

PRELIMINARY UTILITY REPORT

for

QuikTrip No. 4273

SDP25-0013

***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

Prepared For (Owner/Developer):

***QuikTrip Corporation
5725 Foxridge Drive
Mission, Kansas 66202***

Prepared By (Engineer):

***Midwest Design Group
P.O. Box 860015
Shawnee, Kansas 66286-0015
913.248.9385***

Date Submitted: 01/30/2026

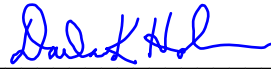
Revisions Log:

Revision No.	Description	Date

UTILITY REPORT APPROVAL BLOCKS

Engineer's Statement:

The enclosed utility report, and exhibits, were prepared by me or under my direct supervision and is correct to the best of my knowledge and belief. Said utility report has been prepared in accordance with applicable Town of Castle Rock criteria and is in conformance with the master utility plans for the affected area. I accept responsibility for any liability caused by negligent acts, errors, or omissions on my part in preparing this report.

Signature: 
Registered Professional Engineer
State Of Colorado No. PE.0056104
(Affix Seal)



Owner/Developer's Statement:

As Owner/Developer of Land(s) identified within this report, I agree to proceed, implement and comply with all recommendations and requirements outlined herein.

QuikTrip Corporation

Name of Developer


Authorized Signature

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PROJECT LOCATION AND DESCRIPTION

QuikTrip Corporation is proposing to build a new convenience store with fuel offerings on the northwest corner of the intersection of Wolfensberger Road and Caprice Drive in Castle Rock, Douglas County, Colorado. This will be an infill development. The existing property is developed commercial land. The property currently contains a former restaurant, a strip center and a restaurant in a standalone structure.

The property is bordered on the north by a commercial property (Safelite AutoGlass), on the west by a commercial property (OYO Hotel), on the east by Caprice Drive, and on the south by Wolfensberger Road.

The QuikTrip development will include a convenience store, auto fuel canopy, parking lot, and private drive entrances. The store will be oriented to face Caprice Drive (east) with an auto fuel canopy between the store and Caprice Drive. The new QuikTrip facility will be constructed on properties currently platted as *Lot 1A, Village North Amended Subdivision Reception #254392 (Parcel #2505-023-12-008)* and *Lot 1 and Lot 2, William's Subdivision Reception #348102 & Correction #9021814 (Parcel #2505-023-13-012)*. The entire property is currently zoned B (Business/Commercial) and is also in the Wolfensberger North Overlay District and contains 80,520 s.f. The Utility Plan is included in Appendix E of this report for reference.

CALCULATED WATER DEMANDS

The following domestic water demands have been calculated using the Town of Castle Rock Water System Design Manual:

Average Day Demand* (ADD) = 1,200 GPD/Acre X 2 Acre = 2,400 GPD

Single Family Equivalent (SFE) = 3/Acre X 2 Acre = 6

Maximum Day Demand (MDD) = 2,400 GPD X 2.5 = 6,000 GPD

Peak Hour Demands (PHD) = 2,400 GPD X 5.5 = 13,200 GPD

*Based on land use of industrial/other commercial.

The land use includes irrigation. The Final Utility Report will include detailed irrigation information based on the final design.

EXISTING WATER SYSTEM

From the Town's utility map, there is a 6" PVC water main that reaches the northwest corner of the property, a 12" DIP water main along the north side of Wolfensberger Road and an 8" DIP water main along the west side of Caprice Drive. There appears to be four (4) existing water service lines to this property. The property lies within the Town of Castle Rock Pressure Zone Designation of 2 (Yellow).

207 W Wolfensberger Road - There is an existing external 1-1/2" commercial water meter with irrigation at the northwest corner of the property that services this former restaurant. This service appears to tap off the existing 6" PVC water main north of the OYO Hotel. This service line and meter will be utilized for the irrigation service line for the new QT site. The existing

fire hydrant at this corner will remain. The domestic service line will also tap off of this 6" water main.

1001, 1003, 1007 & 1011 Caprice Drive (Strip Center) - The strip center appears to get their water service from the 12" DIP water main along the north side of Wolfensberger Road. The meter appears to be located inside the building. The water service size and meter are unknown. This service line and meter will be removed.

107 W Wolfensberger Road - The existing restaurant at 107 W Wolfensberger Road appears to have two service lines from the existing 8" DIP water main along the west side of Caprice Drive. These two water service lines and meters will be removed.

Fire Hydrant Coverage - There are two existing fire hydrants that will provide fire protection for this property. There is an existing fire hydrant at the northwest corner of the property (as mentioned earlier) that is connected to the 6" water main north of the OYO Hotel. There is an existing fire hydrant at the southeast corner of the property that is connected to the 12" water main along the north side of Wolfensberger Road. Both are called out on the Utility Plan.

Fire flow tests need to be performed at each of the existing fire hydrants if current data is not available.

For this development, the minimum fire flow for the water distribution system is 1,500 gpm.

CALCULATED WATER STORAGE VOLUME

Based on an assumed 2,250 gpm two-hour fire and an MDD rate of 5 gpm (rounded up to nearest whole number):

5 gpm X 60min/hr X 24 hrs = 7,200 gallons
+ 2,250 gpm X 60min/hr X 2 hrs = 270,000 gallons
Total required storage = 277,200 gallons (0.2772 MG)

Refer to Confirmation Memo of Required Fire Flow in the Appendix B2.

PROPOSED WATER SYSTEM

As stated above, QuikTrip will utilize the existing water service line for 207 W Wolfensberger Road for irrigation. A second domestic service line will be tapped from the 6" main at the NW corner of the site. The final domestic meter size will be based on the required demand of the total building water supply fixture units and any additional water usage, as shown on the commercial fixture unit worksheet to be provided to the Town of Castle Rock at the time of building permitting. Any future development of the existing water infrastructure needed to serve this site is the responsibility of the developer.

CALCULATED WASTEWATER FLOWS

The following domestic water demands have been calculated using the Town of Castle Rock Wastewater Collection Design Manual:

Average Day Wastewater Flows* (ADF) = 600 GPD/AC X 2 Acres = 1,200 GPD (.0012 MGD)

Peaking Factor = $3.65 \times (0.0012^{-0.168}) = 11.30 > 5$; therefore PF = 5

Peak Design Flows (PDF) = (1,200 GPD X 5) + (1,200 X 0.10) = 6,120 GPD (.00612 MGD)

*Based on land use of industrial/other commercial.

EXISTING WASTEWATER SYSTEM

There is an existing 8" VCP sanitary sewer main on the north side of the OYO Hotel that extends to the northwest corner of the QuikTrip property. There is an existing 8" VCP sanitary sewer main under Caprice Drive that extends to the northeast corner of the QuikTrip property.

207 W Wolfensberger Road - It is assumed the sanitary sewer service line from the former restaurant at 207 W Wolfensberger Road ties into the main north of the OYO Hotel. The existing sanitary sewer service line will be located during SUE operations. This existing service will be utilized for the QuikTrip development. This property has a grease interceptor that will be removed during demolition operations. According to the ALTA survey (included in the Appendix F), the existing service line size and condition will need to be verified with the SUE operations.

1001, 1003, 1007 & 1011 Caprice Drive (Strip Center) - The sanitary sewer service line location for the strip center is unknown. The sanitary sewer service location will be determined during SUE operations. The sewer service line will be disconnected at the main once the location is determined.

107 W Wolfensberger Road - The existing restaurant sanitary sewer service appears to connect to the sanitary sewer main along Caprice Drive. This sewer service will be capped at the east property line. There is an existing grease interceptor servicing this property that will be removed during demolition operations.

PROPOSED WASTEWATER SYSTEM

As stated above, the existing service line for 107 W Wolfensberger Road will be utilized for the QuikTrip facility if the size and condition are adequate. If the existing sewer service is not of adequate size and condition it will be replaced in its entirety. Any future development of the existing wastewater infrastructure needed to serve this site is the responsibility of the developer.

POTENTIAL PERMITTING REQUIREMENTS

Town of Castle Rock Building Permit
Colorado Department of Public Health & Environment (CDPHE)
Plum Creek Water Reclamation Authority (PCWRA)

REFERENCES

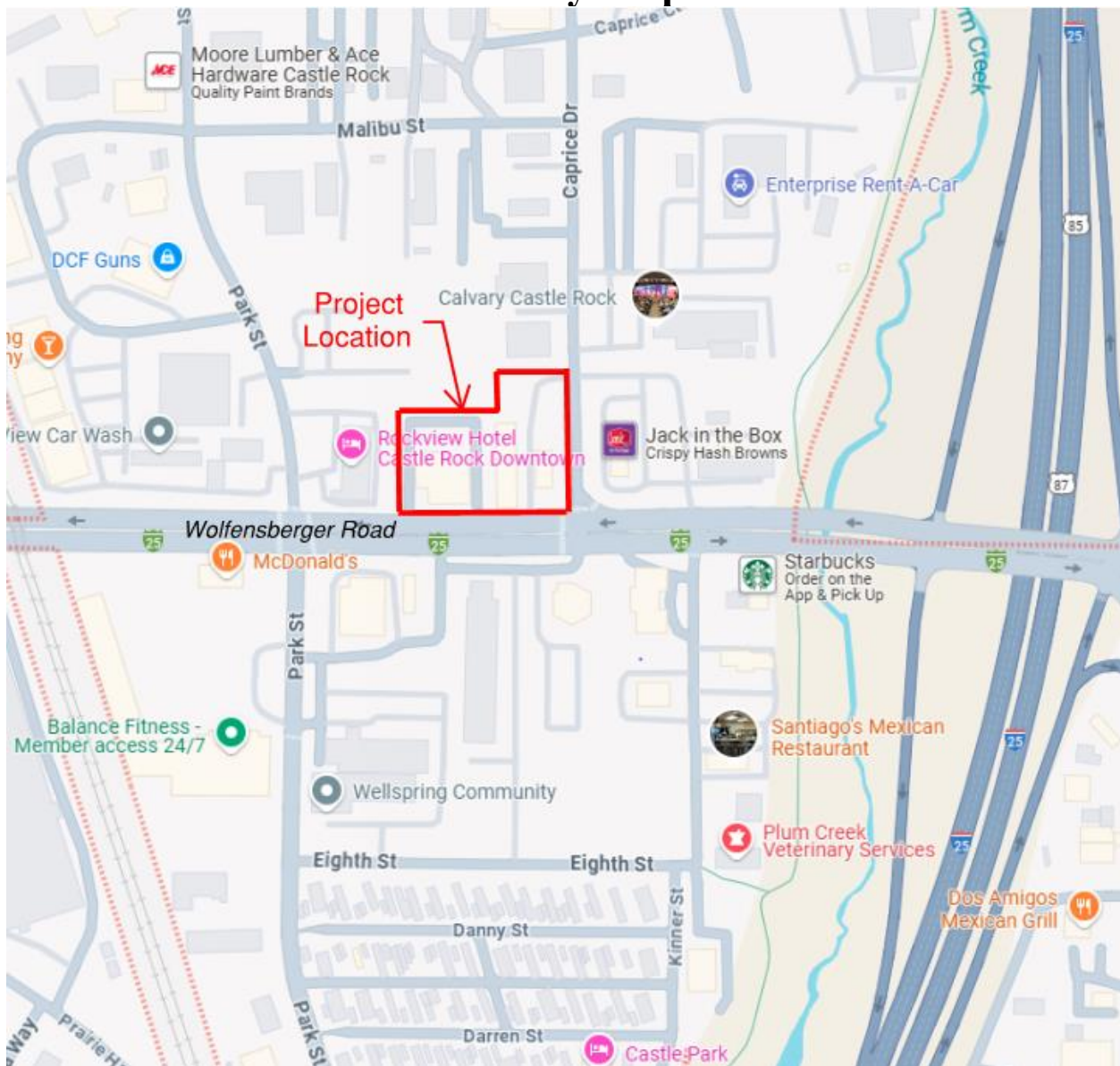
Town of Castle Rock Wastewater Collection Design
Town of Castle Rock Water System Design
Colorado Department of Public Health & Environment (CDPHE)
Town of Castle Rock Utilities Department

QuikTrip No. 4273

*Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109*

APPENDIX A

Vicinity Map

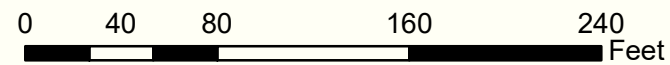
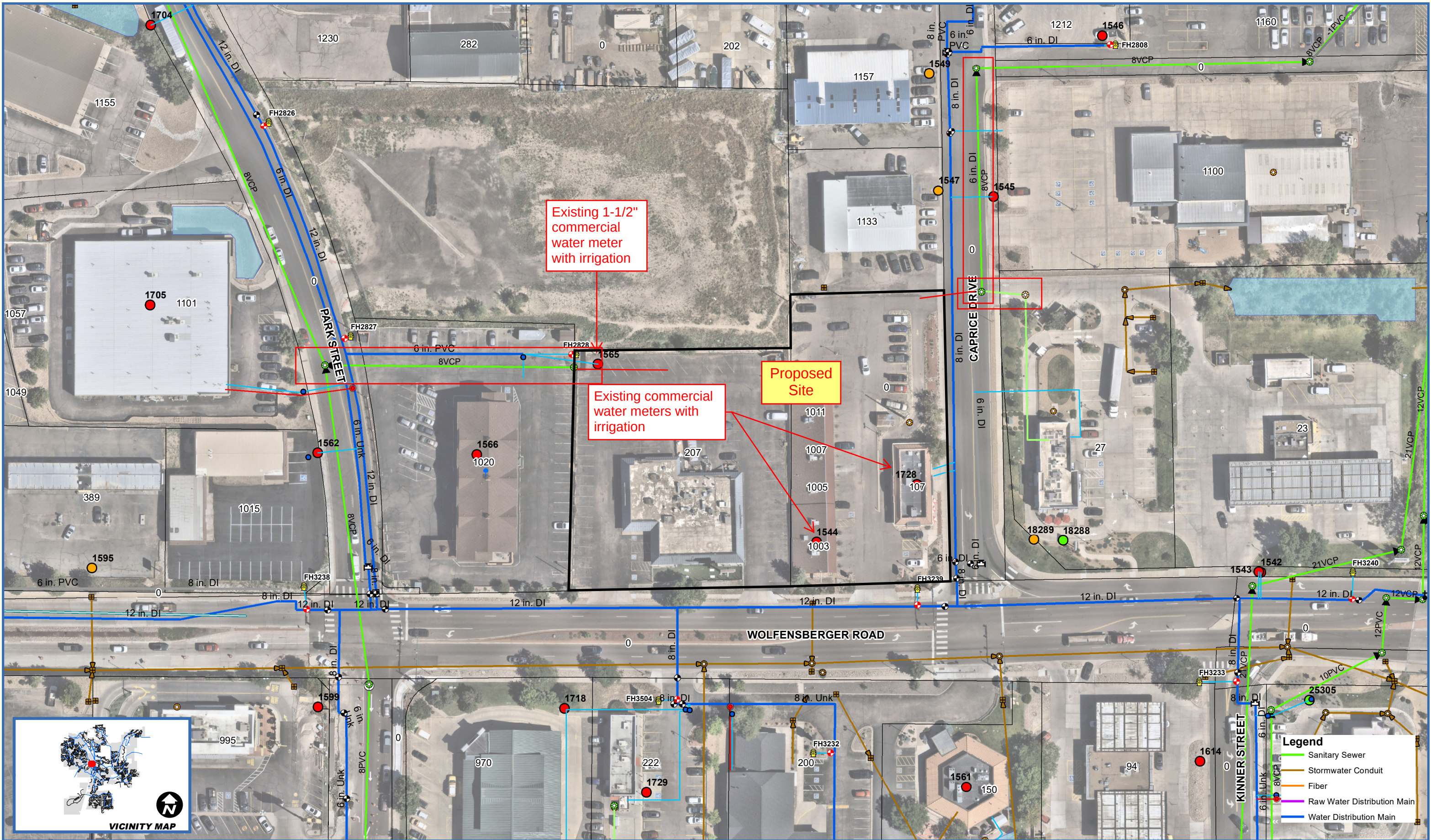


QuikTrip No. 4273

***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

APPENDIX B

Utility Map



Disclaimer: The data presented has been compiled from various sources, each of which introduces varying degrees of inaccuracies or inconsistencies. Such discrepancies in data are inherent in and supplying this product the Town of Castle Rock assumes no liability for its use or accuracy. Questions or comments regarding the cartographic composition of this map including, but not limited to, errors, omissions, corrections, and/or updates, should be directed to the Utilities Department, Town of Castle Rock, (720) 733-6900. Copyright 2024, Town of Castle Rock Utilities Mapping.

**CASTLE ROCK
UTILITIES MAP
(INTERNAL USE ONLY)**

Date: 11/27/2024

Document Path: J:\GIS\Standard Maps\10.6\11x17 LndScp.mxd

QuikTrip No. 4273

***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

APPENDIX B2

Confirmation Memo of Required Fire Flow

December 15, 2025

Castle Rock Fire and Rescue Department
300 Perry Street
Castle Rock, CO 80104

RE: Confirmation Memo of Required Fire Flow

To Life Safety Division,

Please accept the following required fire flow evaluation(s) based upon the currently adopted 2018 International Fire Code for review and confirmation for each of the following proposed buildings.

QuikTrip Store No. 4273

NE Corner of Wolfensberger Road and Caprise Drive (address not assigned)

Total Fire Flow Calculation Area: **6,445-square feet**

Building Construction Type: **VB**

Are fire sprinklers provided throughout this building? **NO**

Are you proposing a reduction in Required Fire Flow for fire sprinklers? **NO**

Are Fire walls provided in this building? **NO**

Reference Appendix B, Table B105.1

Required Fire Flow: **2,250 gpm at 20-psi**

Flow Duration: **2-hours**

Reference Appendix C, Table C105.1

Required Number of Fire Hydrants: **2**

Maximum Average Spacing: **450'**

Maximum Distance from Fire Hydrant to Building: **193.15-feet**

Provided Hydrant Spacing: **375'**

Design Engineers Signature: *Darla K. Holman* Date: *12-15-2025*

The determined Required Fire Flow, Number of Fire Hydrants and Hydrant Spacing as shown above satisfy the fire protection requirements of the Castle Rock Fire and Rescue Department.

Final fire hydrant placement will be determined and approved during the Site Development (SDP) and/or Construction Document (CD) review phase.

Castle Rock Fire Signature: _____ Date: *12/18/25*

Fire Department Plan Review Number: *18765*

**FIRE REVIEW AND
PERMIT - 18765**

These plans have been reviewed for the adopted fire code by Castle Rock Fire and Rescue Department, and are:

Approved

Fire and Life Safety Division on 12/18/2025 9:53 AM. Signature of Plans Reviewer:

Alyssa Moore
Alyssa Moore
ICCS/STATE Certification number: 245317922



Review and approval are for general compliance and compatibility with the design as outlined by the adopted fire code, adopted building code and NFPA standards of the submitted structural and fire protection documents. The contractor and fire protection company shall be responsible for complying with the stamped plan/documents and coordination of the work of those trades associated with the required fire and life safety elements of these stamped plans.



P.O. Box 860015
Shawnee, KS 66286
Tel: 913-248-9385
www.mdg-kc.com

QuikTrip No. 4273

***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

APPENDIX C

**Commercial Business Building Permit
Grease Interceptor Requirement Form**



Commercial Business Building Permit

Grease Interceptor Requirement

All Commercial Business Building Permits for new business and construction of new buildings, remodels, or tenant improvement permits will be required to comply with Town Code 13.05, Grease Interceptors Required. Applicant will be required to submit an Industry Information Questionnaire through Plum Creek Water Reclamation Authority (PCWRA) to verify if the business will require an oil/grease interceptor. Please go to the PCWRA website at:

https://www.pcwracolorado.org/pretreatment/commercial_businesses/index.php

CONSTRUCTION DRAWINGS

Please note PCWRA requires all new commercial buildings to provide a stub-out for a separate waste line for future interceptor installation, if not proposed with the project. All drainage fixtures and grease waste lines that are tied to the oil/grease must be shown in the construction drawings as well as the location of the oil/grease.

ACKNOWLEDGEMENT

The applicant must sign and date this form to acknowledge that the applicant has read and understands the Town's Code requirement regarding Grease Interceptors, PCWRA's requirement to complete an Industry Information Questionnaire and Food Service Application, and the Town's requirement that a letter from PCWRA must be provided with the Town of Castle Rock Building Permit. This signed form is required to be included in the Utility Report with the Predevelopment Plan (PDP), Site Development Plan (SDP) and Construction Document (CD) submittals.

QuikTrip #4273

Name of Project

Wolfensberger Road and Caprice Drive

Address of property, if known

Sara Linbach

Signature

August 29th, 2025

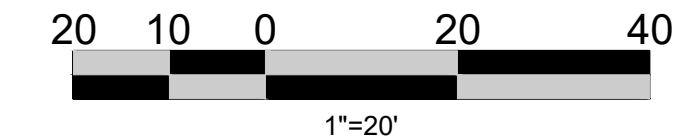
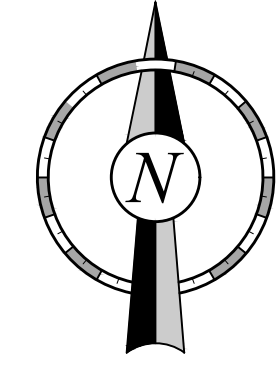
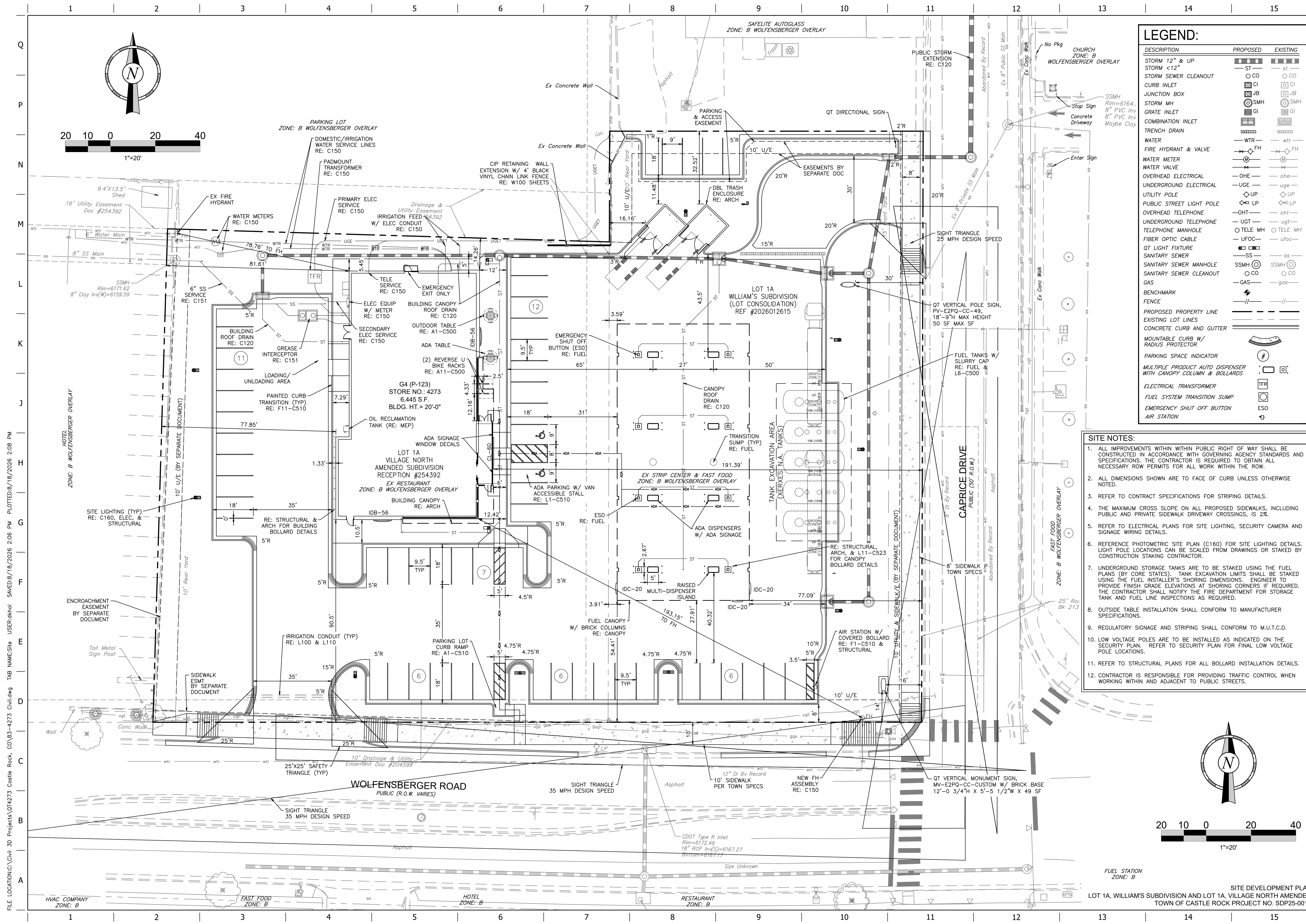
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QuikTrip No. 4273

***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

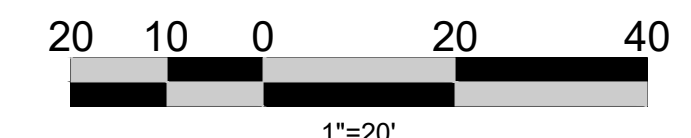
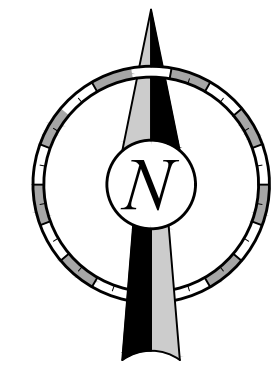
APPENDIX D

Site Development Plan



LEGEND:		
DESCRIPTION	PROPOSED	EXISTING
STORM 12" & UP	ST	st
STORM <12"	CO	co
STORM SEWER CLEANOUT	CO	co
CURB INLET	CI	ci
JUNCTION BOX	JB	jb
STORM MH	SMH	smh
GRATE INLET	GI	gi
COMBINATION INLET		
TRENCH DRAIN	WTR	wtr
WATER	WTR	wtr
FIRE HYDRANT & VALVE	FH	fh
WATER METER		
WATER VALVE		
OVERHEAD ELECTRICAL	OHE	ohe
UNDERGROUND ELECTRICAL	UGE	uge
UTILITY POLE	UP	up
PUBLIC STREET LIGHT POLE	LP	lp
OVERHEAD TELEPHONE	OHT	oht
UNDERGROUND TELEPHONE	UGT	ugt
TELEPHONE MANHOLE	TELE MH	tele mh
FIBER OPTIC CABLE	UFOC	ufoc
QT LIGHT FIXTURE		
SANITARY SEWER	SS	ss
SANITARY SEWER MANHOLE	SSMH	ssmh
SANITARY SEWER CLEANOUT	CO	co
GAS	GAS	gas
BENCHMARK		
FENCE		
PROPOSED PROPERTY LINE		
EXISTING LOT LINES		
CONCRETE CURB AND GUTTER		
MOUNTABLE CURB W/ RADIUS PROTECTOR		
PARKING SPACE INDICATOR		
MULTIPLE PRODUCT AUTO DISPENSER WITH CANOPY COLUMN & BOLLARDS		
ELECTRICAL TRANSFORMER	TFR	tfr
FUEL SYSTEM TRANSITION SUMP	ESO	eso
EMERGENCY SHUT OFF BUTTON		
AIR STATION		

- SITE NOTES:**
- ALL IMPROVEMENTS WITHIN PUBLIC RIGHT OF WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH GOVERNING AGENCY STANDARDS AND SPECIFICATIONS. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY ROW PERMITS FOR ALL WORK WITHIN THE ROW.
 - ALL DIMENSIONS SHOWN ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 - REFER TO CONTRACT SPECIFICATIONS FOR STRIPING DETAILS.
 - THE MAXIMUM CROSS SLOPE ON ALL PROPOSED SIDEWALKS, INCLUDING PUBLIC AND PRIVATE SIDEWALK DRIVEWAY CROSSINGS, IS 2%.
 - REFER TO ELECTRICAL PLANS FOR SITE LIGHTING, SECURITY CAMERA AND SIGNAGE WIRING DETAILS.
 - REFERENCE PHOTOMETRIC SITE PLAN (C160) FOR SITE LIGHTING DETAILS. LIGHT POLE LOCATIONS CAN BE SCALED FROM DRAWINGS OR STAKED BY CONSTRUCTION STAKING CONTRACTOR.
 - UNDERGROUND STORAGE TANKS ARE TO BE STAKED USING THE FUEL PLANS (BY CORE STATES). TANK EXCAVATION LIMITS SHALL BE STAKED USING THE FUEL INSTALLER'S SHORING DIMENSIONS. ENGINEER TO PROVIDE FINISH GRADE ELEVATIONS AT SHORING CORNERS IF REQUIRED. THE CONTRACTOR SHALL NOTIFY THE FIRE DEPARTMENT FOR STORAGE TANK AND FUEL LINE INSPECTIONS AS REQUIRED.
 - OUTSIDE TABLE INSTALLATION SHALL CONFORM TO MANUFACTURER SPECIFICATIONS.
 - REGULATORY SIGNAGE AND STRIPING SHALL CONFORM TO M.U.T.C.D.
 - LOW VOLTAGE POLES ARE TO BE INSTALLED AS INDICATED ON THE SECURITY PLAN. REFER TO SECURITY PLAN FOR FINAL LOW VOLTAGE POLE LOCATIONS.
 - REFER TO STRUCTURAL PLANS FOR ALL BOLLARD INSTALLATION DETAILS.
 - CONTRACTOR IS RESPONSIBLE FOR PROVIDING TRAFFIC CONTROL WHEN WORKING WITHIN AND ADJACENT TO PUBLIC STREETS.



PROJECT NO.: 83-4273

MG

Midwest Design Group
Kansas City

PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

SITE DEVELOPMENT PLAN

QuikTrip No. 4273

WOLFENBERGER ROAD & CAPRICE DRIVE
CASTLE ROCK, DOUGLAS COUNTY, COLORADO 80109



PROTOTYPE: P-123
DIVISION: 83
VERSION: 001
DESIGNED BY: DKH
DRAWN BY: CSH
REVIEWED BY: AMG

REV	DATE	DESCRIPTION

SHEET TITLE:
**SITE DEVELOPMENT PLAN
SITE PLAN**

SHEET NUMBER:
2 OF 18

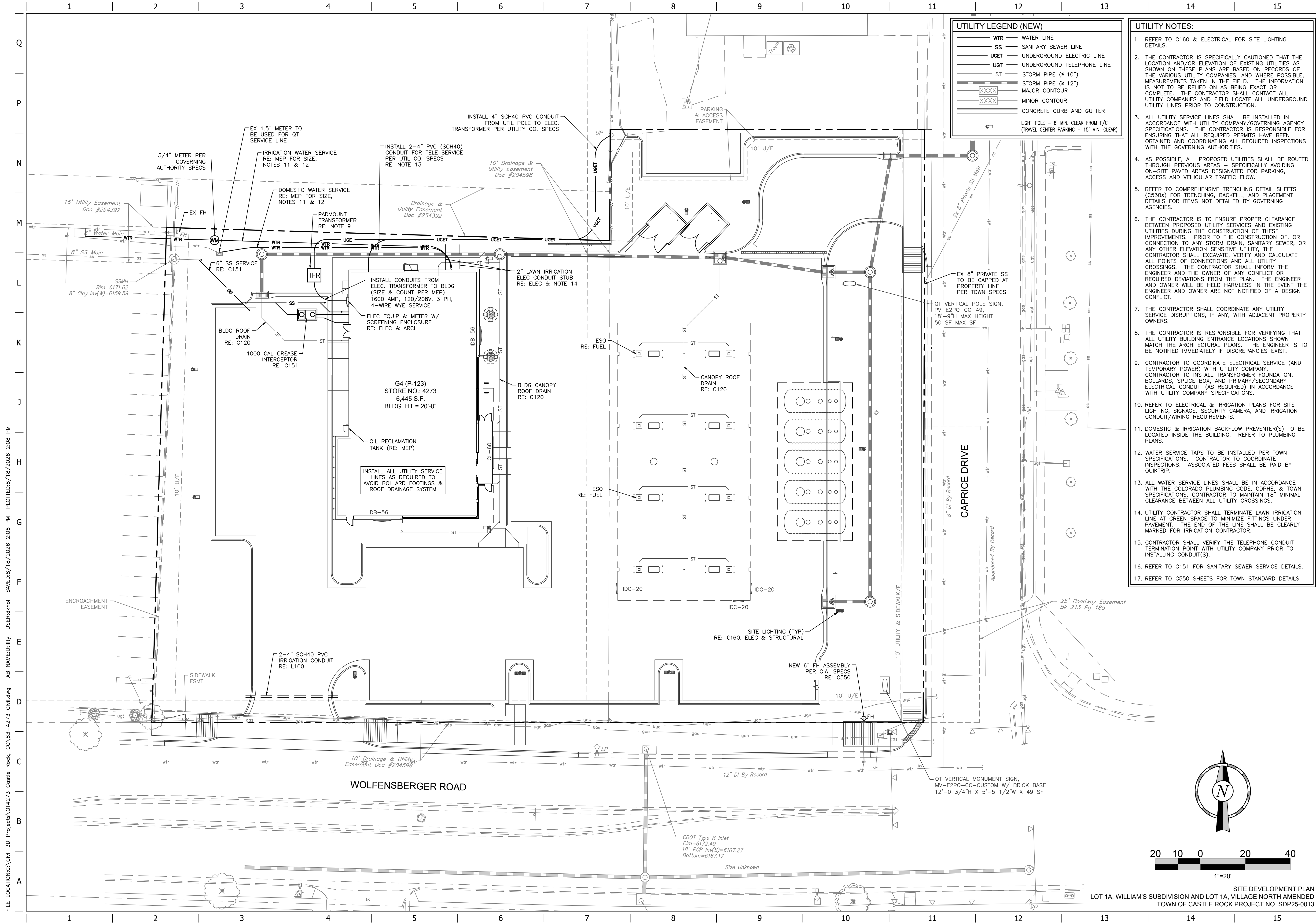
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QuikTrip No. 4273

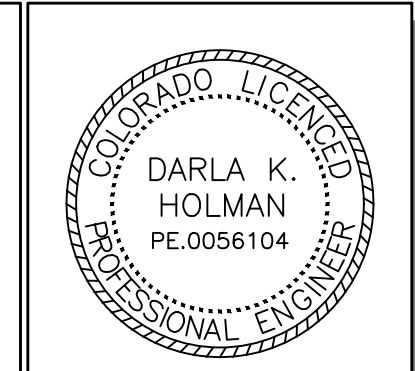
***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

APPENDIX E

Utility Plan



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PROJECT NO.: 83-4273



PO Box 860015
Shawnee, KS 66286-0015
P 913.248.9385

SITE DEVELOPMENT PLAN
QuikTrip No. 4273
WOLFENBERGER ROAD & CAPRICE DRIVE
CASTLE ROCK, DOUGLAS COUNTY, COLORADO 80109



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PROTOTYPE: P-123
DIVISION: 83
VERSION: 001
DESIGNED BY: DKH
DRAWN BY: CSH
REVIEWED BY: AMG

REV	DATE	DESCRIPTION

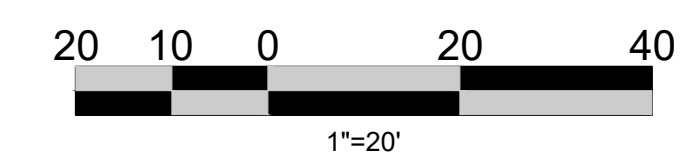
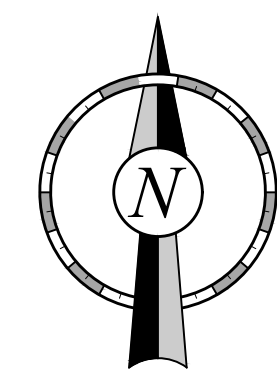
SHEET TITLE:
SITE DEVELOPMENT PLAN
UTILITY PLAN

SHEET NUMBER:

6 OF 18

ORIGINAL ISSUE DATE: 08/17/2026

- UTILITY LEGEND (NEW)**
- WTR — WATER LINE
 - SS — SANITARY SEWER LINE
 - UGET — UNDERGROUND ELECTRIC LINE
 - UGT — UNDERGROUND TELEPHONE LINE
 - ST — STORM PIPE (≤ 10")
 - ST — STORM PIPE (≥ 12")
 - MAJOR CONTOUR
 - MINOR CONTOUR
 - CONCRETE CURB AND GUTTER
 - LIGHT POLE — 6" MIN. CLEAR FROM F/C (TRAVEL CENTER PARKING — 15' MIN. CLEAR)
- UTILITY NOTES:**
- REFER TO C160 & ELECTRICAL FOR SITE LIGHTING DETAILS.
 - THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS ARE BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES AND FIELD LOCATE ALL UNDERGROUND UTILITY LINES PRIOR TO CONSTRUCTION.
 - ALL UTILITY SERVICE LINES SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY/GOVERNING AGENCY SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL REQUIRED PERMITS HAVE BEEN OBTAINED AND COORDINATING ALL REQUIRED INSPECTIONS WITH THE GOVERNING AUTHORITIES.
 - AS POSSIBLE, ALL PROPOSED UTILITIES SHALL BE ROUTED THROUGH PERVIOUS AREAS. SPECIFICALLY AVOIDING ON-SITE PAVED AREAS DESIGNATED FOR PARKING, ACCESS AND VEHICULAR TRAFFIC FLOW.
 - REFER TO COMPREHENSIVE TRENCHING DETAIL SHEETS (C5308) FOR TRENCHING, BACKFILL, AND PLACEMENT DETAILS FOR ITEMS NOT DETAILED BY GOVERNING AGENCIES.
 - THE CONTRACTOR IS TO ENSURE PROPER CLEARANCE BETWEEN PROPOSED UTILITY SERVICES AND EXISTING UTILITIES DURING THE CONSTRUCTION OF THESE IMPROVEMENTS. PRIOR TO THE CONSTRUCTION OF, OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, OR ANY OTHER ELEVATION SENSITIVE UTILITY, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTIONS AND ALL UTILITY CROSSINGS. THE CONTRACTOR SHALL INFORM THE ENGINEER AND THE OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. THE ENGINEER AND OWNER WILL BE HELD HARMLESS IN THE EVENT THE ENGINEER AND OWNER ARE NOT NOTIFIED OF A DESIGN CONFLICT.
 - THE CONTRACTOR SHALL COORDINATE ANY UTILITY SERVICE DISRUPTIONS, IF ANY, WITH ADJACENT PROPERTY OWNERS.
 - THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL UTILITY BUILDING ENTRANCE LOCATIONS SHOWN MATCH THE ARCHITECTURAL PLANS. THE ENGINEER IS TO BE NOTIFIED IMMEDIATELY IF DISCREPANCIES EXIST.
 - CONTRACTOR TO COORDINATE ELECTRICAL SERVICE (AND TEMPORARY POWER) WITH UTILITY COMPANY. CONTRACTOR TO INSTALL TRANSFORMER FOUNDATION, BOLLARDS, SPLICE BOX, AND PRIMARY/SECONDARY ELECTRICAL CONDUIT (AS REQUIRED) IN ACCORDANCE WITH UTILITY COMPANY SPECIFICATIONS.
 - REFER TO ELECTRICAL & IRRIGATION PLANS FOR SITE LIGHTING, SIGNAGE, SECURITY CAMERA, AND IRRIGATION CONDUIT/WIRING REQUIREMENTS.
 - DOMESTIC & IRRIGATION BACKFLOW PREVENTER(S) TO BE LOCATED INSIDE THE BUILDING. REFER TO PLUMBING PLANS.
 - WATER SERVICE TAPS TO BE INSTALLED PER TOWN SPECIFICATIONS. CONTRACTOR TO COORDINATE INSPECTIONS. ASSOCIATED FEES SHALL BE PAID BY QUIKTRIP.
 - ALL WATER SERVICE LINES SHALL BE IN ACCORDANCE WITH THE COLORADO PLUMBING CODE, COPPE, & TOWN SPECIFICATIONS. CONTRACTOR TO MAINTAIN 18" MINIMAL CLEARANCE BETWEEN ALL UTILITY CROSSINGS.
 - UTILITY CONTRACTOR SHALL TERMINATE LAWN IRRIGATION LINE AT GREEN SPACE TO MINIMIZE FITTINGS UNDER PAVEMENT. THE END OF THE LINE SHALL BE CLEARLY MARKED FOR IRRIGATION CONTRACTOR.
 - CONTRACTOR SHALL VERIFY THE TELEPHONE CONDUIT TERMINATION POINT WITH UTILITY COMPANY PRIOR TO INSTALLING CONDUIT(S).
 - REFER TO C151 FOR SANITARY SEWER SERVICE DETAILS.
 - REFER TO C550 SHEETS FOR TOWN STANDARD DETAILS.



SITE DEVELOPMENT PLAN
LOT 1A, WILLIAM'S SUBDIVISION AND LOT 1A, VILLAGE NORTH AMENDED
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0013

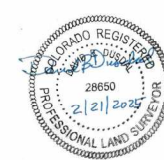
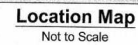
QuikTrip No. 4273

***Wolfensberger Road & Caprice Drive
Castle Rock, Douglas County, Colorado 80109***

APPENDIX F

ALTA Survey

A PART OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



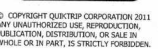
	BOULDER
	POST - BOLLARD
	SIGN
	SANITARY / COMBINATION / SEPTIC MANHOLE
	STORM MANHOLE
	INLET - RECTANGLE
	INLET - ROUND
	WATER METER
	WATER SERVICE SHUTOFF
	WATER VALVE
	FIRE HYDRANT
	GAS METER
	ELECTRIC METER
	ELECTRIC PEDESTAL
	ELECTRIC LIGHT - POST
	ELECTRIC LIGHT - AREA / YARD
	ELECTRIC LIGHT - PARKING LOT
	ELECTRIC LIGHT - STREET
	ELECTRIC TRANSFORMER
	COMMUNICATIONS HANDHOLE / VAULT
	COMMUNICATIONS PEDESTAL
	CLEANOUT
	UTILITY POLE
	GUY WIRE
	TRAFFIC CABINET
	TRAFFIC SIGNAL W/ MAST
	TRAFFIC BOX / HAND HOLE
	BUSH
	DECIDUOUS TREE
	EVERGREEN TREE
	BUILDING LINE
	FENCE LINE
	STORM SEWER LINE
	SANITARY SEWER LINE
	COMMUNICATION LINE
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	WATER LINE
	NATURAL GAS LINE
	FIBER OPTIC LINE
	GROUND CONTOUR WITH ELEVATION
	SUBJECT PROPERTY BOUNDARY
	PARCEL LINE
	RIGHT OF WAY LINE (R.O.W.)
	EASEMENT LINE
	SCHEDULE B PART II EXCEPTION NOTE REFERENCE NUMBER (PER FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FILE NO. 00505501-201-TH7-NB)
	SCHEDULE B PART II EXCEPTION NOTE REFERENCE NUMBER (PER FIDELITY NATIONAL TITLE INSURANCE COMPANY COMMITMENT FILE NO. 00505502-201-TH7-NB)
	GENERAL NOTES

BM #102: SET MAG NAIL WITH WASHER IN ASPHALT ON THE
SOUTHEAST SIDE OF A WATER METER LOCATED NEAR
THE NORTHWEST CORNER OF LOT 1A.
ELEV=6171.73

BM #105: SET MAG NAIL WITH WASHER IN ASPHALT PARKING LOT
NEAR THE SOUTHEAST CORNER OF LOT 1A.
ELEV=6175.39



CASTLE ROCK, COLORADO



PROTOTYPE: P-90 (01/02/17)
DIVISION:
VERSION: 001
DESIGNED BY: DBD
DRAWN BY: SJP
REVIEWED BY: JDA

[illegible]

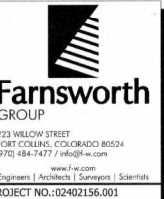
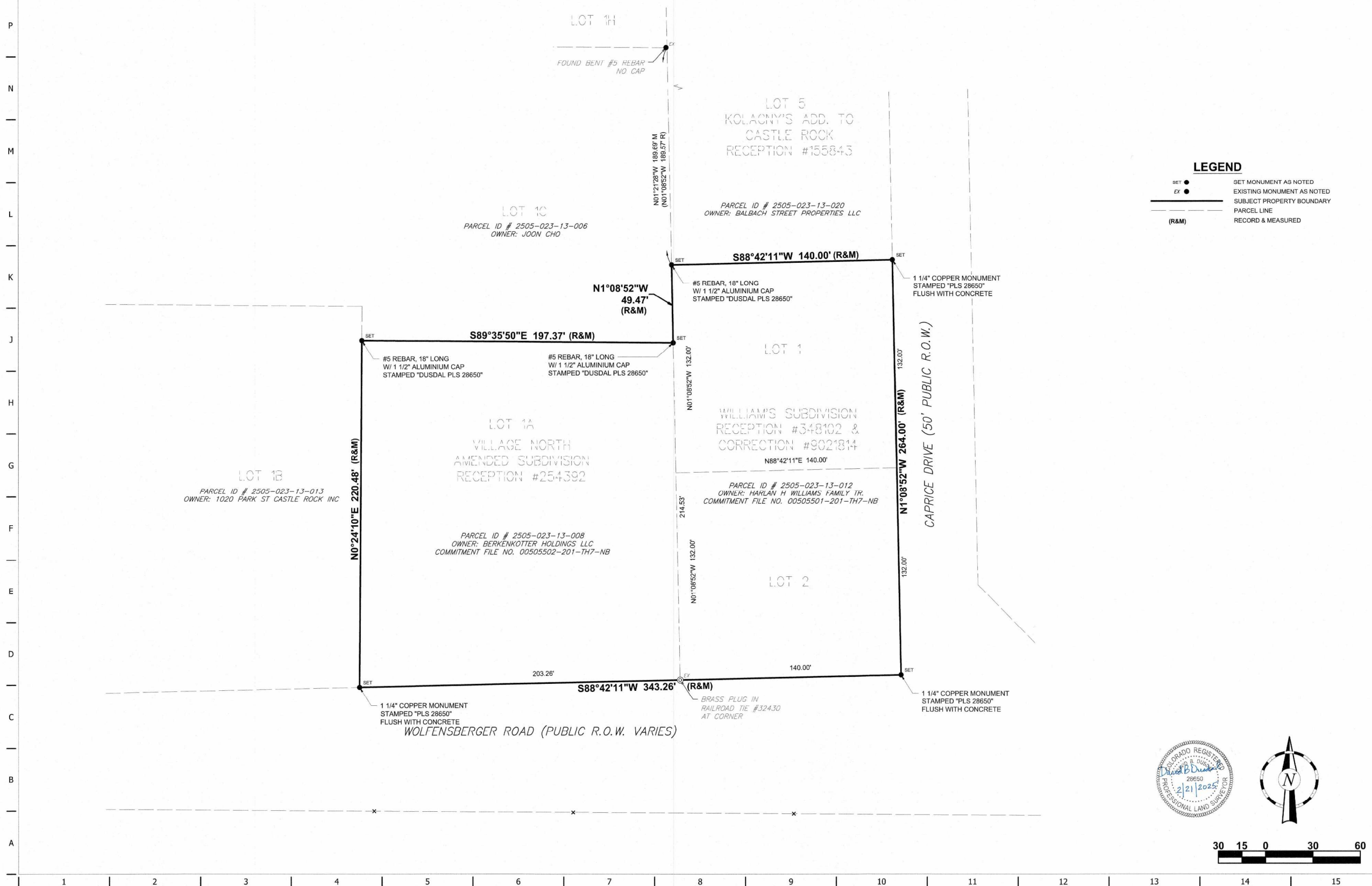
			ORIGINAL ISSUE DATE: 01/17/2025
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SHEET TITLE:
ALTA/NSPS LAND TITLE
SURVEY

SHEET NUMBER:

1

A PART OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



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[illegible]

SHEET TITLE:

ALTA/NSPS LAND TITLE
SURVEY

SHEET NUMBER

2

A PART OF THE SOUTHWEST QUARTER OF SECTION 2, TOWNSHIP 8 SOUTH, RANGE 67 WEST, OF THE SIXTH PRINCIPAL MERIDIAN, TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

- NOT SURVEY RELATED.**

- NOT PLOTTABLE, SEE DOCUMENT FOR PARTICULARS**



[illegible]