

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGAL DESCRIPTION

LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PURPOSE STATEMENT

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN AMENDMENT IS TO CONSTRUCT A METAL BUILDING AND PAVED PARKING.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

FRONT RANGE DEVELOPMENT COMPANY LLC

BY: _____ TITLE _____

SIGNED THIS _____ DAY OF _____, 20 _____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20 _____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS _____ DAY OF _____, 20 _____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20 _____ BY _____

AS AUTHORIZED REPRESENTATIVE OF _____.

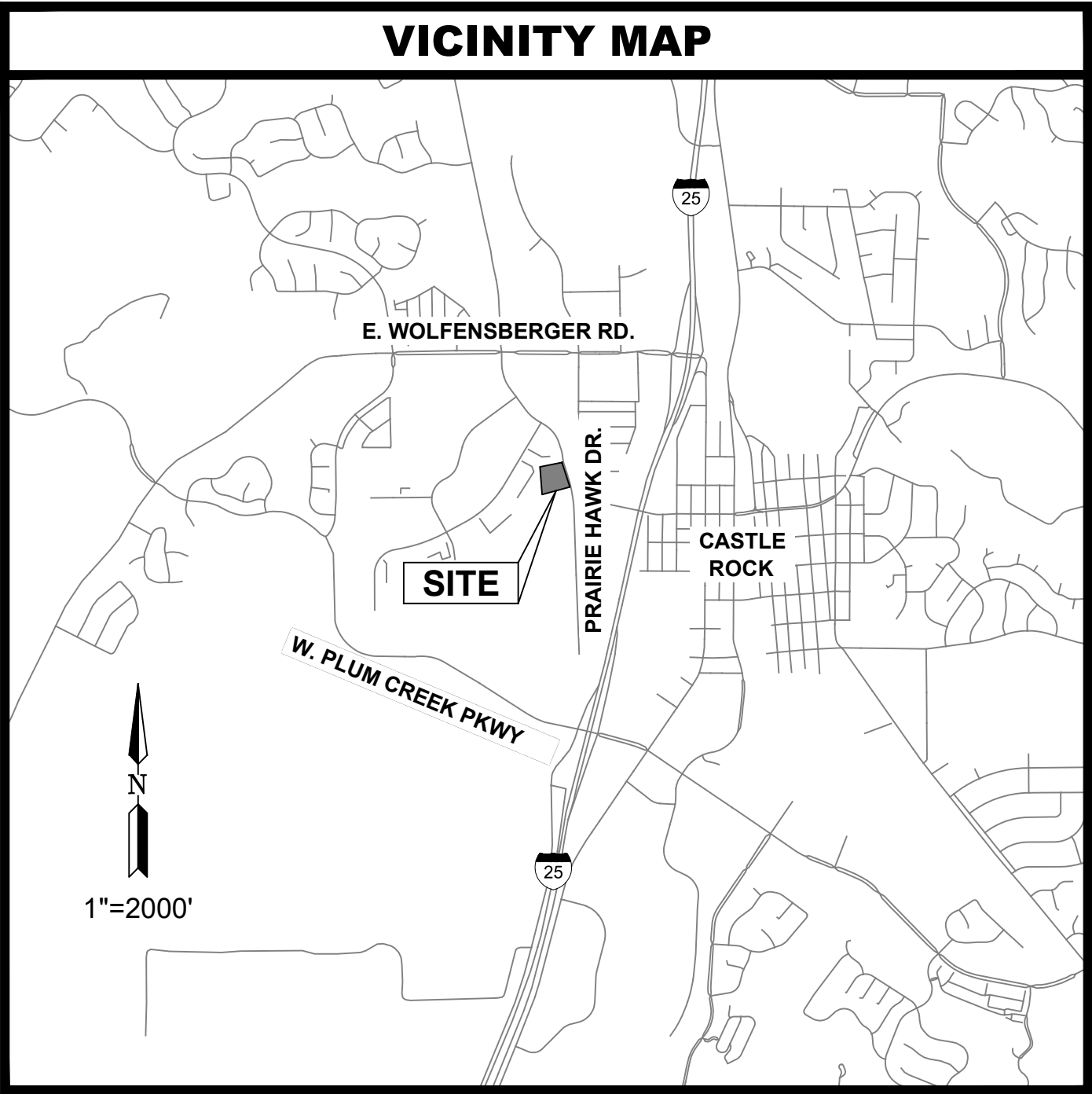
WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE CITADEL STATION FILING NO. 6, SIXTH AMENDMENT, SUBDIVISION IMPROVEMENTS AGREEMENT, RECORDED ON THE 27th DAY OF JANUARY, 1998 AT RECEPTION NO.9804852 AND ACCORDINGLY 2 SFE ARE DEBITED FROM THE WATER BANK.



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ZONING COMPARISON AND DEVELOPMENT STANDARDS		
ZONING DISTRICT	I-2 GENERAL INDUSTRIAL	
GROSS LOT SIZE	2.35 AC	
AREA OF THIS SITE DEV PLAN AMD. NO. 1	1.33 AC	
	REQUIRED/PERMITTED	PROPOSED
LAND USE	SEE CRMC SECTION 17.28	WAREHOUSING
MINIMUM SIDE YARD	0 FEET	20.0 FT
MINIMUM FRONT YARD	15 FEET FROM THE PROPERTY LINE	158.8 FT
MINIMUM REAR YARD	0 FEET	20.0 FT
MAXIMUM HEIGHT OF BUILDINGS	50 FEET	22.5 FT

SITE UTILIZATION TABLE			
	SQUARE FEET (SF)	ACRES (AC)	% OF TOTAL
GROSS LOT AREA	102,259	2.35	100%
AREA OF THIS SITE DEVELOPMENT PLAN			
AMD. NO. 1*	57,951	1.33	57%
*calculations below based on area of Amd. No. 1			
CATEGORY	SQUARE FEET (SF)	ACRES (AC)	% OF TOTAL
BUILDING COVERAGE	4,800	0.11	8%
PARKING/DRIVE/HARDSCAPE COVERAGE	16,020	0.37	28%
LANDSCAPED AREA	1,923	0.04	3%
DETENTION POND	5,657	0.13	10%
OPEN SPACE AREA	29,551	0.68	51%
TOTAL	57,951	1.33	100%

CIVIL ENGINEER'S STATEMENT

I, TODD WEST, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN AMENDMENT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

TODD WEST PE NO. #37643
2N CIVIL, LLC
6 INVERNESS CT EAST, SUITE 125
ENGLEWOOD, CO 80112
303.925.0544

DATE

SURVEYOR'S STATEMENT

I, ELIJAH FRANE, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

ELIJAH FRANE, PLS NO. 38376
ENCOMPASS SURVEY
10901 W. 120TH AVE, SUITE 400
BROOMFIELD, CO 80021
303.955.6080

DATE

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN AMENDMENT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20 _____.

DIRECTOR OF DEVELOPMENT SERVICES

DATE

COVER SHEET

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
PROJECT NO. SDP25-0020
OCTOBER 31, 2025
SHEET 1 OF 9

OWNER/APPLICANT

FRONT RANGE DEVELOPMENT COMPANY LLC
5863 KINGSFIELD ST
CASTLE ROCK, CO 80104
PH: 303.931.4669
CONTACT: JESSE GUTOWSKI, OWNER

ARCHITECT
DDESIGNS, LLC
PH: 303.570.6878
CONTACT: DUSTIN WERBACH

FLOODPLAIN NOTE

PORTIONS OF THE SURVEYED PROPERTY FALLS WITHIN ZONE 'AE' OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL MAP NO. 08035C0188G, DATED MARCH 16, 2016. ZONE 'AE' IS DEFINED AS AREAS WITH BASE FLOOD ELEVATIONS DETERMINED.

BENCHMARK

ELEVATIONS WERE DERIVED FORM A PROCESSED OPUS SOLUTION AND REPRESENT NAVD88 ELEVATIONS. A SITE BENCHMARK SHALL BE THE NORTHEAST CORNER OF LOT 1B, BEING A 1.25" YELLOW PLASTIC CAP, LS #30127, HAVING AN ELEVATION OF 6211.36'.

BASIS OF BEARING

BEARINGS ARE BASED UPON THE SOUTH LINE OF LOT 1B BETWEEN A FOUND 5/8" REBAR WITH NO CAP AND A SET 5/8" REBAR WITH ORANGE CAP STAMPED "38376" BEARING NORTH 66°49'08" EAST A DISTANCE OF 350.68 FEET.

CIVIL ENGINEER

2N CIVIL, LLC
6 INVERNESS CT E, SUITE 125
ENGLEWOOD, CO 80112
PH: 303.925.0544
CONTACT: TODD WEST, PE

SURVEYOR

ENCOMPASS SERVICES
10901 W 120TH AVE, SUITE 400
BROOMFIELD, COLORADO 80021
PH: 303.955.6080
CONTACT: ELIJAH FRANE, PLS

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

SITE DEVELOPMENT PLAN GENERAL NOTES

1. APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
2. THIS SITE IS ZONED I-2 GENERAL INDUSTRIAL.
3. THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 08035C0188G DATED MARCH 16, 2016. PORTIONS OF THE PROPERTY ARE LOCATED WITHIN A DESIGNATED 100-YEAR FLOODPLAIN ZONE AE.
4. IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT.
5. RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY THE HOA OR METRO DISTRICT.
6. THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
7. PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN, LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
8. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
9. THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
10. A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS.
11. ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
12. THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
13. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOW LINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
14. ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
15. UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
16. ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
17. NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
18. ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS.

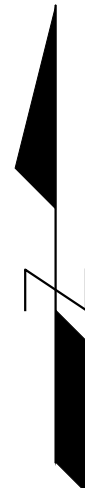
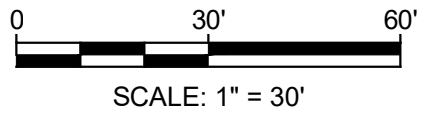
FIRE NOTES

1. IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
2. FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
3. IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
4. ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
5. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
6. DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
7. FIRE APPARATUS ACCESS ROADS SHALL HAVE AN **UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET**, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN **UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES**.
8. FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 88,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
9. "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE CASTLE ROCK FIRE DEPARTMENT. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
10. "FIRE LANE NO PARKING" CURB MARKING. ALL DESIGNATED LANES SHALL BE ACCOMPANIED WITH CURB MARKINGS IN A WEATHER RESISTANT RED PAINT. REFLECTIVE PAINT MAY BE USED FOR HIGHER VISIBILITY. CURBING SHALL BE LABELED, "NO PARKING -FIRE LANE" IN ALL UPPER CASE LETTERS. LETTERING SHALL BE NO LESS THAN THREE (3") INCHES HIGH WITH WHITE LETTERING ON A RED BACK GROUND AND PLACED ON THE FACE AND TOP OF THE CURB. LETTERING SHALL BE LOCATED NO MORE THAN FIFTY (50') APART AND WITHIN FIVE FEET OF THE BEGINNING AND END OF ANY FIRE LANE.
11. THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE **TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) OR COMMUNITY WILDFIRE PROTECTION PLAN (CWPP)** THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

NOTES

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LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
PROJECT NO. SDP25-0020
OCTOBER 15, 2025
SHEET 2 OF 9

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



- LEGEND**
- EXISTING ASPHALT
 - PROPOSED BUILDING
 - PROPOSED ASPHALT
 - PROPOSED GRAVEL
 - EFFECTIVE 100-YR FLOODPLAIN
 - CORRECTED EFFECTIVE 100-YR FLOODPLAIN
 - PROPOSED 100-YR FLOODPLAIN
 - PROPERTY LINE
 - RIGHT-OF-WAY
 - ADJACENT PROPERTY LINE
 - EXISTING EASEMENT
 - PROPOSED EASEMENT
 - EXISTING FENCE
 - EXISTING GUARDRAIL
 - EXISTING FIRE HYDRANT
 - PARKING COUNT

PROVIDE TRANSFORMER AND EUSERC CABINET LOCATION

Transformer and EUSERC cabinet locations revised and shown on this plan.

TWO EXISTING CORE CUBICALS ARE IMPACTED BY THE DRIVEWAY CUT AND DRAINAGE WILL REQUIRE RELOCATION TO AVOID FLOODING CUBICALS

Cubicals are located on upstream side of culvert that is sized for major storm.

CORE HAS EXISTING UG FACILITIES THAT HAVE BEEN IMPACTED BY DRIVEWAY CUT. WILL REQUIRE TO BE LOWERED

Driveway cut is entirely in fill.

BENCHMARK
ELEVATIONS WERE DERIVED FORM A PROCESSED OPUS SOLUTION AND REPRESENT NAVD88 ELEVATIONS. A SITE BENCHMARK SHALL BE THE NORTHEAST CORNER OF LOT 1B, BEING A 1.25" YELLOW PLASTIC CAP, LS #30127, HAVING AN ELEVATION OF 6211.36'.

BASIS OF BEARINGS
BEARINGS ARE BASED UPON THE SOUTH LINE OF LOT 1B BETWEEN A FOUND 5/8" REBAR WITH NO CAP AND A SET 5/8" REBAR WITH ORANGE CAP STAMPED "38376" BEARING NORTH 66°49'08" EAST A DISTANCE OF 350.68 FEET.

2N CIVIL

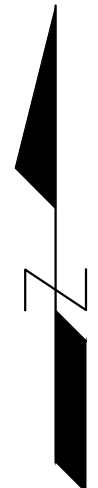
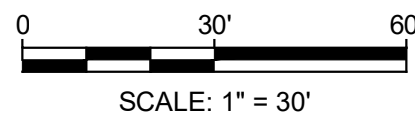
Prepared by:
2N Civil, LLC
6 Inverness Court E, Suite 125
Englewood, Colorado 80112
Ph. 303.925.0544
www.2ncivil.com

GENERAL SITE PLAN
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SHEET 3 OF 9

SIGHT TRIANGLES		
TYPE:	SIZE:	RESTRICTIONS:
INTERSECTION SAFETY - DRIVEWAYS/ALLEYS	15' LEG x 15' LEG	WITHIN THESE SAFETY TRIANGLES THERE SHALL BE NO SOLID OBJECTS BETWEEN TWO AND ONE-HALF (2½) FEET AND TEN (10) FEET ABOVE STREET ELEVATION
AASHTO ROADWAY (PRIVATE DRIVE)	PRAIRIE HAWK DR POSTED AT 30 MPH TRAFFIC FROM LEFT: 335' LEG TRAFFIC FROM RIGHT: 390' LEG 10' BEHIND EDGE OF LANE	NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET

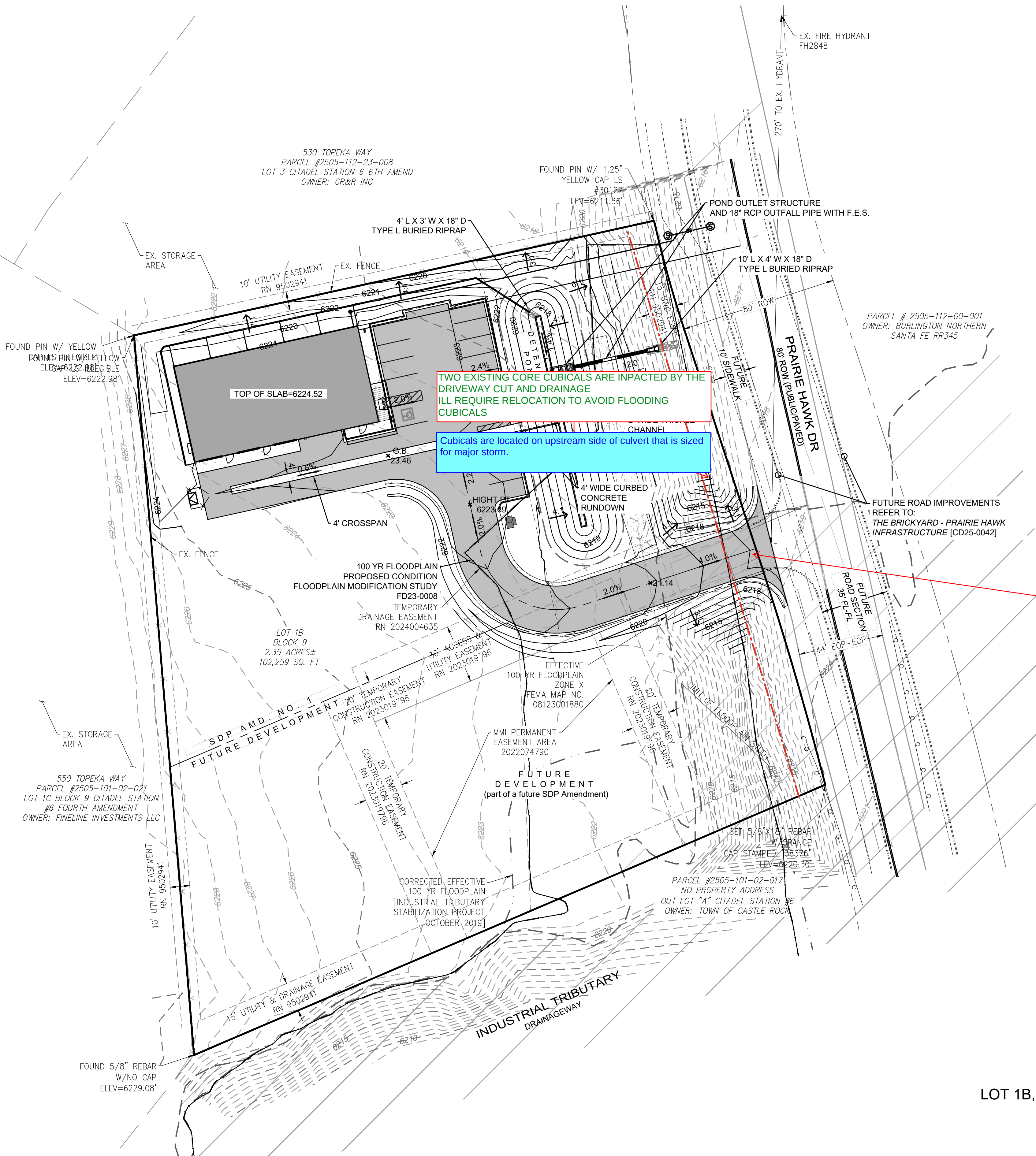
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

	EXISTING ASPHALT
	PROPOSED BUILDING
	PROPOSED ASPHALT
	PROPOSED GRAVEL
	PROPOSED RIPRAP
	EFFECTIVE 100-YR FLOODPLAIN
	CORRECTED EFFECTIVE 100-YR FLOODPLAIN
	PROPOSED 100-YR FLOODPLAIN
	PROPERTY LINE
	RIGHT-OF-WAY
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FENCE
	EXISTING GUARDRAIL
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM SEWER PIPE
	PROPOSED FLOW LINE
	EXISTING WATER MAIN
	EXISTING WATER MANHOLE
	EXISTING RAW WATER LINE
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING FIBER OPTIC VAULT LID
	EXISTING COMM PEDESTAL



BENCHMARK
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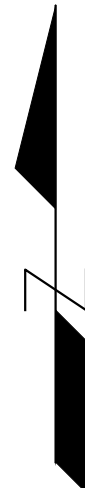
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GENERAL GRADING PLAN
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SHEET 4 OF 9

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

0 30' 60'
SCALE: 1" = 30'



LEGEND

	EXISTING ASPHALT
	PROPOSED BUILDING
	PROPOSED ASPHALT
	PROPOSED GRAVEL
	PROPOSED RIPRAP
	EFFECTIVE 100-YR FLOODPLAIN
	CORRECTED EFFECTIVE 100-YR FLOODPLAIN
	PROPOSED 100-YR FLOODPLAIN
	PROPERTY LINE
	RIGHT-OF-WAY
	ADJACENT PROPERTY LINE
	EXISTING EASEMENT
	PROPOSED EASEMENT
	EXISTING FENCE
	EXISTING GUARDRAIL
	PROPOSED SANITARY SERVICE & CLEANOUT
	PROPOSED DOMESTIC WATER SERVICE
	PROPOSED RCP STORM SEWER PIPE
	PROPOSED HDPE STORM SEWER PIPE
	PROPOSED FLOW LINE
	EXISTING RCP STORM SEWER PIPE
	EXISTING WATER MAIN
	EXISTING WATER MANHOLE
	EXISTING RAW WATER LINE
	EXISTING SANITARY SEWER & MANHOLE
	EXISTING GAS LINE
	EXISTING FIBER OPTIC LINE
	EXISTING FIBER OPTIC VAULT LID
	EXISTING COMM PEDESTAL

UTILITY NOTES:

1. THIS SITE IS LOCATED WITHIN THE TOWN OF CASTLE ROCK YELLOW WATER PRESSURE ZONE.
2. ALL PROPOSED EASEMENTS MUST BE RECORDED PRIOR TO ISSUANCE OF CONSTRUCTION PERMITS.
3. ALL UTILITY EASEMENTS FOR WATER AND WASTEWATER LINES SHALL BE FOR THE EXCLUSIVE USE OF THE TOWN SO THAT ACCESS AND MAINTENANCE MAY BE PERFORMED.
4. THE MINIMUM SEPARATION BETWEEN WATERLINES, SANITARY SEWER AND STORM SEWER LINES IS 10 FEET.
5. THE MINIMUM SEPARATION BETWEEN WATER SERVICE LINES IS 5 FEET.
6. ANY TIE-IN, CROSSING OR LOWERING OF TOWN CRITICAL INFRASTRUCTURE WILL REQUIRE A TIME AND MATERIALS PERMIT (TMU) WITH FEES REQUIRED PRIOR TO CONSTRUCTION.

BENCHMARK

ELEVATIONS WERE DERIVED FROM A PROCESSED OPUS SOLUTION AND REPRESENT NAVD88 ELEVATIONS. A SITE BENCHMARK SHALL BE THE NORTHEAST CORNER OF LOT 1B, BEING A 1.25" YELLOW PLASTIC CAP, LS #30127, HAVING AN ELEVATION OF 6211.36'.

BASIS OF BEARINGS

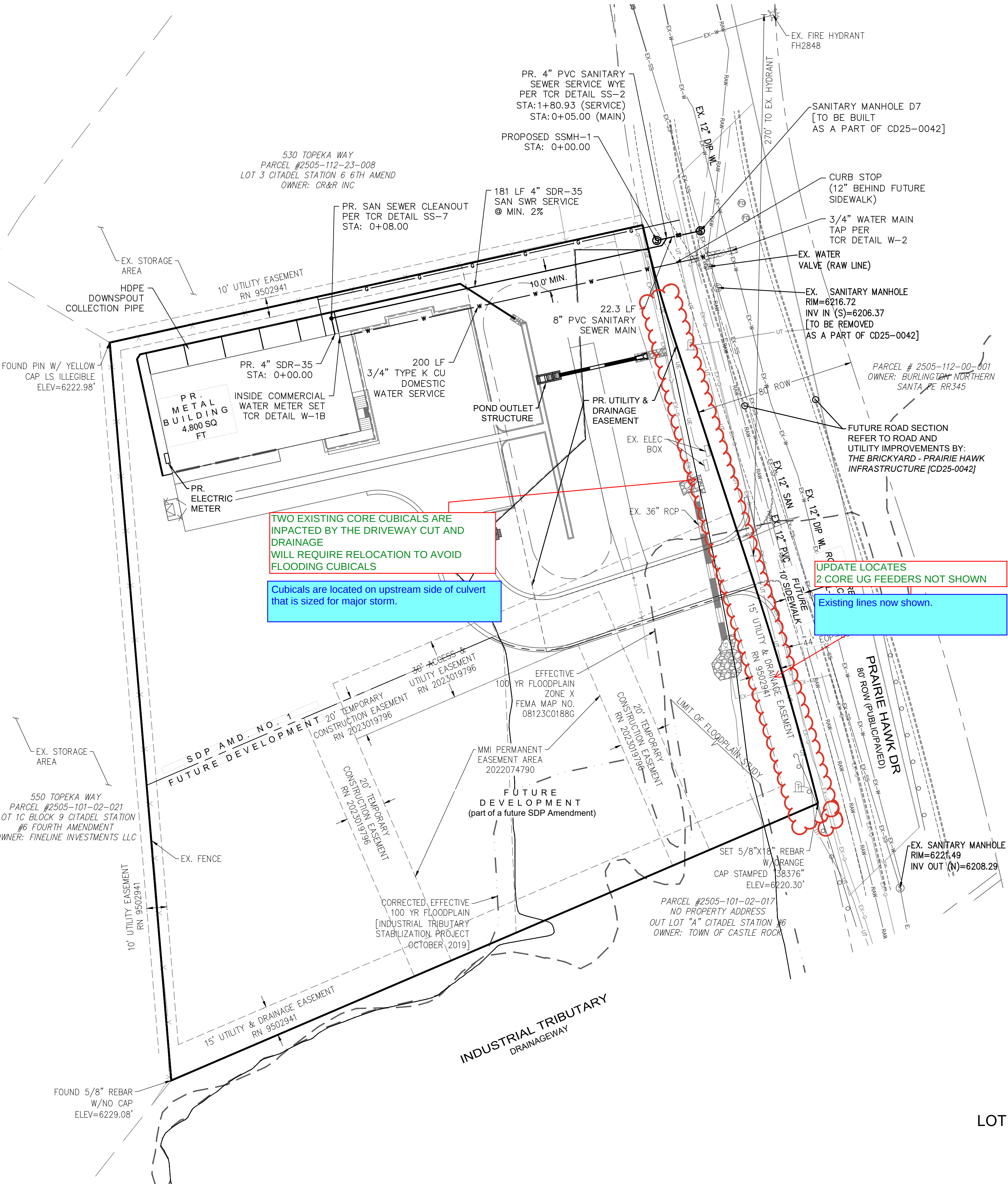
BEARINGS ARE BASED UPON THE SOUTH LINE OF LOT 1B BETWEEN A FOUND 5/8" REBAR WITH NO CAP AND A SET 5/8" REBAR WITH ORANGE CAP STAMPED "38376" BEARING NORTH 66°49'08" EAST A DISTANCE OF 350.68 FEET.



Prepared by:
2N Civil, LLC
6 Inverness Court E. Suite 125
Englewood, Colorado 80112
Ph. 303.925.0544
www.2ncivil.com

GENERAL UTILITY PLAN

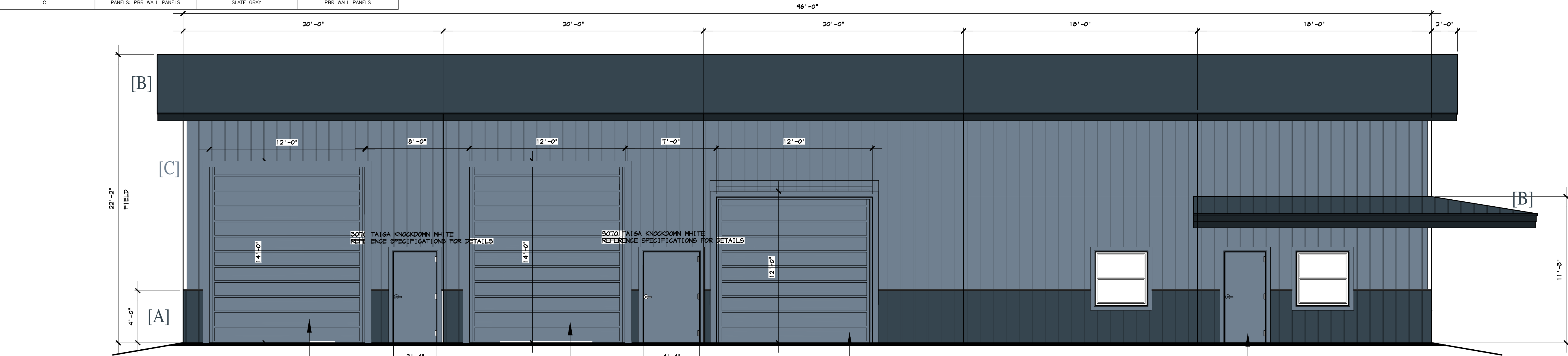
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
PROJECT NO. SDP25-0020
OCTOBER 31, 2025
SHEET 5 OF 9



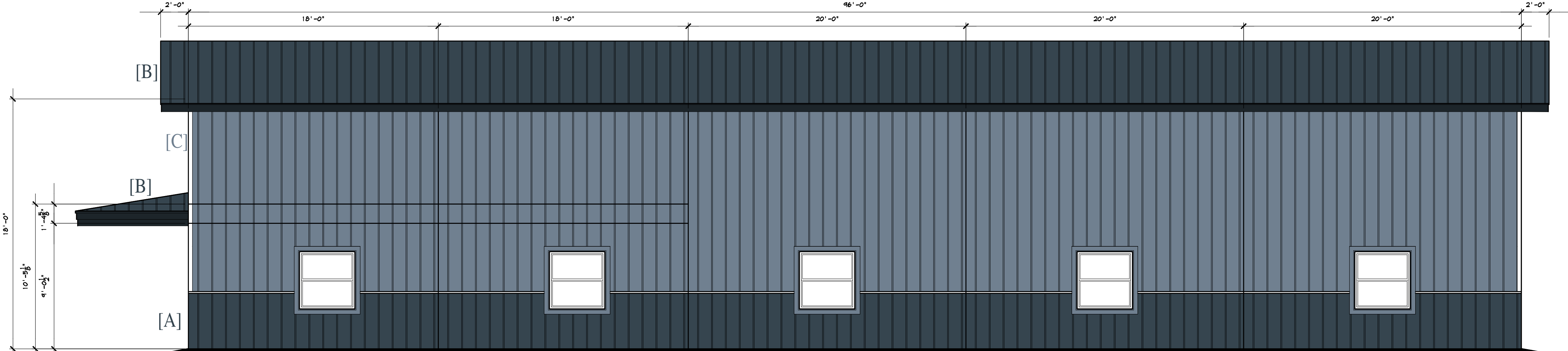
SITE DEVELOPMENT PLAN, AMENDMENT NO. 1

LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
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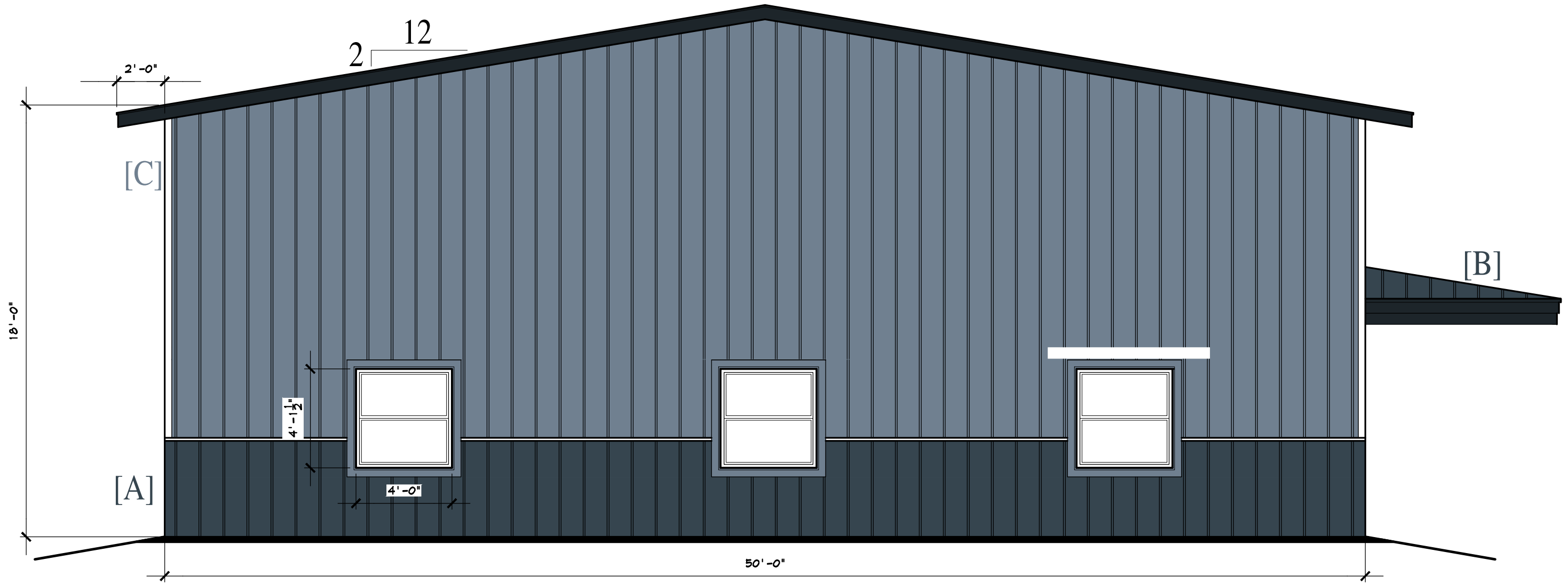
MATERIALS KEY			
KEY	MATERIAL DESCRIPTION	COLOR/FINISH	MANUFACTURER / PRODUCT
A	PANELS: 26GA AWP - CHARCOAL GRAY	CHARCOAL GRAY	AWP
B	ROOF PANELS: PBR PANELS	CHARCOAL GRAY	PBR ROOF SYSTEMS
C	PANELS: PBR WALL PANELS	SLATE GRAY	PBR WALL PANELS



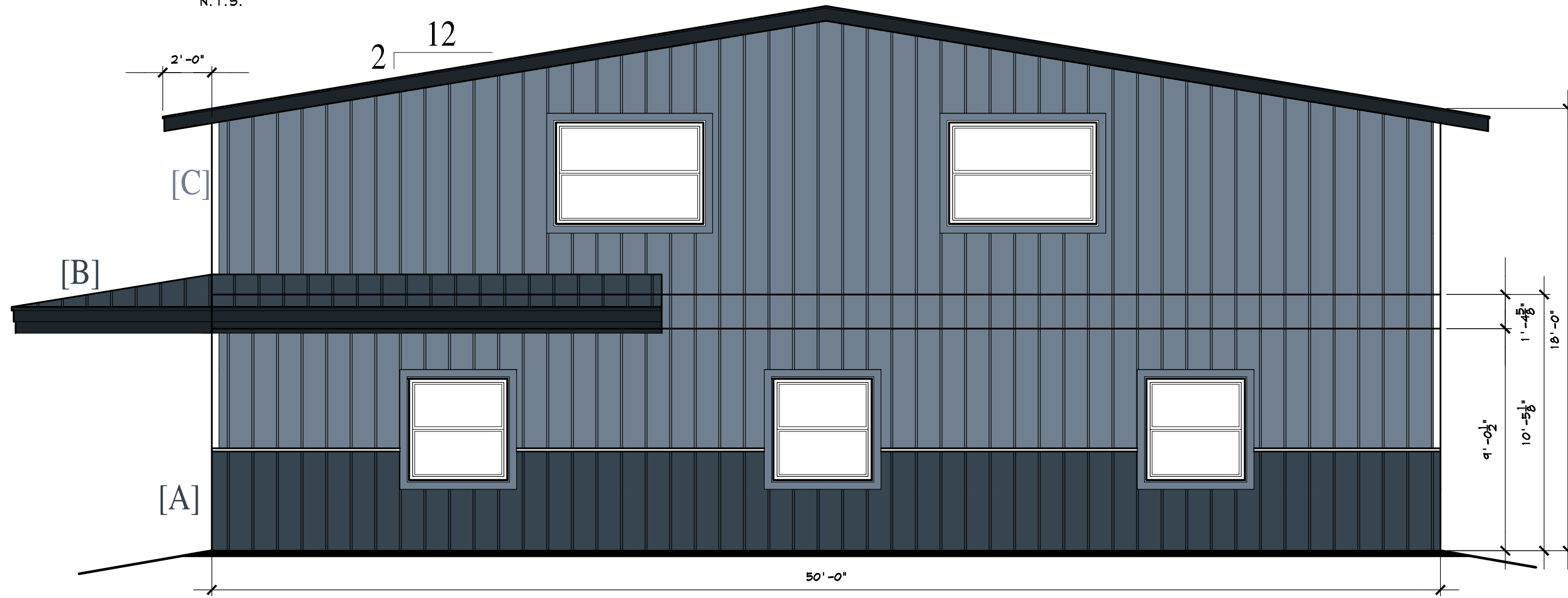
FRONT ELEVATION
N.T.S.



REAR ELEVATION
N.T.S.



LEFT ELEVATION
N.T.S.



RIGHT ELEVATION
N.T.S.

WINDOW SCHEDULE			
MARK	SIZE	PRODUCT SPECIFICATIONS	QUANTITY
W-1	48" X 48" (600)	GLIPP INTELLIGENT FOR SERIES	13
W-2	72" X 48" (600)	GLIPP INTELLIGENT FOR SERIES	2

BUILDING ELEVATIONS

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
PROJECT NO. SDP25-0020
OCTOBER 31, 2025
SHEET 6 OF 9

LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
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TREE PLANTING



SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
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PROJECT NO. SDP25-0020
NOVEMBER 10, 2025
SHEET 7 OF 9

SITE DEVELOPMENT PLAN, AMENDMENT NO. 1
LOT 1B, BLOCK 9, CITADEL STATION FILING 6, FOURTH AMENDMENT
LOCATED IN THE NORTHWEST ONE-QUARTER OF SECTION 11, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
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LANDSCAPE ARCHITECT'S CERTIFICATION:
I HEREBY CERTIFY THAT THIS LANDSCAPE PLAN WAS PREPARED
BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A
DULY LICENSED LANDSCAPE ARCHITECT UNDER THE LAWS OF
THE STATE OF COLORADO.
SIGNATURE: *Matthew G. Corrion*
TYPED OR PRINTED NAME: Matthew G. Corrion
DATE: 11-10-2025 LICENSE NUMBER: #115

LANDSCAPE PLAN

LANDSCAPE LEGEND

(SEE SHEET 7 FOR FULL PLANT LIST)



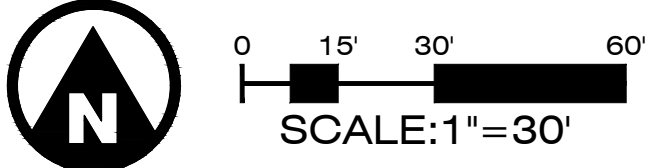
PROVIDE TRANSFORMER AND EUSERC CABINET LOCATIONS
MEET CORE CLEARANCE REQUIREMENTS

Transformer and EUSERC cabinet locations revised and shown on this plan and meet
CORE clearance requirements.

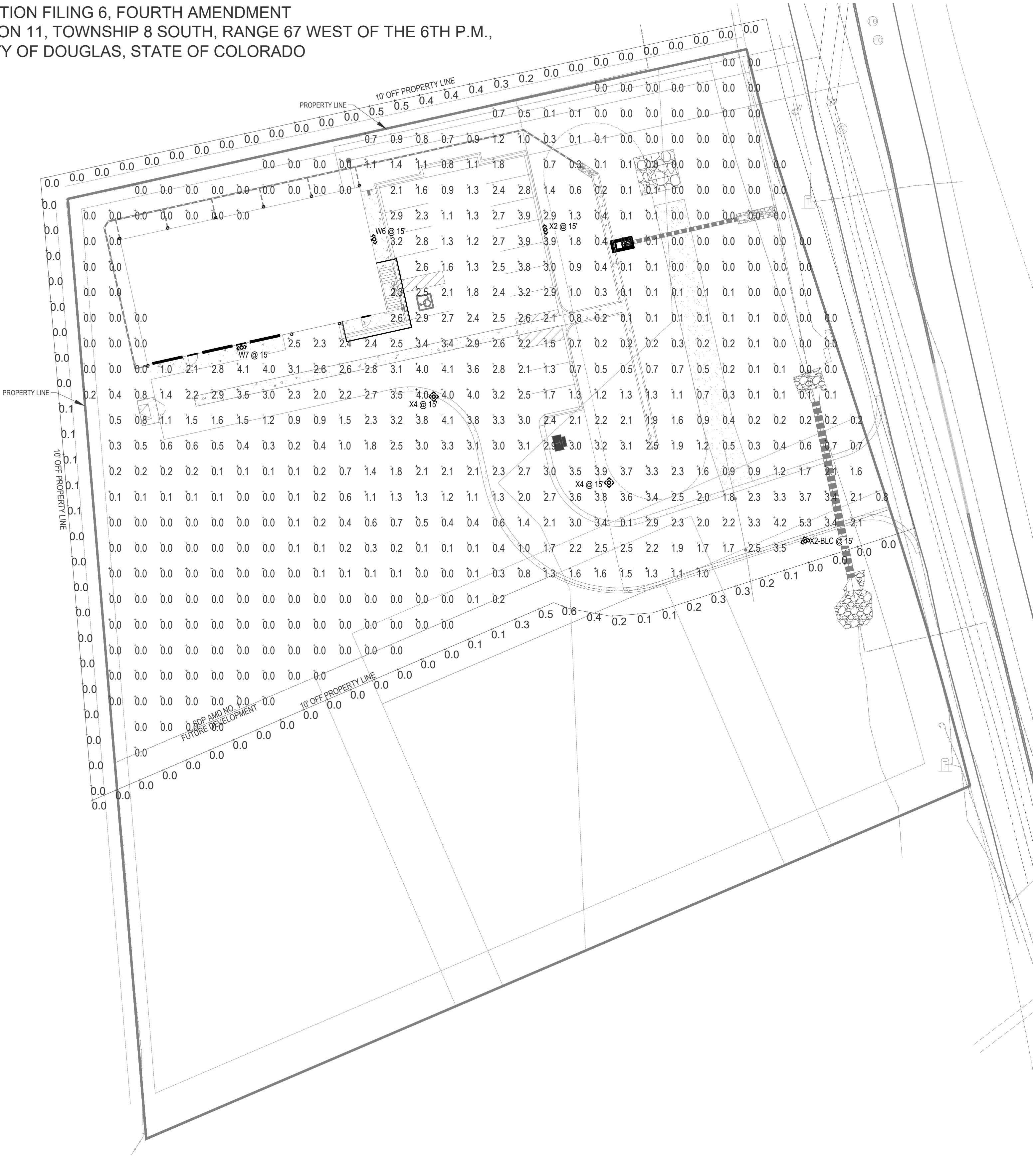
No landscaping is located on
west side of existing cubicals
where doors are located.
Clearances met on sides/rear of
cubicals.

HYDROZONE LEGEND

- LOW HYDRO ZONE**
DRIP IRRIGATED PLANTING BEDS
(PERMANENT IRRIGATION)
4,761 SF
- LOW HYDRO ZONE**
NON-IRRIGATED NATIVE SEED
32,131 SF
- LOW HYDRO ZONE**
NON-IRRIGATED NATIVE SEEDING
5,186 SF



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LIGHTING STANDARD NOTES

1. LIGHT LOSS FACTOR IS 1
2. ALL LUMINAIRES SHALL OPERATE FROM DUSK TO DAWN. LUMINAIRES SHALL BE CONTROLLED BY INTEGRAL PHOTOCELLS AND TIMECLOCK. LUMINAIRES SHALL DIM TO 50% WITHIN ONE HOUR AFTER END OF BUSINESS AND SHALL OPERATE AS SUCH UNTIL ONE HOUR PRIOR TO COMMENCEMENT OF BUSINESS HOURS.
3. LIGHTING IN THE PARKING AREA AND DRIVE AISLE IS PROVIDED FOR SAFETY OF BUILDING OCCUPANTS USING THE PARKING AREA AND TO COMPLY WITH INTERNATIONAL BUILDING CODE MINIM LIGHT LEVELS.
4. LIGHT TRESSPASS MITIGATION IS ACCOMPLISHED WITH FULL CUTOFF FIXTURES AND BACKLIGHT CONTROL IN THE CASE OF LUMINAIRES AT THE PROPERTY LINE.
5. EXTERIOR LIGHTING FOR EGRESS TRAVEL (TO THE PUBLIC WAY OR EGRESS COURT) SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.
6. FORWARD THROW LUMINAIRES: THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW LUMINAIRES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FAÇADE, AND UNSHIELDED WALL PACKS ARE PROHIBITED.



Calculation Summary			List the Use Area / Zone Type				
Label	Calc Type	Units	Average	Min	Max	AVG Min	Max
DRIVE AISLE	POINT-BY-POINT	FC	3.15 FC	0.8 FC	5.3 FC	6.63	
PARKING AREA	POINT-BY-POINT	FC	2.32 FC	0.8 FC	3.9 FC	5.57	

Site Luminary Summary Table																		
Luminaire													Lamps					
ID/ Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp/CRI	Light loss factor	Fixture Finish
W6 <Q>	LITHONIA	DSXW1	P6 35K 80CRI T2M	WALL MOUNTED FIXTURE	Y	TYPE 2	MVOLT	0-10V	1	WALL	15'	1	LED	48	6520	3500K	1	BY ARCH
W7 <Q>	LITHONIA	DSXW1	P7 35K 80CRI T2M	WALL MOUNTED FIXTURE	Y	TYPE 2	MVOLT	0-10V	1	WALL	15'	1	LED	73	9323	3500K	1	BY ARCH
X2-BLC <Q>	LITHONIA	DSX1	P2 35K 80CRI BLC3	POLE FIXTURE WITH BACKLIGHT CONTROL	Y	TYPE 3	MVOLT	0-10V	1	POLE	15'	1	LED	68	6387	3500K	1	BY ARCH
X2 <Q>	LITHONIA	DSX1	P2 35K 80CRI T2M	POLE MOUNTED FIXTURE	Y	TYPE 2	MVOLT	0-10V	1	POLE	15'	1	LED	68	8681	3500K	1	BY ARCH
X4 <Q>	LITHONIA	DSX1	P4 35K 80CRI T5M	POLE MOUNTED FIXTURE	Y	TYPE 5	MVOLT	0-10V	2	POLE	15'	1	LED	124	15057	3500K	1	BY ARCH

1 PHOTOMETRIC PLAN
SCALE: 1" = 25'-0"

c:\bent\landmark\engineering\drawings\p3\file2025\SDP2 - prairie hawk\DWG\CE\sheet set\PI\PHOTOMETRIC PL.dwg