

SITE DEVELOPMENT PLAN

LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

GENERAL NOTES:

- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
- THIS SITE IS ZONED MEADOWS FOURTH AMENDMENT - PLANNED DEVELOPMENT
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THIS SITE DEVELOPMENT PLAN.
- RETAINING WALLS, SECTIONS OF RETAINING WALLS GREATER THAN 4-FEET IN HEIGHT AS MEASURED FROM THE BOTTOM OF THE FOOTING TO THE TOP OF THE WALL, AND RETAINING WALLS, REGARDLESS OF HEIGHT, WHICH RETAIN A SURCHARGE OR TIERED WALLS MUST BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED IN THE STATE OF COLORADO AND REQUIRE A BUILDING PERMIT.
- IF THE PROJECT WILL BE LOCATED WITHIN 300 FEET OF THE 100 YR. FLOODPLAIN, APPROVAL FROM THE U.S. FISH AND WILDLIFE SERVICE WILL BE REQUIRED FOR POTENTIAL DISTURBANCE OF THE PREBLE'S MEADOW JUMPING MOUSE HABITAT. PLEASE SEE LINK BELOW FOR INFORMATION RELATED TO THE PREBLE'S MEADOW JUMPING.
- RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY THE HOA OR METRO DISTRICT.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
- THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOW LINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
- ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
- NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
- ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS

FIRE NOTES:

- IF FIRE APPARATUS ACCESS ROADS OR WATER SUPPLY FOR FIRE PROTECTION IS REQUIRED TO BE INSTALLED, SUCH PROTECTION SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO VERTICAL CONSTRUCTION.
- FIRE HYDRANT(S) ARE REQUIRED TO BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING THE TIME OF CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE PROPERTY OWNER TO MAINTAIN DRIVE LANES FOR EMERGENCY VEHICLE INGRESS AND EGRESS, INCLUDING SNOW REMOVAL.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR EVERY FACILITY, BUILDING OR PORTION OF A BUILDING CONSTRUCTED OR MOVED INTO, OR WITHIN THE JURISDICTION. THE FIRE APPARATUS ACCESS ROAD SHALL EXTEND TO WITHIN 150 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.
- DEAD-END FIRE ACCESS ROADS IN EXCESS OF 150 FEET SHALL PROVIDE AN APPROVED AREA FOR TURNING AROUND FIRE APPARATUS.
- FIRE APPARATUS ACCESS ROADS SHALL HAVE AN **UNOBSTRUCTED WIDTH OF NOT LESS THAN 20 FEET**, EXCLUSIVE OF SHOULDERS, EXCEPT FOR APPROVED SECURITY GATES AND AN **UNOBSTRUCTED VERTICAL CLEARANCE OF NOT LESS THAN 13 FEET, 6 INCHES**.
- FIRE APPARATUS ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOADS OF FIRE APPARATUS WEIGHING AT LEAST 88,000 POUNDS, AND SHALL BE SURFACED SO AS TO PROVIDE ALL WEATHER DRIVING CAPABILITIES. THE TERM "ALL-WEATHER DRIVING CAPABILITIES" HAS BEEN INTERPRETED TO MEAN EITHER CONCRETE OR ASPHALT, OR OTHER APPROVED DRIVING SURFACE DESIGNED BY AN ENGINEER AND APPROVED BY THE FIRE DEPARTMENT.
- "NO PARKING FIRE LANE" SIGNS ARE REQUIRED IN AREAS THAT MEET THE FOLLOWING CRITERIA AND IN AREAS DESIGNATED BY THE CASTLE ROCK FIRE DEPARTMENT. SIGNS SHALL BE POSTED ON BOTH SIDES OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS AND DRIVEWAYS LESS THAN 26 FEET WIDE. SIGNS SHALL BE POSTED ON ONE SIDE ONLY OF FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS BETWEEN 26 FEET WIDE AND 32 FEET WIDE. NO SIGNAGE IS REQUIRED FOR FIRE ACCESS ROADWAYS, PUBLIC OR PRIVATE ROADWAYS OR DRIVEWAYS GREATER THAN OR EQUAL TO 32 FEET WIDE.
- "FIRE LANE NO PARKING" CURB MARKING. ALL DESIGNATED LANES SHALL BE ACCOMPANIED WITH CURB MARKINGS IN A WEATHER RESISTANT RED PAINT. REFLECTIVE PAINT MAY BE USED FOR HIGHER VISIBILITY.
- CURBING SHALL BE LABELED, "NO PARKING -FIRE LANE" IN ALL UPPER CASE LETTERS. LETTERING SHALL BE NO LESS THAN THREE (3") INCHES HIGH WITH WHITE LETTERING ON A RED BACKGROUND AND PLACED ON THE FACE AND TOP OF THE CURB. LETTERING SHALL BE LOCATED NO MORE THAN FIFTY (50') APART AND WITHIN FIVE FEET OF THE BEGINNING AND END OF ANY FIRE LANE.
- THE DEVELOPER UNDERSTANDS THAT AS THE PROJECT DEVELOPS THERE MAY BE FIRE AND LIFE SAFETY PROVISIONS OF THE **TOWN OF CASTLE ROCK ADOPTED INTERNATIONAL FIRE CODE (IFC) OR COMMUNITY WILDFIRE PROTECTION PLAN (CWPP)** THAT MAY ARISE, AND WERE NOT CLEARLY VISIBLE DURING THE INITIAL REVIEWS, BUT MAY REQUIRE CORRECTIVE ACTION. THESE ITEMS MAY INCLUDE, BUT
- ARE NOT LIMITED TO: FIRE FLOW REQUIREMENTS, FIRE HYDRANT PLACEMENT, ACCESS, ETC.

PURPOSE STATEMENT

THE PROPOSED IMPROVEMENTS INCLUDED A CAR DEALERSHIP, CAR WASH AND DETENTION POND EXPANSION.

LEGAL DESCRIPTION

LOT 1, AND TRACT B, THE MEADOWS 19, FILING NO. 1, AS RECORDED AT RECEPTION NO. 202306012 OF THE RECORDS OF DOUGLAS COUNTY, COLORADO.

BENCHMARK

NGS BENCHMARK D 355, ELEVATION = 6014.96 (NAVD88)

ONSITE CONTROL
CONTROL POINT #1: 5/8" REBAR WITH A GREEN PASTIC CAP, STAMPED "GALLOWAY CONTROL" ELEVATION = 6022.96

CONTROL POINT #2: SCRIBED 'X', AT THE NORTH CORNER OF A STORM BOX, ELEVATION = 6022.18

BASIS OF BEARINGS

ALL BEARINGS ARE GRID BEARINGS OF THE COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983. BEARINGS ARE BASED ON THE NORTHEAST LINE OF LOT 1, THE MEADOWS 19, LOT 1, FILING NO. 1. AND IS CONSIDERED TO BEAR S36°06'43"E. SAID LINE BEING DEFINED BY MONUMENTS AS FOLLOWS: A FOUND 5/8" REBAR WITH A ILLEGIBLE YELLOW PLASTIC CAP, BEING A POINT OF CURVATURE ON THE NORTHEAST LINE OF LOT 1; AND A FOUND 1" BRASS TAG STAMPED "AZTEC PLS 38636", BEING THE SOUTHEAST CORNER OF LOT 1.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

BY: FINDLAY FAMILY PROPERTIES LIMITED PARTNERSHIP, A NEVADA LIMITED PARTNERSHIP

TYLER CORDER

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____.

20____ BY _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE _____ AGREEMENT, RECORDED ON THE ____ DAY OF _____, AT RECEPTION NO. _____ AND ACCORDINGLY ____ SFE ARE DEBITED FROM THE WATER BANK.

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____, A TITLE INSURANCE COMPANY LICENSED TO DO

BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS ____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS ____ DAY OF _____.

20____ BY _____ AS AUTHORIZED REPRESENTATIVE

OF _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.



SITE UTILIZATION CHART		
USE AREA	AREA	% OF TOTAL AREA
LOT 2 AREA (9.9966) AC	435,452 SF	100.0%
SALES AND SERVICE BUILDING		
GROUND FLOOR	82,078 SF	18.85%
SECOND FLOOR	12,247 SF	N/A
TOTAL MAIN BUILDING	94,325 SF	21.66%
CAR WASH/DETAIL BUILDING	5,170 SF	1.19%
TOTAL SURFACE BUILDING AREA	87,248 SF	20.04%
OPEN SPACE PRIVATE (OSP)	63,145 SF	14.50%
OPEN SPACE PUBLIC (OSD)	0 SF	0.00%
PUBLIC LAND DEDICATION (PLD)	0 SF	0.00%
ROW DEDICATION	0 SF	0.00%
PARKING AND DRIVE	257,637 SF	59.17%
SIDEWALKS	27,422 SF	6.30%
TOTAL	435,452 SF	100.0%

TRACT A AREA (1.6423) AC	71,540 SF	100.0%
OPEN SPACE PRIVATE (OSP)	610 SF	0.85%
OPEN SPACE PUBLIC (OSD)	0 SF	0.00%
PUBLIC LAND DEDICATION (PLD)	0 SF	0.00%
ROW DEDICATION	0 SF	0.00%
PARKING AND DRIVE	70,814 SF	98.99%
SIDEWALKS	115 SF	0.16%
TOTAL	71,540 SF	100.0%

ZONING COMPARISON CHART		
	Meadows 4th Amendment PD COI- COMMERCIAL, OFFICE, INDUSTRIAL	
ZONING ITEM	REQUIRED	PROPOSED
	*	REPAIR SERVICES, SHOWROOMS AND CAR WASH/DETAILING
USE		
MAXIMUM GROUND COVERAGE	60%	20.04%
BUILDING SETBACKS (MINIMUM)		
FRONT	0'	247'
REAR	0'	214'
LEFT SIDE	0'	147.6'
RIGHT SIDE	0'	79'
MAXIMUM BUILDING HEIGHT	60'	34'-3" MAX.
VEHICLE PARKING (SEE TABEL BELOW)		

* ALLOWABLE USES PER MEADOWS 4TH AMENDMENT PD

- ANY LIGHT INDUSTRIAL USES EXCEPT THOSE PROHIBITED BY THE CASTLE ROCK MUNICIPAL CODE CHAPTER 17.52
- COMMERCIAL USES
- HOSPITAL, NURSING HOMES, ASSISTED LIVING FACILITIES, SENIOR HOUSING AND OTHER HEALTH CARE OR SENIOR LIVING FACILITIES.
- OFFICE/WAREHOUSES
- OFFICES
- PARKING LOTS, STRUCTURES AND GARAGES
- RESEARCH FACILITIES AND LABORATORIES
- RESTAURANTS
- RETAIL (REPAIR SERVICES, SHOWROOMS AND SUPPORT SERVICES)
- TRANSIT TERMINALS/PARK-AND-RIDE FACILITIES
- VERTERINARIAN CLINICS AND KENNELS
- CHURCHES, SYNAGOGUES, PLACES OF WORSHIP
- PUBLIC OR NON-PUBLIC SCHOOLS, COLLEGES AND UNIVERSITIES
- PERSONAL WIRELESS SERVICE FACILITIES SUBJECT TO CHAPTER 17.92 OF THE CASTLE ROCK MUNICIPAL CODE
- CAR WASHES
- ALL USES PERMITTED UNDER SECTIONS 5.1, 5.2 AND 5.3 OF THESE AMENDED ZONING REGULATIONS, EXCEPT SINGLE-FAMILY DWELLING UNITS, CARETAKERS' RESIDENCE, SMALL AND LARGE IN-HOME DAY CARE, ACCESSORY DWELLING UNITS AND ATTACHED DWELLING UNITS

PARKING CALCULATIONS				
USE CATEGORY	REQUIRED SPACES PER CATEGORY		REQUIRED	PROVIDED
INDOOR DISPLAY	1.5 SPACES PER	1,000 SF	8,000 SF	12
SERVICE BAYS	3 SPACES PER	SERVICE BAY	65	195
EMPLOYEE	1 SPACES PER	EMPLOYEE MAX SHIFT	125	125
SUBTOTAL				332
ACCESSIBLE				8
BICYCLE	5%			17
VEHICLE DISPLAY				326
TOTAL PARKING PLUS DISPLAY				665

Sheet List Table	
Sheet Number	Sheet Title
01	COVER SHEET
02	CIVIL - OVERAL SITE PLAN
03	CIVIL - DETAILED SITE PLAN
04	OVERALL GRADING PLAN - ONSITE
05	OVERALL GRADING PLAN - OFFSITE
06	OVERALL UTILITY PLAN - ONSITE
07	OVERALL UTILITY PLAN - OFFSITE
08	TYPICAL SECTIONS
09	LANDSCAPE PLAN
10	PLANT SCHEDULE & NOTES
11	LANDSCAPE DETAILS
12	ARCHITECTURAL - SITE PLAN
13	ARCHITECTURAL - ENLARGED SITE PLAN
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15	EXTERIOR ELEVATIONS – DETAIL BUILDING
16	PERSPECTIVE VIEW
17	ACCESSIBILITY DETAILS
18	SITE DETAILS
19	SITE DETAILS
20	PHOTOMETRIC SITE PLAN
21	PHOTOMETRIC SITE PLAN NOTES
22	SITE LIGHTING CUT SHEETS
23	SITE LIGHTING CUT SHEETS
24	SITE LIGHTING CUT SHEETS

SURVEYOR'S CERTIFICATE

I, _____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS (NAME OF DOCUMENT) WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS (NAME OF DOCUMENT) ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR _____ DATE _____

CIVIL ENGINEER'S STATEMENT

I, TROY W. DENNING P.E., BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS (NAME OF DOCUMENT) HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER _____ DATE _____

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS (NAME OF DOCUMENT) WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE ____ DAY OF _____, 20____.

DIRECTOR OF DEVELOPMENT SERVICES

DOUGLAS COUNTY CLERK AND RECORDER'S CERTIFICATE

THIS SITE DEVELOPMENT PLAN WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK AND RECORDER OF DOUGLAS COUNTY AT _____ ON THE ____ DAY OF _____, 20____ AT RECEPTION NO. _____.

DOUGLAS COUNTY CLERK AND RECORDER

BY: _____
DEPUTY

OWNER
FINDLAY FAMILY PROPERTIES LIMITED
PARTNERSHIP; A NEVADA LIMITED
PARTNERSHIP
CONTACT: TYLER CORDDER
310 N. GIVSON ROAD
HENDERSON, NV 89014

OWNER'S REPRESENTATIVE
TALLYCM
CONTACT: ANNE BRECK
8715 E. VIA DE COMMERCIO
SCOTTSDALE, AZ 85258
(208) 699-3230

CIVIL ENGINEER
ACTION CIVIL ENGINEERING
9777 PYRAMID CT, SUITE 150
ENGLEWOOD, CO 80112
TROY W. DENNING P.E.
(720) 826-3965

ARCHITECT:
JOHN MAHONEY, LLC
CONTACT: TRAVIS MUILENBURG
850 W. ELLIOT ROAD, SUITE 108
TEMPE, AZ 85284
(480) 431-5038

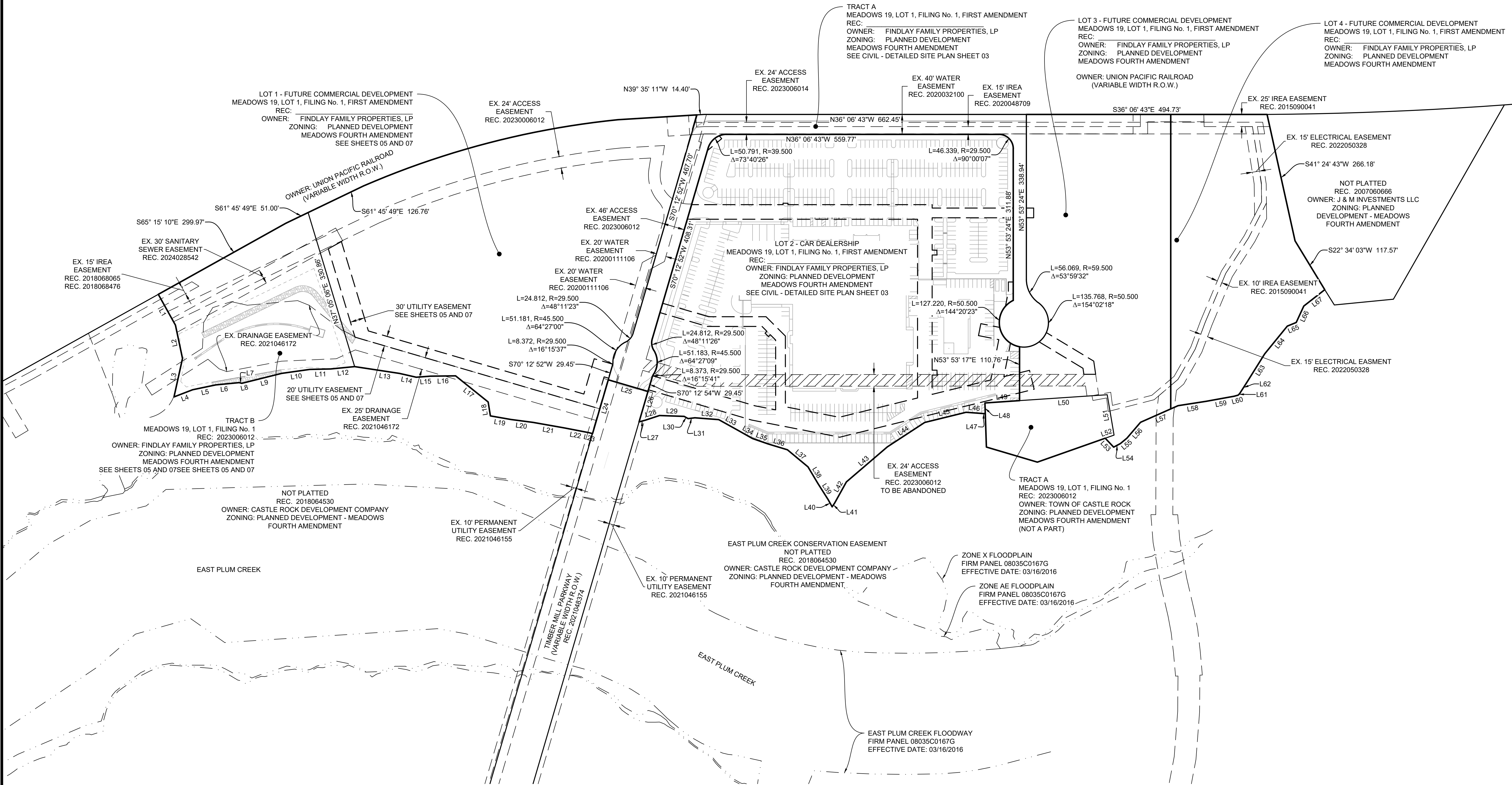
LANDSCAPE ARCHITECT:
CREATIVE PATHWAYS, LLC
CONTACT: SARAH WILLIAMS, PLA, CPSI
7106 OTIS STREET
ARVADA, CO 80003
(719) 331-5823

SURVEYOR:
GALLOWAY
CONTACT: WILLIAM BROOKS, PLS
1155 KELLY JOHNSON BLVD., SUITE 305
COLORADO SPRINGS, CO 80920
(719) 900-7220

REVISION DESCRIPTION					
SUBMITTED TO CASTLE ROCK					
DATE	07/21/25				
#	1				
DRN					
TWD					
CHK					
DSG					
TWD					
FINDLAY TOYOTA SITE DEVELOPMENT PLAN					
COVER SHEET					
ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 150 ENGLEWOOD, CO 80112 720.826.3965 tdenning@actioncivileng.com					
JOB NO.	2421				
SCALE	---				
DATE	7/21/2025				
SHEETS	24	SHEET	01		

SITE DEVELOPMENT PLAN

LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Parcel Line Table		
Line #	Length	Direction
L50	180.51	N39° 57' 39.40"W
L51	84.19	N44° 13' 34.60"E
L52	19.27	S55° 31' 24.40"E
L1	72.49	N24° 44' 24.60"E
L2	69.99	N41° 58' 32.60"E
L3	81.02	N66° 20' 48.60"E
L4	41.02	N57° 08' 42.40"W
L5	48.79	N47° 58' 26.40"W
L6	48.12	N41° 39' 23.40"W
L7	5.49	N21° 23' 11.40"W
L8	6.83	N49° 31' 12.40"W
L9	77.70	N50° 06' 45.40"W

Parcel Line Table		
Line #	Length	Direction
L10	58.36	N44° 08' 30.40"W
L11	42.75	N37° 19' 35.40"W
L12	49.78	N41° 43' 55.89"W
L13	93.19	N27° 28' 52.38"W
L14	35.32	N23° 19' 13.55"W
L15	29.16	N40° 18' 52.56"W
L16	51.83	N36° 49' 42.76"W
L17	85.87	N2° 38' 47.62"E
L18	28.90	N44° 47' 17.87"E
L19	42.95	N26° 09' 53.13"W
L20	46.08	N48° 34' 18.68"W
L21	65.09	N26° 05' 47.02"W

Parcel Line Table		
Line #	Length	Direction
L22	50.97	N25° 11' 09.40"W
L23	8.08	N21° 39' 38.40"W
L24	115.24	S70° 12' 53.60"W
L25	84.98	N19° 47' 06.40"W
L53	25.27	N10° 31' 00.26"E
L54	15.63	N63° 55' 36.54"W
L55	17.41	N75° 55' 22.96"W
L56	43.06	N85° 27' 16.78"W
L57	84.26	N60° 00' 43.83"W
L58	58.61	N44° 55' 59.57"W
L59	58.35	N46° 25' 13.40"W
L60	8.73	N51° 21' 46.40"W

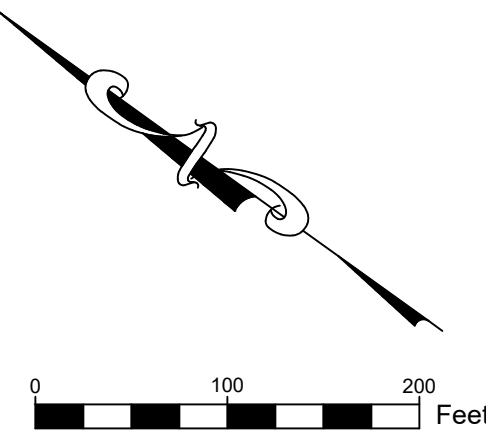
Parcel Line Table		
Line #	Length	Direction
L61	4.64	N83° 59' 47.40"W
L62	28.71	S86° 38' 06.60"W
L63	67.43	S85° 54' 59.60"W
L64	73.60	N86° 59' 25.40"W
L65	19.82	N58° 24' 48.40"W
L66	37.16	S78° 41' 51.60"W
L67	54.70	N74° 04' 02.40"W
L26	65.27	S70° 12' 53.60"W
L27	13.02	S51° 23' 22.59"E
L28	30.95	S54° 17' 51.64"E
L29	50.73	S34° 07' 45.20"E
L30	9.29	S6° 41' 53.92"E

Parcel Line Table		
Line #	Length	Direction
L31	14.12	S43° 00' 09.07"E
L32	49.06	S31° 43' 25.10"E
L33	47.56	S7° 01' 33.91"E
L34	32.15	S6° 32' 51.45"E
L35	33.59	S17° 05' 49.05"E
L36	41.75	S19° 12' 58.34"E
L37	55.00	S3° 34' 38.31"W
L38	39.64	S23° 06' 54.30"W
L39	39.14	S21° 33' 56.53"W
L40	17.25	S24° 38' 16.92"W
L41	9.60	N86° 56' 07.55"E
L42	49.49	N83° 00' 00.23"E

Parcel Line Table		
Line #	Length	Direction
L43	110.64	S76° 41' 43.01"E
L44	91.81	S69° 15' 49.54"E
L45	87.56	S49° 58' 34.88"E
L46	33.12	S31° 50' 05.73"E
L47	6.55	S31° 50' 05.73"E
L48	22.12	N52° 00' 33.87"E
L49	71.33	S39° 57' 39.40"E



Know what's below.
Call before you dig.



ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 150 ENGLEWOOD, CO 80112 720.826.3965 tdenning@actioncivileng.com		FINDLAY TOYOTA SITE DEVELOPMENT PLAN		CIVIL - OVERAL SITE PLAN	
JOB NO.	2421				
SCALE	---				
DATE	7/21/2025				
SHEETS	24	SHEET	02		
		DRN	TWD		
		#	DATE	REVISION DESCRIPTION	
		1	07/21/25	SUBMITTED TO CASTLE ROCK	
		CHK			
		DSG	TWD		

LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 36 NORTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF WASHINGTON, STATE OF COLORADO

Call before you dig.

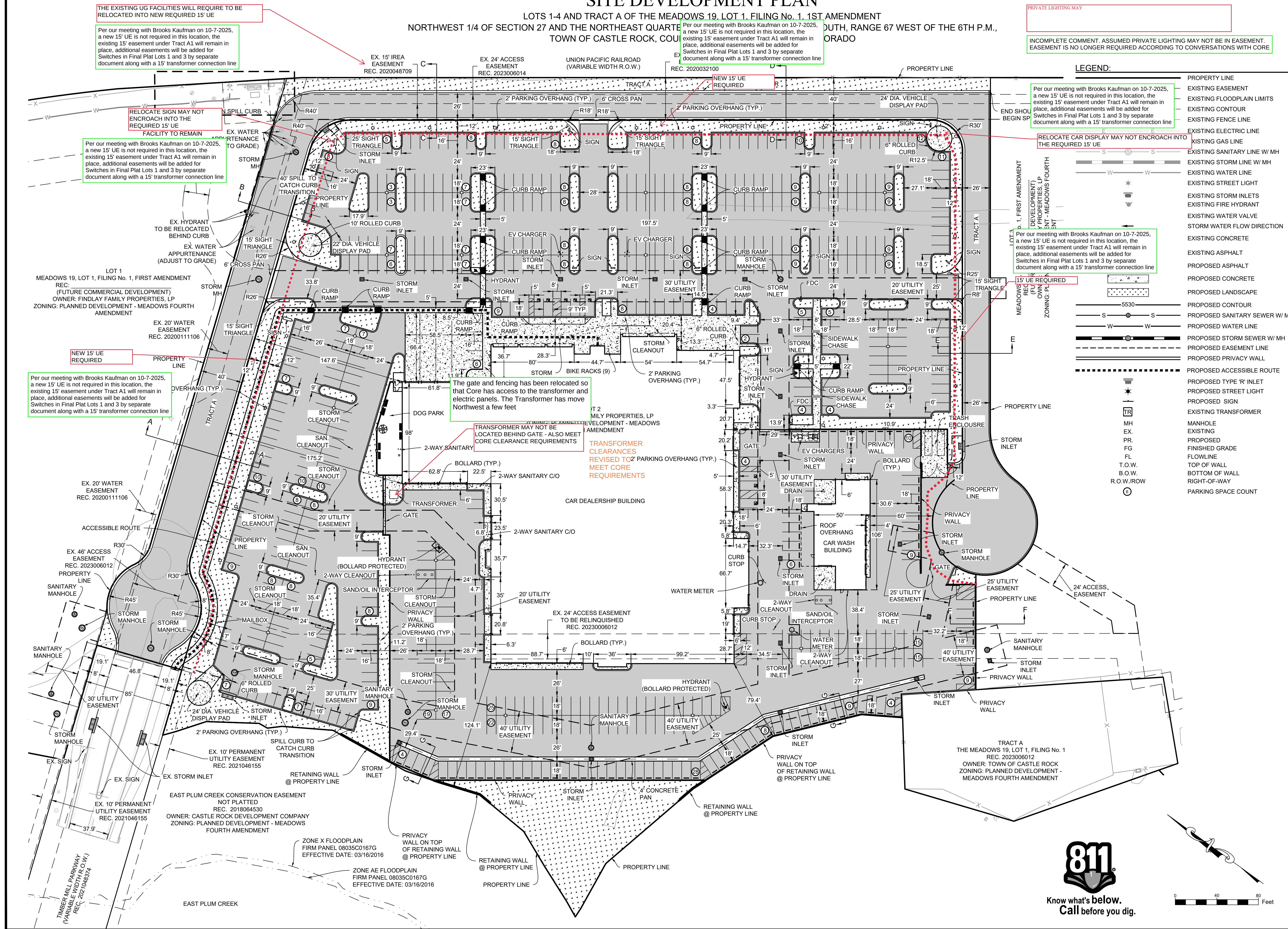
DATE
SHEETS

24

CIVIL - DETAILED SITE PLAN

2421	

7/21/2025	
24	SHEET 03



SITE DEVELOPMENT PLAN

LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

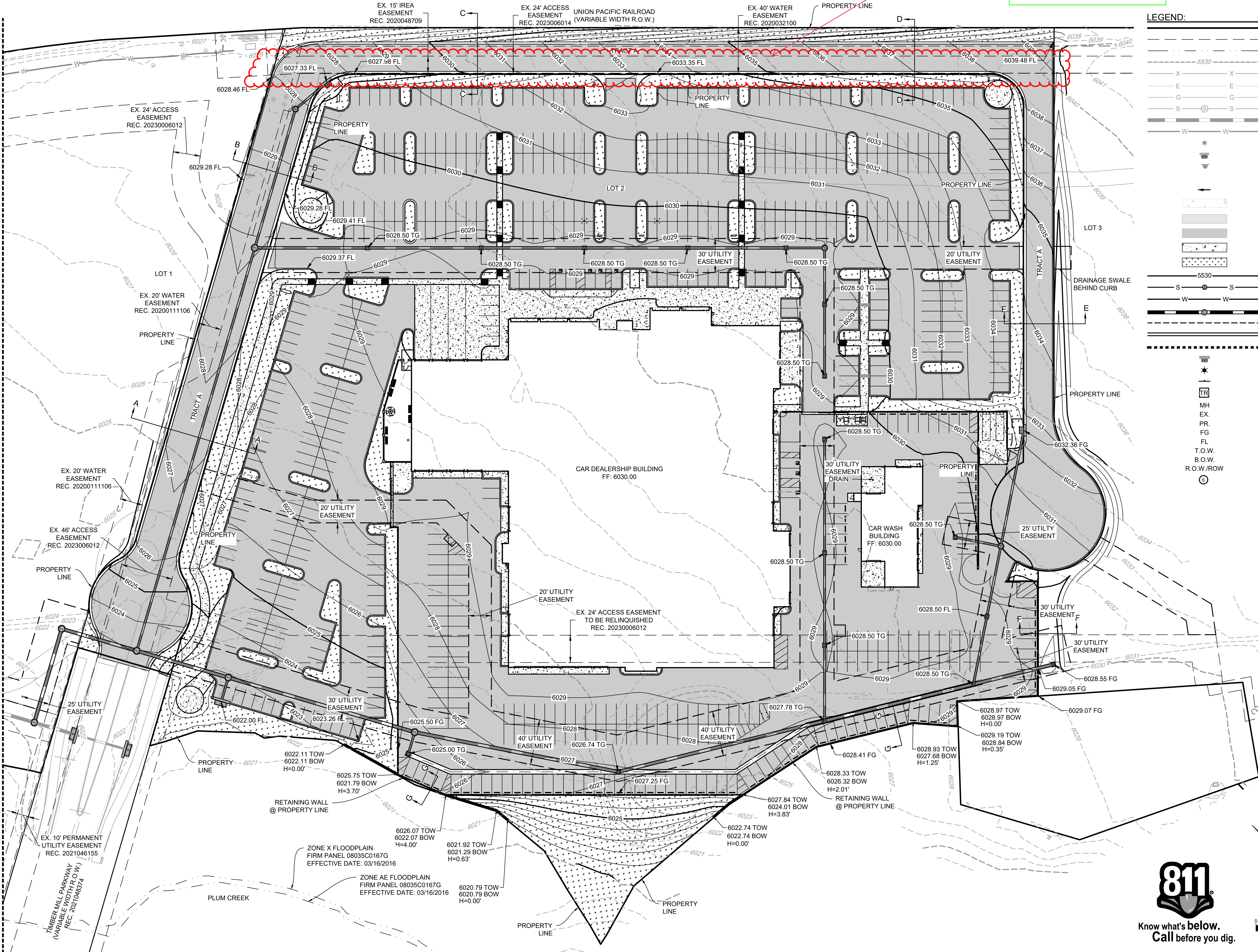
GRADE WITHIN CORE
EASEMENT MAY NOT
EXCEED +/- 6 INCHES

Per our meeting with Brooks Kaufman on 10-7-2025,
a the existing 15' easement under Tract A1 will
remain in place, the existing single phase line and the
a new 3 phase line will be installed at the allowable
depth beneath the proposed grading.

LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING FLOODPLAIN LIMITS
- EXISTING CONTOUR
- EXISTING FENCE LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING SANITARY LINE W/ MH
- EXISTING STORM LINE W/ MH
- EXISTING WATER LINE
- EXISTING STREET LIGHT
- EXISTING STORM INLETS
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- STORM WATER FLOW DIRECTION
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER W/ MH
- PROPOSED WATER LINE
- PROPOSED STORM SEWER W/ MH
- PROPOSED EASEMENT LINE
- PROPOSED PRIVACY WALL
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED TYPE 'R' INLET
- PROPOSED STREET LIGHT
- PROPOSED SIGN
- EXISTING TRANSFORMER
- MANHOLE
- EXISTING
- PR.
- FG
- FL
- T.O.W.
- B.O.W.
- R.O.W./ROW
- PARKING SPACE COUNT

MATCHLINE SHEET - 05



Know what's below.
Call before you dig.

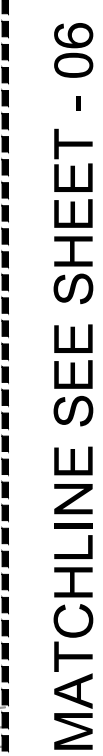
FINDLAY TOYOTA
SITE DEVELOPMENT PLAN

OVERALL GRADING PLAN - ONSITE

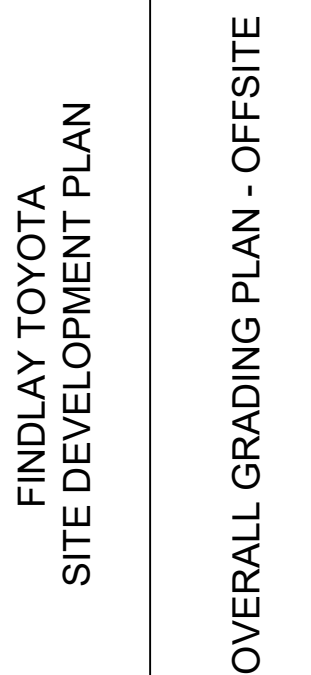
ACTION CIVIL ENGINEERING
9777 PYRAMID CT, SUITE 150
ENGLEWOOD, CO 80112 720.826.3965
tdenning@actioncivileng.com

JOB NO.	2421
SCALE	---
DATE	7/21/2025
SHEETS	24
SHEET	04

LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



Know what's **below.**
Call before you



ACTION CIVIL ENGINEERING
9777 PYRAMID CT, SUITE 150
ENGLEWOOD, CO 80112 720.826.3965
tdenning@actioncivileng.com

I NO.		2421	
ALE		---	
TE		7/21/2025	
EETS		SHEET	
24		05	

SITE DEVELOPMENT PLAN

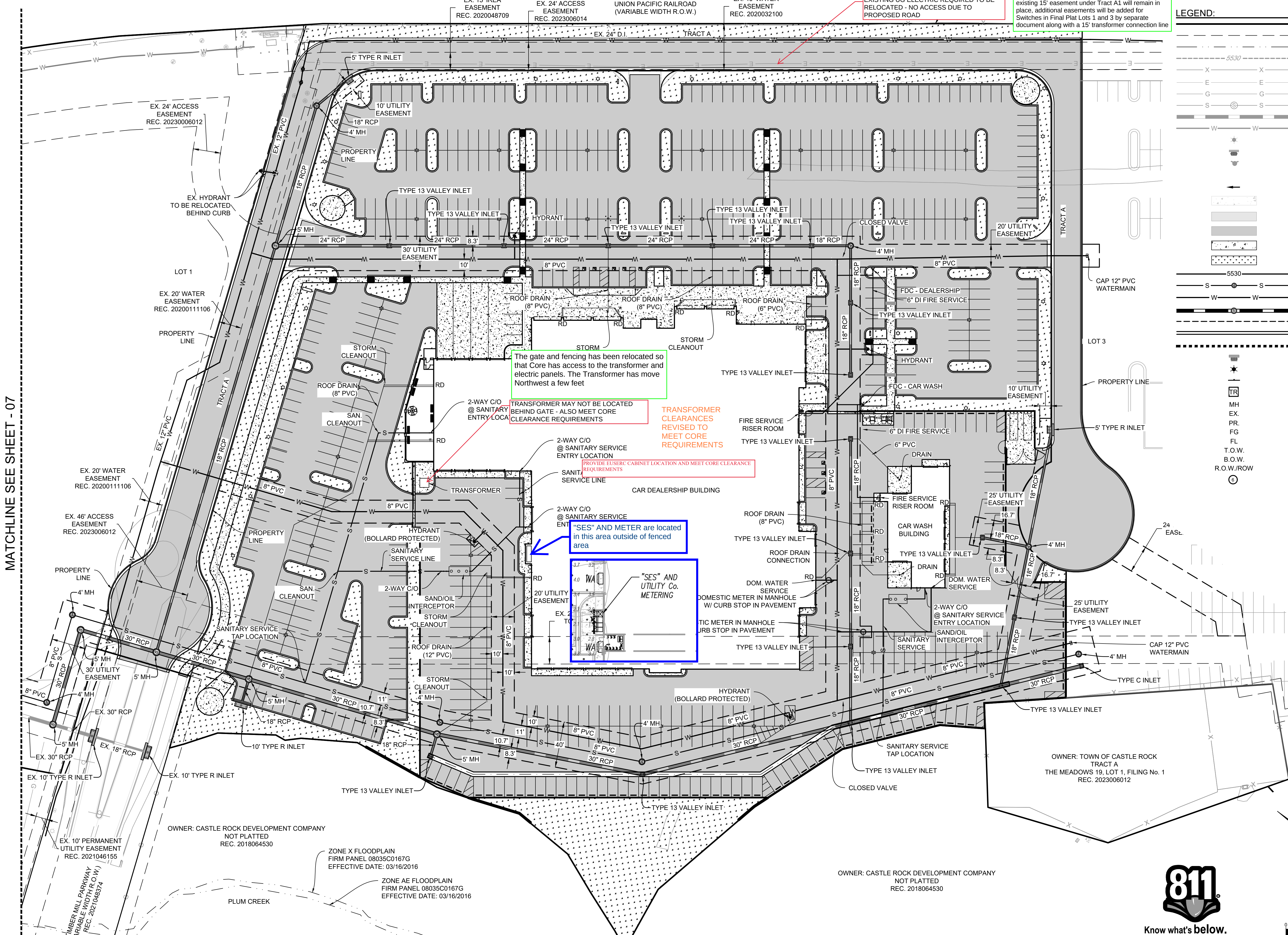
LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

Per our meeting with Brooks Kaufman on 10-7-2025, a new 15' UE is not required in this location, the existing 15' easement under Tract A1 will remain in place, additional easements will be added for Switches in Final Plat Lots 1 and 3 by separate document along with a 15' transformer connection line

EXISTING UG ELECTRIC REQUIRED TO BE RELOCATED - NO ACCESS DUE TO PROPOSED ROAD

LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT
- EXISTING FLOODPLAIN LIMITS
- EXISTING CONTOUR
- EXISTING FENCE LINE
- EXISTING ELECTRIC LINE
- EXISTING GAS LINE
- EXISTING SANITARY LINE W/ MH
- EXISTING STORM LINE W/ MH
- EXISTING WATER LINE
- EXISTING STREET LIGHT
- EXISTING STORM INLETS
- EXISTING FIRE HYDRANT
- EXISTING WATER VALVE
- STORM WATER FLOW DIRECTION
- EXISTING CONCRETE
- EXISTING ASPHALT
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED LANDSCAPE
- PROPOSED CONTOUR
- PROPOSED SANITARY SEWER W/ MH
- PROPOSED WATER LINE
- PROPOSED STORM SEWER W/ MH
- PROPOSED EASEMENT LINE
- PROPOSED PRIVACY WALL
- PROPOSED ACCESSIBLE ROUTE
- PROPOSED TYPE 'R' INLET
- PROPOSED STREET LIGHT
- PROPOSED SIGN
- EXISTING TRANSFORMER
- MANHOLE
- EXISTING
- PROPOSED
- FINISHED GRADE
- FLOWLINE
- TOP OF WALL
- BOTTOM OF WALL
- RIGHT-OF-WAY
- PARKING SPACE COUNT



The gate and fencing has been relocated so that Core has access to the transformer and electric panels. The Transformer has move Northwest a few feet

TRANSFORMER MAY NOT BE LOCATED BEHIND GATE - ALSO MEET CORE CLEARANCE REQUIREMENTS

TRANSFORMER CLEARANCES REVISED TO MEET CORE REQUIREMENTS

PROVIDE EUSERC CABINET LOCATION AND MEET CORE CLEARANCE REQUIREMENTS

"SES" AND METER are located in this area outside of fenced area

"SES" AND UTILITY Co. METERING

OWNER: TOWN OF CASTLE ROCK
TRACT A
THE MEADOWS 19, LOT 1, FILING No. 1
REC. 2023006012

OWNER: CASTLE ROCK DEVELOPMENT COMPANY
NOT PLATTED
REC. 2018064530

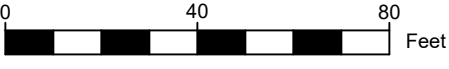
OWNER: CASTLE ROCK DEVELOPMENT COMPANY
NOT PLATTED
REC. 2018064530

ZONE X FLOODPLAIN
FIRM PANEL 08035C0167G
EFFECTIVE DATE: 03/16/2016

ZONE AE FLOODPLAIN
FIRM PANEL 08035C0167G
EFFECTIVE DATE: 03/16/2016



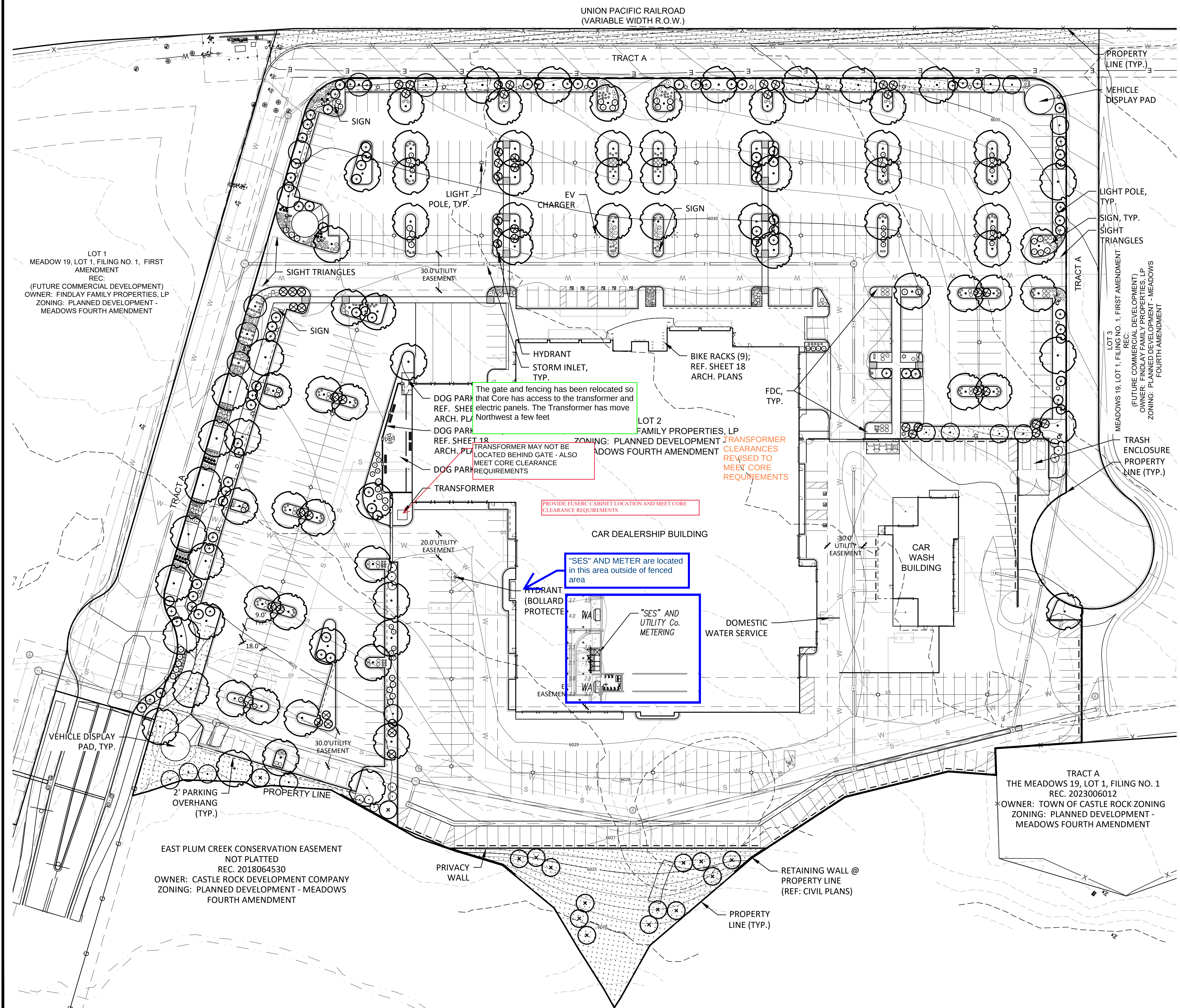
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MATCHLINE SEE SHEET - 07

ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 150 ENGLEWOOD, CO 80112 720.826.3965 tdenning@actioncivileng.com		FINDLAY TOYOTA SITE DEVELOPMENT PLAN		OVERALL UTILITY PLAN - ONSITE		DSG		TWD		CHK		DRN		#		DATE		REVISION DESCRIPTION	
																		SUBMITTED TO CASTLE ROCK	
JOB NO.		2421																	
SCALE		---																	
DATE		7/21/2025																	
SHEETS		24		SHEET		06													

SITE DEVELOPMENT PLAN
LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



LEGEND

- PROPERTY LINE / LIMIT OF WORK
- EASEMENT
- BOUNDARY TRACT
- METAL EDGER
- 2" CALIPER DECIDUOUS CANOPY TREES
- 1.5" ORNAMENTAL TREES
- 6' HT. EVERGREEN TREES
- 5 GALLON DECIDUOUS SHRUB
- 5 GALLON EVERGREEN SHRUB
- 5 GALLON CACTUS & SUCCULENTS
- 1 GALLON ORNAMENTAL GRASS
- 1 GALLON PERENNIALS
- NATIVE SEED

PLANT SCHEDULE

Please add values/quantities in the shaded areas

DECIDUOUS SHADE TREES	HYDROZONE	L, M	QUANTITY	85
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 2" INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GROUND				
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 3" INCHES IN CALIPER WHEN IN A GRATE OR PLANTED IN AREAS LESS THAN EIGHT (8) FEET IN WIDTH				
DECIDUOUS SHADE TREES	HYDROZONE	L, M	QUANTITY	19
ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" INCHES IN CALIPER, MEASURED SIX (6) INCHES ABOVE GROUND				
EVERGREEN TREES	HYDROZONE	VL, L	QUANTITY	15
EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, MEASURED TO THE MID-POINT OF THE MOST RECENT YEAR'S GROWTH				
DECIDUOUS SHRUBS	HYDROZONE	VL, L, M	QUANTITY	379
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
EVERGREEN SHRUBS	HYDROZONE	L	QUANTITY	133
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
ORNAMENTAL GRASSES	HYDROZONE	VL, L, M	QUANTITY	247
ORNAMENTAL GRASSES SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
PERENNIAL PLANTING BEDS	HYDROZONE	VL, L, M	AREA	410
PERENNIALS, GROUND COVERS, AND VINES SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER IN SIZE				
ANNUAL PLANTING BEDS	HYDROZONE	O	AREA	0
ANNUALS SHALL BE SIZED SHALL BE APPROPRIATE TO APPLICATION, WHETHER FLATS, FOUR (4) INCH POTS OR LARGER AND SPACED TO PROVIDE SEVENTY-FIVE (75) PERCENT GROUND COVER				
NATIVE SEED	HYDROZONE	L	AREA	28963
GRASS SEED PLANTING QUALITY AND QUANTITY IN IRRIGATED AREAS SHALL BE IN COMPLIANCE WITH NURSERY STANDARDS AND SHALL PROVIDE A MINIMUM GROUND COVER OF EIGHTY (80) PERCENT WITHIN THE FIRST GROWING SEASON				
APPROVED NATIVE GRASS SEED MIXES: [Low Grow Mix/Foothills Mix/Colorado Native Mix]				

*Choose one symbol for each tree category.
**Choose one pattern for each category of ground cover, shrubs, and grasses.

REVISION DESCRIPTION

#	#	#	#	#	#	#	#	#	#
DATE	#	#	#	#	#	#	#	#	#
DRN	#	#	#	#	#	#	#	#	#
CHK	#	#	#	#	#	#	#	#	#
DSG	#	#	#	#	#	#	#	#	#

FINDLAY TOYOTA
SITE DEVELOPMENT PLAN

LANDSCAPE PLAN

CREATIVE
PATHWAYS
SARAH WILLIAMS, PLA
719.331.5823
SARAH@CREATIVEPATHWAYS.LLC.NET

811
Know what's below.
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JOB NO.

2421

SCALE

DATE

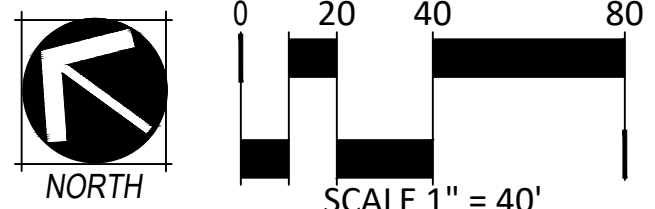
07/21/2025

SHEETS

24

SHEET

09



- 1 TYPICAL ASPHALT PAVING PER GEOTECH REPORT & CIVIL PLANS
- 2 TYPICAL 6" H CONCRETE CURB
- 3 MONUMENT SIGN - 20" H. MAX UNDER SEPARATE PERMIT
- 4 CONCRETE DRIP CONTAINMENT SLAB
- 5 REFUSE YARD - PER 12/SHEET 19 (2) 40 YARD DUMPSTERS
- 6 BICYCLE PARKING (9 LOOPS) - SEE DETAIL 13/SHEET 18
- 7 ROLL CURB
- 8 CONCRETE SIDEWALK RAMP - SEE 3/SHEET 17
- 9 CONCRETE CURB RAMP - SEE 2/SHEET 17
- 10 ACCESSIBLE ROUTE OF TRAVEL. MIN WIDTH TO BE 4'-0" RUNNING SLOPE SHALL NOT EXCEED 1:20. CROSS SLOPE SHALL NOT EXCEED 1:50 SURFACE TO BE FIRM, STABLE AND SLIP RESISTANT.
- 11 LANDSCAPING
- 12 ELECTRICAL TRANSFORMER AND CONC UTILITY COMPANY CONC. PAD BY G.C. TO UTILITY CO. REQUIREMENTS
- 13 KNOX LOCK BOX NEAR DOOR AT NO HIGHER THAN 60" ABOVE FINISH GRADE. PROVIDE A FULL SET OF KEYS TO OPEN ALL DOORS INSIDE AND OUTSIDE THE BUILDING. TO INCLUDE FIRE ALARM PANEL - LABELED AND PLACED INSIDE KEY BOX
- 14 FIRE DEPARTMENT CONNECTION - TO BE MINIMUM 1.5 X BLDG HEIGHT (45') FROM BUILDING
- 15 FIRE SPRINKLER RISER INSIDE BUILDING
- 16 ROLLING STEEL GATE - SEE 1/SHEET 18 - PROVIDE KNOX BOX KEY SWITCH PER FIRE DEPT REQUIREMENTS
- 17 LOADING SPACE WITH PAVEMENT MARKINGS & LETTERS.
- 18 SERVICE ENTRANCE SECTION WITH PROTECTIVE BOLLARDS ON CONCRETE HOUSEKEEPING PAD PER UTILITY
- 19 CONCRETE VEHICLE DISPLAY PAD
- 20 EXISTING SIDEWALK
- 21 EXISTING STREET CURB AND GUTTER
- 22 6'-0" HIGH CMU SCREEN WALL - SEE 3 & 4/SHEET 18
- 23 4' H DIRECTIONAL SIGNAGE - UNDER SEPARATE REVIEW AND PERMIT
- 24 CONCRETE SIDEWALK
- 25 CONCRETE PAVEMENT
- 26 PEDESTAL MOUNTED MAILBOX PER USPS REQMNTS
- 27 SWINGING STEEL GATE WITH KNOXBOX - SEE 2/A520
- 28 TYPICAL PRECAST CONCRETE PARKING BLOCK - OFFSET FACE 2'-0" FROM ADJACENT WALL/CURB
- 29 CURB AND SIDEWALK FLUSH WITH ADJACENT PARKING SPACES - NO STEP
- 30 SWINGING STEEL GATE (REFUSE YARD) PER 2/A520 - NO KNOXBOX
- 31 6" W. CONCRETE APRON AT DOORS FLUSH WITH ADJACENT PAVEMENT/FINISH FLOOR
- 32 STEEL MAN GATE - SEE 11/SHEET 19
- 33 CMU AND WROUGHT IRON FENCE - SEE 5/SHEET 18
- 34 WROUGHT IRON GATE - SEE 6/SHEET 18
- 35 ELECTRIC VEHICLE CHARGER AND PROTECTIVE BOLLARDS
- 36 CUSTOMER AMENITY - DOG PARK. SEE LANDSCAPE PLANS

SEE SHEET 13 FOR ENLARGED PLAN AT BUILDING PERIMETER AND ACCESSIBLE PARKING

PROJECT NAME:	FINDLAY TOYOTA
PROJECT ADDRESS:	T.B.D.
OWNER:	FINDLAY FAMILY PROPERTIES LIMITED PARTNERSHIP 310 N. GIBSON ROAD HENDERSON, NEVADA 89014
ARCHITECT:	JOHN MAHONEY ARCHITECT, LLC 850 W. ELLIOTT RD., #108 TEMPE, ARIZONA 85284 480-345-8457
ENGINEER:	ACTION CIVIL ENGINEERING 9777 PYRAMID CT, SUITE 150 ENGLEWOOD, COLORADO 80112 720-626-3965
PROPERTY DESCRIPTION: THE MEADOWS LOT 1 AND TRACT A	
ZONING:	PD PLANNED DEVELOPMENT NO. 38 MEADOWS FOURTH AMENDMENT
SITE AREA:	LOT 1 = 435,454 S.F. (9.997 AC) TRACT A = 71,540 S.F. (1.6423 AC)
OCCUPANCY GROUP:	MIXED (B, S-1)
BUILDING AREA:	
GROUND FLOOR:	82,078 S.F.
SECOND FLOOR	12,247 S.F.
<u>TOTAL MAIN BUILDING</u>	<u>94,325 S.F.</u>
CAR WASH/DETAIL BUILDING	5,170 S.F.
<u>GROSS BUILDING AREA</u>	<u>99,495 S.F.</u>
LOT COVERAGE: 87.285 / 435,454 = 20%	
CONSTRUCTION TYPE: II-B, AUTOMATIC FIRE SPRINKLER SYSTEM PER IBC SECTION 903	
NO. STORIES:	2
BUILDING HEIGHT:	34'-3" MAX.
<u>PARKING CALCULATIONS:</u>	
PARKING REQUIRED = 1.5 SPACE PER 1000 S.F. INDOOR PARKING	
	8000 S.F./1000 X 1.5 = 12
	= 3 SPACES PER SERVICE BAY
	65 BAYS X 3 = 195
	= 1 SPACE PER EMPLOYEE ON MAX. SHIFT
	125
TOTAL PARKING REQUIRED	= 332 SPACES
BICYCLE PARKING REQ'D (%)	= 17 (9 LOOPS)
ACCESSIBLE PARKING REQUIRED	= 8 SPACES (2 VAN)
TOTAL PARKING PROVIDED	= 339 SPACES
ACCESSIBLE PARKING PROVIDED	= 8 (2 VAN)
BICYCLE PARKING PROVIDED	= 18 (9 LOOPS)
VEHICLE DISPLAY	= 326
TOTAL PARKING + DISPLAY	= 663 SPACES
ALL SITE SIGNAGE SHALL BE BY SEPARATE SUBMITTAL, REVIEW AND SEPARATE PERMIT	

 FIRE HYDRANT - SEE CIVIL

 FIRE DEPARTMENT CONNECTION (FDC)

 LIGHT POLE ON CONCRETE BASE

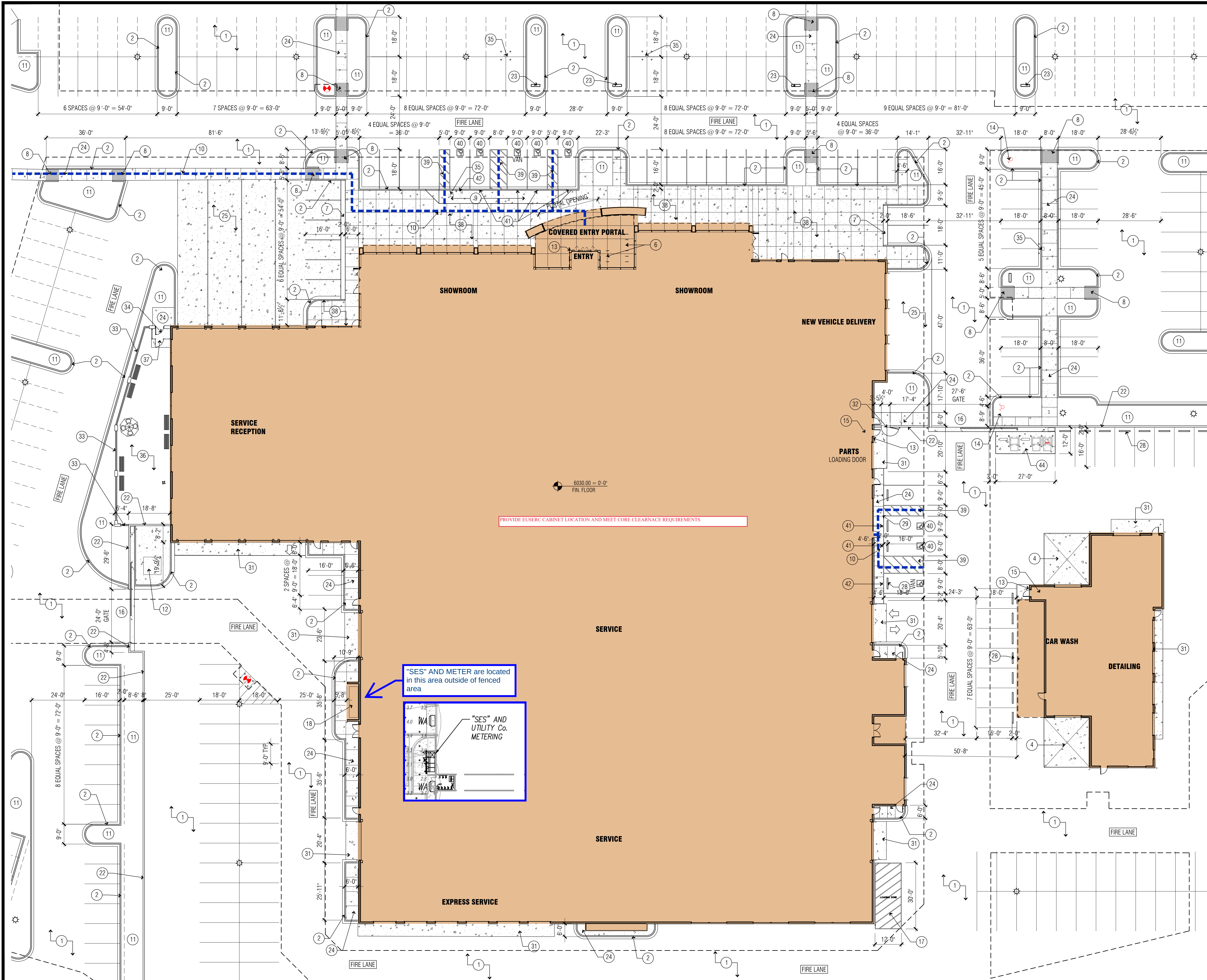
 TYPICAL ORDINANCE REQUIRED PARKING SPACE
COUNT DENOTED x_p

 TYPICAL DISPLAY OR INVENTORY SPACE - DASHED LINES
SHALL NOT BE PAINTED - COUNT DENOTED x_d

 ACCESSIBLE ROUTE/PATH OF TRAVEL: MAX
RUNNING SLOPE 1:20 MAX CROSS SLOPE
1:50. MINIMUM WIDTH 36" PROVIDE A
FIRM-STABLE-SLIP RESISTANT SURFACE WITH
NO CHANGES IN LEVEL UNLESS A RAMP IS
INDICATED.

A map of the study area showing the location of the Site. The Site is a shaded area bounded by State Hwy 85, N Meadows St, Timber Mill Pkwy, and Frontenac Pkwy. The map also shows a road labeled I-29 in the upper right corner.

12 of 24



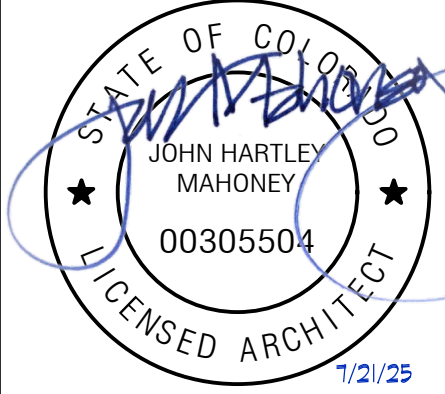
ARCHITECTURAL ENLARGED SITE PLAN

KEYNOTES

- 1 TYPICAL ASPHALT PAVING PER GEOTECH REPORT & CIVIL PLANS
- 2 TYPICAL 6" H CONCRETE CURB
- 3 MONUMENT SIGN - 20" H. MAX UNDER SEPARATE PERMIT
- 4 CONCRETE DRIP CONTAINMENT SLAB
- 5 REFUSE YARD - PER 12/SHEET 19 (2) 40 YARD DUMPSTERS
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- 24 CONCRETE SIDEWALK
- 25 CONCRETE PAVEMENT
- 26 PEDESTAL MOUNTED MAILBOX PER USPS REOMNTS
- 27 SWINGING STEEL GATE WITH KNOXBOX - SEE 2/A520
- 28 TYPICAL PRECAST CONCRETE PARKING BLOCK - OFFSET FACE 2'-0" FROM ADJACENT WALL/CURB
- 29 CURB AND SIDEWALK FLUSH WITH ADJACENT PARKING SPACES - NO STEP
- 30 SWINGING STEEL GATE (REFUSE YARD) PER 2/A520 - NO KNOXBOX
- 31 6" W. CONCRETE APRON AT DOORS FLUSH WITH ADJACENT PAVEMENT/FINISH FLOOR
- 32 STEEL MAN GATE - SEE 11/SHEET 19
- 33 CMU AND WROUGHT IRON FENCE - SEE 5/SHEET 18
- 34 WROUGHT IRON GATE - SEE 6/SHEET 18
- 35 ELECTRIC VEHICLE CHARGER AND PROTECTIVE BOLLARDS
- 36 CUSTOMER AMENITY - DOG PARK. SEE LANDSCAPE PLANS
- 37 4' H CHAIN LINK FENCE AND GATE INSIDE WROUGHT IRON GATE
- 38 5" CONCRETE ON 4" COMPACTED ABC. JOINTS TO ALIGN WITH VERTICAL WINDOW MULLIONS/PORTAL PANELS. CONTROL JOINTS TO BE SEALED PER 3/SHEET 19
- 39 ACCESSIBLE PARKING LEVEL LANDING/TRANSFER ZONE WITH PAVEMENT MARKING
- 40 TYPICAL ACCESSIBLE PARKING SYMBOL PER 6/SHEET 17
- 41 ACCESSIBLE PARKING SIGN PER 7 & 10/SHEET 17
- 42 ACCESSIBLE VAN PARKING SIGN PER 8 & 10/SHEET 17
- 43 ELECTRICAL TRANSFORMER AND DISCONNECT (PRIVATE) AND PROTECTIVE BOLLARDS
- 44 PRIVATE TRANSFORMERS, DISCONNECTS, PULL BOX, FUTURE TRANSFORMER AND PROTECTIVE BOLLARDS ON 5" CONCRETE SLAB + 6" ABOVE ADJACENT PARKING/DRIVEWAYS

JOHN MAHONEY
ARCHITECT

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SITE DEVELOPMENT PLAN

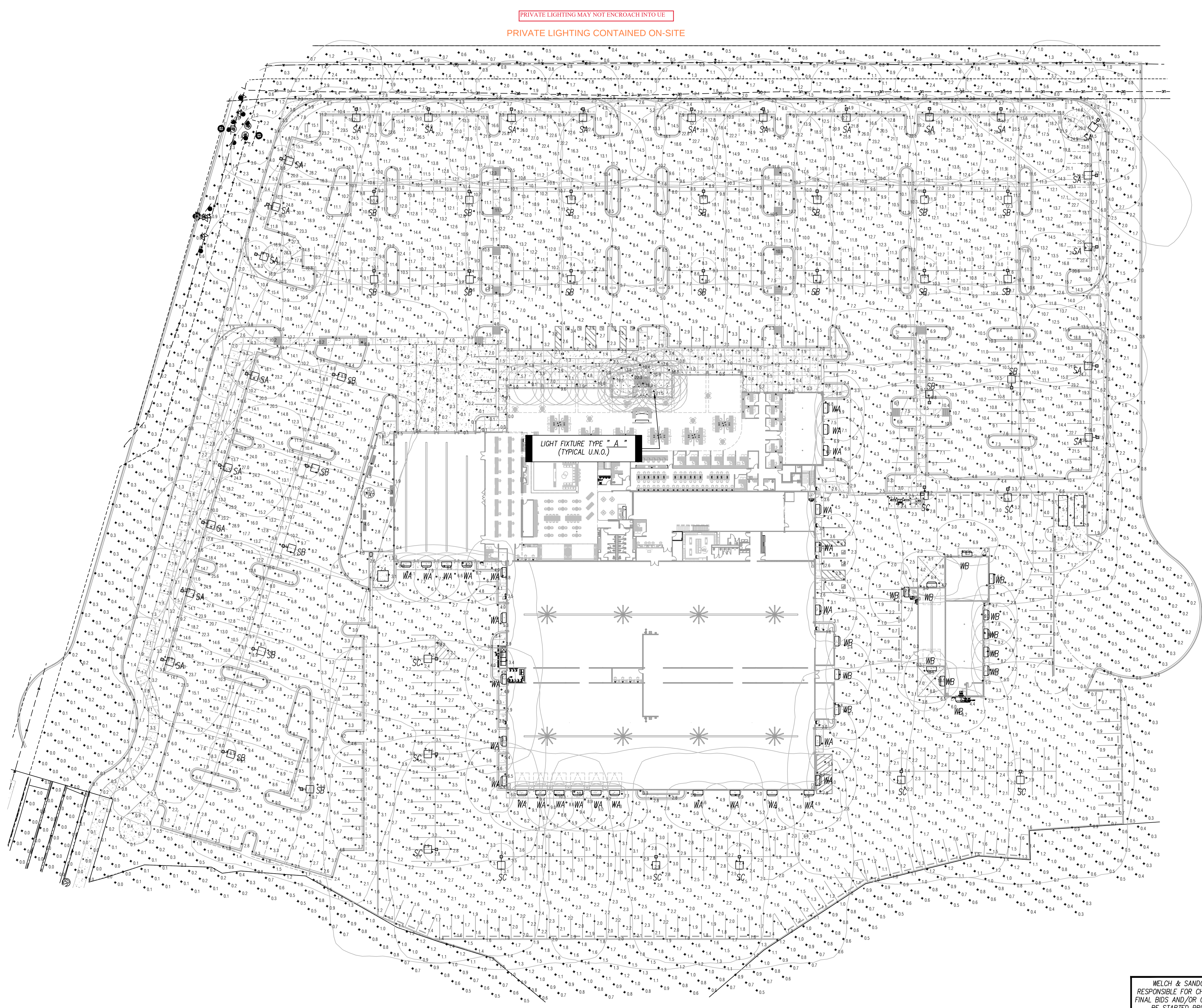
LOTS 1-4 AND TRACT A OF THE MEADOWS 19, LOT 1, FILING No. 1, 1ST AMENDMENT
NORTHWEST 1/4 OF SECTION 27 AND THE NORTHEAST QUARTER OF SECTION 28 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

PROJECT NO.: 2423

ISSUE DATE: 7/21/25

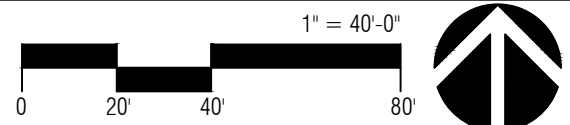
ARCHITECTURAL
ENLARGED SITE PLAN

SYMBOLS LEGEND	
LIGHTING	
	WALL MOUNTED LIGHT FIXTURE
	WALL MOUNTED WALL PACK
	SURFACE OR RECESSED LIGHT FIXTURE
	EXTERIOR EMERGENCY BATTERY PACK
	POLE MOUNTED LIGHT FIXTURE. SEE LIGHT FIXTURE SCHEDULE FOR TYPE AND SPECIFICATION.
POWER	
	SURFACE MOUNTED PANEL BOARD
	20A SPECIFICATION GRADE DUPLEX RECEPTACLE MOUNTED ABOVE COUNTER OR AT HEIGHT AS NOTED IN PLANS.
	DUAL-HEAD EV CHARGER - SEE PLANS AND NOTES FOR EXACT SPECIFICATION.
	SINGLE-HEAD EV CHARGER - SEE PLANS AND NOTES FOR EXACT SPECIFICATION.
CONDUIT	
	JUNCTION BOX (4" MINIMUM)
	CONCEALED CONDUIT
	CONDUIT STUB WITH CAP
	CONDUIT WITH SEAL-OFF
	CONDUIT STUBBED DOWN
	CONDUIT STUBBED UP
	HOMERUN TO PANEL AS NOTED ARROWS REPRESENT QUANTITY OF CIRCUITS.
	BRANCH CIRCUIT CONDUCTORS
	SHORT DASH = PHASE CONDUCTOR
	LONG DASH = NEUTRAL CONDUCTOR
	GROUND CONDUCTOR NOT SHOWN BUT REQUIRED.
	FLEXIBLE CONDUIT PROVIDE SEAL TIGHT IN ALL EXTERIOR AND WET LOCATIONS. PROVIDE SEAL TIGHT TO TRANSFORMERS AND VIBRATING EQUIP.
HVAC	
	FUSIBLE DISCONNECT SWITCH W.P. WHERE INSTALLED OUTDOORS N.F. = NON-FUSED
	MOTOR
	H.P. RATED MOTOR RATED SWITCH WITH THERMAL OVERLOADS.
ABBREVIATIONS	
A	AMPERE (AMP)
AIC	AVAILABLE INTERRUPTING CURRENT
AL	ALUMINUM
AFC	AVAILABLE FAULT CURRENT
AFCI	ARC FAULT CIRCUIT INTERRUPTER
AF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
APS	ARIZONA PUBLIC SERVICE
C	CONDUIT
CCT	CORRECTED COLOR TEMPERATURE
CRI	COLOR RENDERING INDEX
Cu	COPPER
DED	DEDICATED
E	EXISTING
EC	ELECTRICAL CONTRACTOR
EDF	ELECTRIC DRINKING FOUNTAIN
EF	EXHAUST FAN
E.G.	EQUIPMENT GROUND
EM	EMERGENCY. PROVIDE 90-MINUTE BATTERY BACK-UP.
GFCI	GROUND FAULT CIRCUIT INTERRUPTER
GFP	GROUND FAULT PROTECTION
GND	GROUND/BOND CONDUCTOR
IBC	INTERNATIONAL BUILDING CODE
IECC	INTERNATIONAL ENERGY CONSERVATION CODE
I.G.	ISOLATED GROUND
kVA	KILOVOLT AMPERE
M.C.B.	MAIN CIRCUIT BREAKER
M.C.C.	MOTOR CONTROL CENTER
M.L.O.	MAIN LUG ONLY
N	NEW
N.E.C.	NATIONAL ELECTRIC CODE
NL	NIGHT LIGHT - UN-SWITCHED
R	RELOCATED
R.F.I.	REQUEST FOR INFORMATION
S.E.S.	SERVICE ENTRANCE SECTION
SFD	SMOKE FIRE DAMPER
SPD	SURGE SUPPRESSION DEVICE
SRP	SALT RIVER PROJECT
SJU	STUB-UP INTO FURNITURE OR MILLWORK
TSP	TUCSON ELECTRIC POWER
TMB	TELEPHONE MOUNTING BOARD
TTC	TELEPHONE TERMINAL CABINET
UTER	CONCRETE ENCASED ELECTRODE
U.G.	UNDER GROUND
UNO	UNLESS NOTED OTHERWISE
V	VOLT AMPERES
W	WATT
WP	WEATHER PROOF - RAIN TIGHT NEMA 3R OR NEMA 4
WR	WEATHER RESISTANT
X	EXISTING TO BE DEMOLISHED
XP	EXPLOSION PROOF



WELCH & SANDON DESIGN, LLC SHALL NOT BE HELD RESPONSIBLE FOR CHANGE ORDERS THAT MAY OCCUR SHOULD FINAL BIDS AND/OR CONSTRUCTION BASED ON THESE DOCUMENT BE STARTED PRIOR TO PERMIT BEING ISSUED BY AHA.

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PHOTOMETRIC SITE PLAN

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