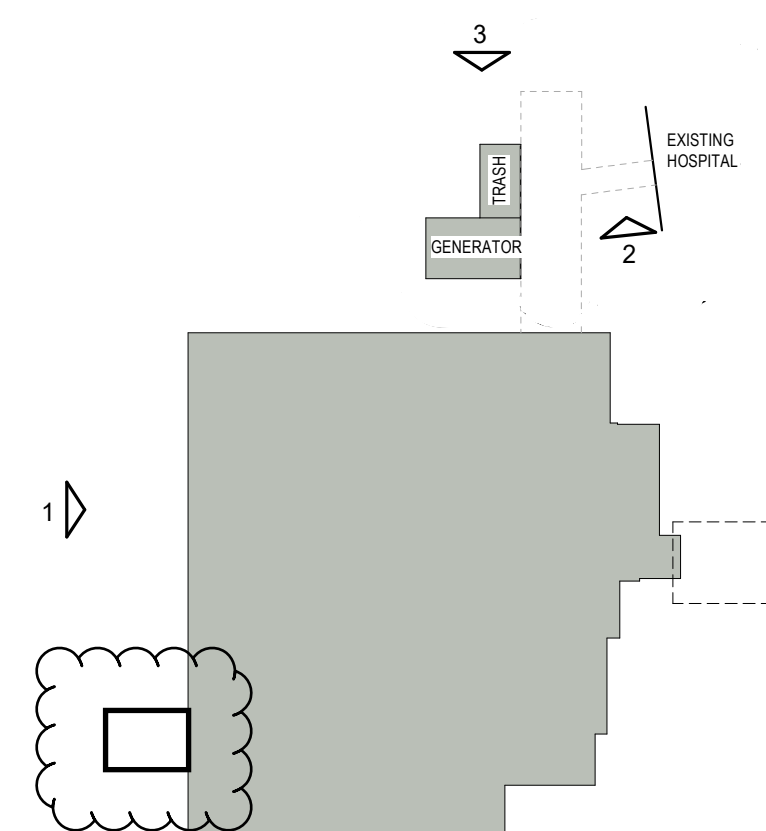
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1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND	
	EIFS (COLOR 1) LIGHT BEIGE
	EIFS (COLOR 2) LIGHT GREY
	STONE VENEER SYSTEM COLOR VARIES TO MATCH EXISTING HOSPITAL COLOR VARIATION
	BRICK (COLOR 1)
	VISION GLASS
	SPANDREL GLASS
	METAL PANEL COLOR #1 SANDSTONE
	METAL PANEL COLOR #2 CHAMPAGNE MTL.C.
*NOTE - METAL COPING COLOR TO MATCH ADJACENT FINISH COLOR	



ORIENTATION KEY PLAN

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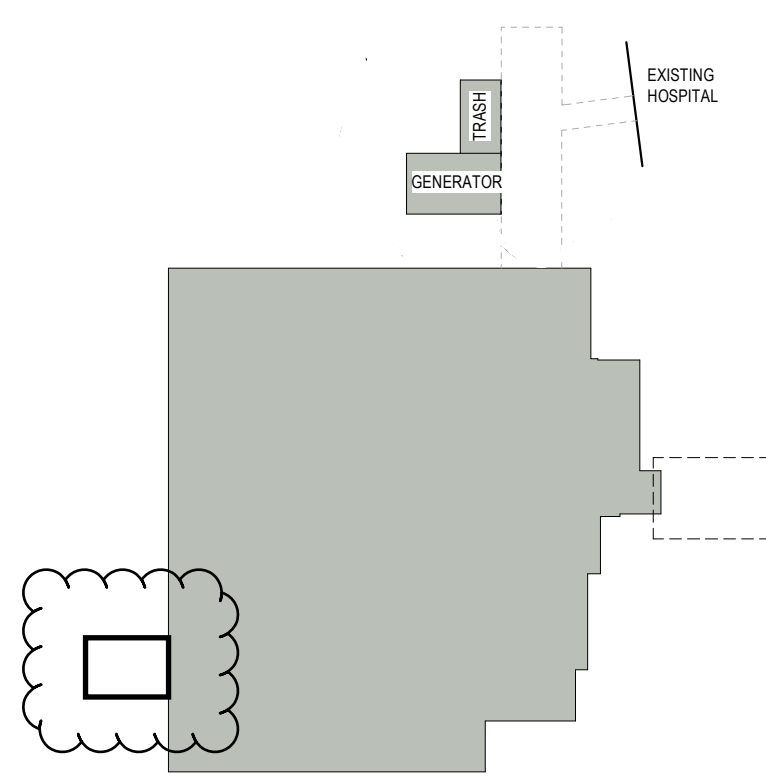
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1 WEST ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR MATERIAL LEGEND

- EIFS (COLOR 1) LIGHT BEIGE
 - EIFS (COLOR 2) LIGHT GREY
 - STONE VENEER SYSTEM COLOR VARIES, TO MATCH EXISTING HOSPITAL COLOR VARIATION
 - BRICK (COLOR 1)
 - VISION GLASS
 - SPANDREL GLASS
 - METAL PANEL COLOR #1 SANDSTONE
 - METAL PANEL COLOR #2 CHAMPAGNE MTL.C.
- *NOTE - METAL COPING COLOR TO MATCH ADJACENT FINISH COLOR



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