

PURPOSE STATEMENT

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SUB-DIVIDE TRACT V OF DAWSON TRAILS FILING NO. 2 TO DEVELOP SINGLE FAMILY ATTACHED DWELLINGS WITH ASSOCIATED RIGHT-OF-WAYS.

LEGAL DESCRIPTION:

TRACT V, DAWSON TRAILS FILING NO. 2 PER PLAT RECORDED AT THE DOUGLAS COUNTY CLERK AND RECORDER ON DECEMBER 24, 2025, AT RECEPTION NO. 2025061713, AND RE-RECORDED ON MARCH 4, 2026 AT RECEPTION NO. 2026010146 TO REFLECT THE ANNEXATION OF CERTAIN PROPERTY.

SAID PARCEL CONTAINS 365,715 SQUARE FEET (8.396 ACRES), MORE OR LESS.

CERTIFICATE OF DEDICATION AND OWNERSHIP:

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO, DESCRIBED HEREIN, HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, TRACTS, STREETS, AND EASEMENTS AS SHOWN ON THIS PLAT, UNDER THE NAME AND STYLE OF DAWSON TRAILS FILING NO. 2, AMENDMENT NO. 5. THE UNDERSIGNED HEREBY DEDICATE TO THE TOWN OF CASTLE ROCK FOR PURPOSES OF OWNERSHIP AND MAINTENANCE ALL PUBLIC STREETS AS PLATTED, AND FOR PURPOSES OF OWNERSHIP ALL UTILITY EASEMENTS, DRAINAGE AND UTILITY EASEMENTS, PUBLIC ACCESS TO INCLUDE EASEMENTS OVER TRAILS, EMERGENCY AND MAINTENANCE INGRESS AND EGRESS AS DESCRIBED AND SHOWN HEREON. ALL TRACTS WILL BE DEDICATED TO METRO DISTRICT BY SEPARATE INSTRUMENT FOR THE PURPOSE OF OPEN SPACE, PARK, DRAINAGE AND PRIVATE ACCESS.

THE UNDERSIGNED HEREBY FURTHER DEDICATE TO THE PUBLIC UTILITIES AND CABLEVISION THE RIGHT TO INSTALL, MAINTAIN, AND OPERATE MAINS, TRANSMISSION LINES, SERVICE LINES, CABLE TELEVISION LINES AND APPURTENANCES TO PROVIDE SUCH UTILITY, COMMUNICATION, AND CABLE TELEVISION SERVICES WITHIN THIS SUBDIVISION, OR PROPERTY CONTIGUOUS THERETO, UNDER, ALONG, AND ACROSS THESE UTILITY EASEMENTS AS DESCRIBED AND IDENTIFIED FOR SPECIFIC USES HEREON.

THE UNDERSIGNED HEREBY DEDICATE A BLANKET DRAINAGE EASEMENT TO THE TOWN OF CASTLE ROCK ON TRACTS [A5, B5, G5, AND H5] IN ACCORDANCE WITH GENERAL NOTE 7 (AND 22).

TRACT A5 IS HEREBY DEDICATED TO THE DAWSON TRAILS METROPOLITAN DISTRICT FOR PRIVATE OPEN SPACE, PARK, AND DRAINAGE.

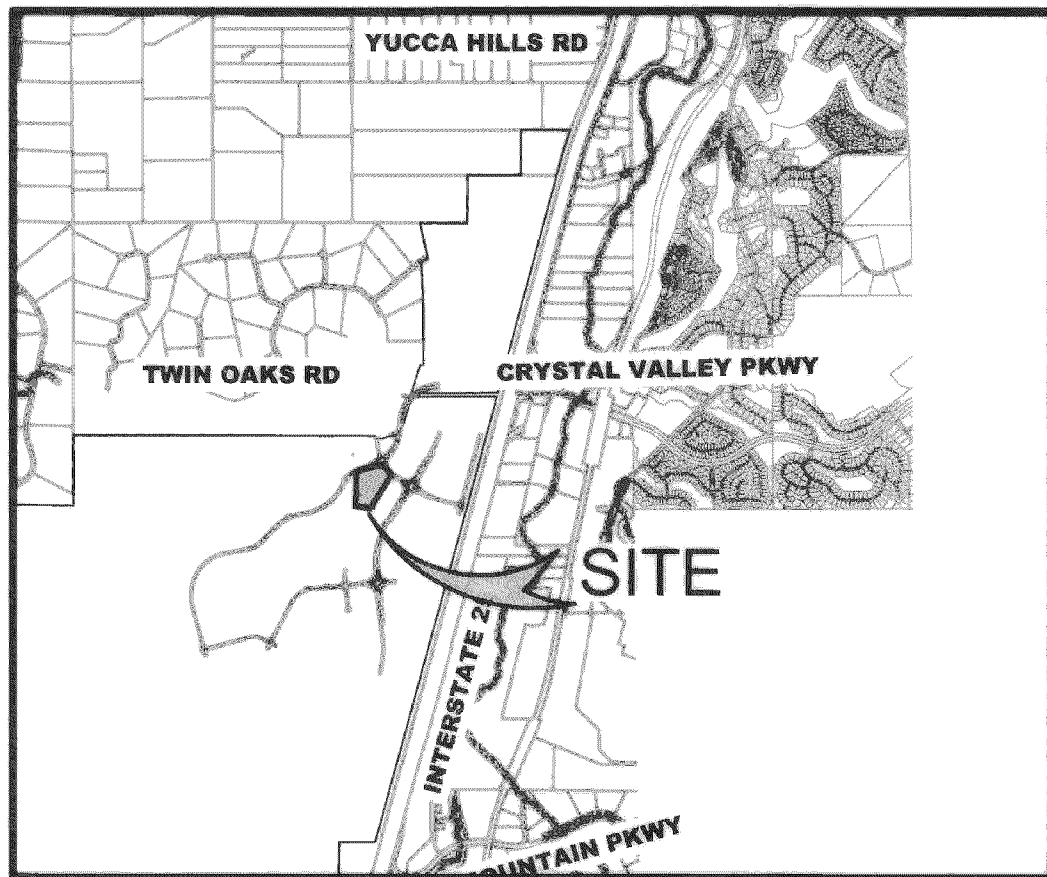
TRACT B5 AND H5 ARE HEREBY DEDICATED TO THE DAWSON TRAILS METROPOLITAN DISTRICT FOR PRIVATE OPEN SPACE AND DRAINAGE.

TRACT C5, D5, E5, AND F5 ARE HEREBY DEDICATED TO THE DAWSON TRAILS METROPOLITAN DISTRICT FOR PRIVATE OPEN SPACE.

TRACT G5 IS HEREBY DEDICATED TO THE DAWSON TRAILS METROPOLITAN DISTRICT FOR PRIVATE ACCESS, UTILITIES, AND DRAINAGE.

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V

LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



VICINITY MAP
SCALE: 1"=2000'



PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 35TH DAY OF June, 2026.

CHAIR [Signature] DATE 8/5/2026

ATTEST: [Signature] DATE 8/5/2026
DIRECTOR OF DEVELOPMENT SERVICES

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON THE 14TH DAY OF July, 2026.

MAYOR [Signature] DATE 8-17-2026

ATTEST: [Signature] DATE 8/17/2026
TOWN CLERK

SURVEYOR'S STATEMENT

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

[Signature] 7/16/26 DATE
SAMUEL L. GALLUCI III, PLS #38584
FOR AND ON BEHALF OF
EMK CONSULTANTS, INC.



CIVIL ENGINEER'S STATEMENT

I, THE UNDERSIGNED, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL GRADING, UTILITY, AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

[Signature] 7-16-26 DATE
DAVID J. JOTT, P.E. CO #38935,
PROJECT MANAGER



OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

[Signature] as Authorized Signatory
ACM DAWSON TRAILS VIII JV LLC, A DELAWARE LIMITED LIABILITY COMPANY

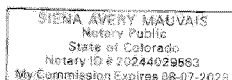
SIGNED THIS 21 DAY OF July, 2026

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 21 DAY OF July, 2026 BY Andrew R. Klein as Authorized Signatory

WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY PUBLIC



MY COMMISSION EXPIRES: 08-07-2028

TITLE CERTIFICATION

I, Annie Arnuine, AN AUTHORIZED REPRESENTATIVE OF First American Title, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

[Signature]
AUTHORIZED REPRESENTATIVE

First American Title
TITLE COMPANY

SIGNED THIS 29th DAY OF July, 2026

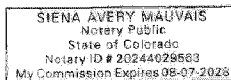
NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 24 DAY OF July, 2026 BY Annie Arnuine AS AUTHORIZED REPRESENTATIVE

OF First American Title

WITNESS MY HAND AND OFFICIAL SEAL.

[Signature]
NOTARY PUBLIC



MY COMMISSION EXPIRES: 08-07-2028

SHEET INDEX

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PUBLIC UTILITIES

WATER AND SANITARY SEWER: TOWN OF CASTLE ROCK
175 KELLOGG COURT
CASTLE ROCK, COLORADO 80106
CONTACT: 720-733-6000

ELECTRICITY: Core Electric
5496 N. U.S. HIGHWAY 85
SEDALIA, COLORADO 80135
CONTACT: 303-688-3100

GAS: BLACK HILLS ENERGY
105 S. VICTORIA AVENUE
PUEBLO, COLORADO 81003
CONTACT: 866-243-9002

CONTACT INFORMATION

OWNER/DEVELOPER: WESTSIDE INVESTMENT PARTNERS, INC.
8350 EAST CRESCENT PARKWAY SUITE 200
GREENWOOD VILLAGE, COLORADO 80111
ATTN: LAWRENCE P. JACOBSON
303-984-9800

PREPARED BY: EMK CONSULTANTS, INC.
7006 S. ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112
(303) 694-1520

LANDSCAPE: NORRIS DESIGN
1101 BANNOCK STREET
DENVER, COLORADO 80204
ATTN: STACEY WEAKS
SWEAKSON@NORRIS-DESIGN.COM

VARIANCE REQUESTS

VARIANCE NO.	DESCRIPTION	APPROVAL DATE
TCV26-0013	REDUCTION IN HORIZONTAL SPACING BETWEEN SERVICES AND LOT LINES.	07/09/26

BENCHMARK:

THE ELEVATION AND CONTOURS SHOWN HEREON ARE BASED UPON NGS STATION X 592 (PD K1331), BEING A STANDARD INGS STEEL DEEP-ROD, WITH A FINCHMARK IN A STANDARD NGS LOGO CAP SET IN A CONCRETE SLEEVE, FLUSH TO THE GROUND, MONUMENT LIES 0.25 MI SOUTH OF THE INTERSECTION OF DOUGLAS LANE LEADING EAST, 121.1 FT EAST OF THE CENTERLINE OF THE NORTHBOUND LANES OF INTERSTATE 25, 86.6 FT SOUTH OF THE CENTER OF A PRIVATE DRIVE LEADING EAST TO A FRAME HOUSE, 38.1 FT EAST OF THE CENTERLINE OF THE EAST FRONTAGE ROAD OF INTERSTATE 25, 5.6 FT NORTH OF A UTILITY POLE, ABOUT LEVEL WITH THE HIGHWAY, AND 1 FT WEST OF A FIBERGLASS WITNESS POST AND SHEEP FENCE. PUBLISHED ELEVATION = 6955.09 NAVD83

BASIS OF BEARING:

BASIS OF BEARINGS: BEARINGS ARE BASED UPON THE EAST LINE OF SAID SECTION 28 FROM THE NORTHEAST CORNER OF SAID SECTION 28, MONUMENTED BY A 2.5-INCH ALUMINUM CAP ON A #6 REBAR, STAMPED 'SURVEY MONUMENT, 1988, 21 22, 4, 28 27, IS 6935, ARCHER & ASSOC.', TO THE SOUTHEAST CORNER OF SAID SECTION 28, MONUMENTED BY A 2.5-INCH ALUMINUM CAP ON A #6 REBAR, STAMPED 'SURVEY MONUMENT, 1988, 28 27, 4, 33 34, IS 6935, ARCHER & ASSOC.', WITH STONES FOUND DIRECTLY ADJACENT, ASSUMED TO BEAR SOUTH 02°48'08" EAST, A DISTANCE OF 5303.46 FEET

BASIS OF COORDINATES:

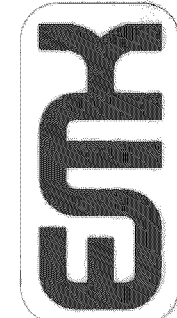
PROJECT LOCATION:
ORIGIN LATITUDE: N39°19'59.41056"
ORIGIN LONGITUDE: W104°58'10.87547"
PROJECT HEIGHT: 6450.00 US FT
GROUND SCALE FACTOR: 1.0003054339

HORIZONTAL CALIBRATION:
ROTATION: -0°23'12.2"
ORIGIN NORTING: 1547368.78 US FT
ORIGIN EASTING: 3174726.97 US FT

SITE DEVELOPMENT PLAN

DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0004

EMK CONSULTANTS, INC.
ENGINEERING/SURVEYING
LAND DEVELOPMENT
SERVICES AND SOLUTIONS
7006 SOUTH ALTON WAY, BLDG. F
CENTENNIAL, COLORADO 80112-1520
WWW.EMK-CO.COM
(303)694-1520



SCALE VERIFICATION BAR IS ONE INCH ON ORIGINAL DRAWING. IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

REUSE OF DOCUMENT
THE IDEAS AND DESIGN INCORPORATED HEREON, AS AN INSTRUMENT OF PROFESSIONAL SERVICE, ARE THE PROPERTY OF EMK CONSULTANTS, INC., AND ARE NOT TO BE REPRODUCED OR USED FOR ANY OTHER PROJECT WITHOUT WRITTEN AUTHORIZATION OF EMK CONSULTANTS, INC.

REVISIONS		DATE	BY
NO.	DESCRIPTION		
1	SUBMITTAL-01 2025-03-07		
2	SUBMITTAL-02 2025-10-10		
3	SUBMITTAL-03 2026-02-06		
4	SUBMITTAL-04 2026-04-14		
5	SUBMITTAL-05 2026-05-15		
6	SUBMITTAL-06 2026-08-17		

DESIGNED BY: <u>OD</u>	DRAWN BY: <u>DLL</u>	CHECKED BY: <u>CAW</u>	APPROVED BY: <u>ERM</u>
DAWSON TRAILS FILING NO. 2 TRACTS N, P, & V			
COVER SHEET			

DATE: 06/17/2026

JOB NO. 13477.00

HORIZONTAL SCALE: N/A

VERTICAL SCALE: N/A

1 of 29

GENERAL NOTES FOR SITE DEVELOPMENT PLAN

1. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval. There may be subsequent amendments.
2. This site is zoned Dawson Trails Planned Development Plan approved September 6, 2022, Recorded February 8, 2023, Reception#2023005659
3. This property is located within Zone X as per FEMA FIRM Panel No. 08035C0284G Dated March 16, 2016. No portions of this property fall in a FEMA 100-year floodplain.
4. The purpose and use of all tracts, to whom the tracts will be dedicated with the Plat and who will be responsible for maintenance is shown in a table on this Site Development Plan.
5. Retaining walls, sections of retaining walls greater than 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and require a building permit.
6. Retaining walls in common areas, on Town lands, or that span multiple lots regardless of size/height must be located in a tract. The retaining walls must be maintained by the HOA or Metro District.
7. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.
8. Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, Metro-District, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Streetscape Landscaping within public rights-of-way and that which is installed outside of the right-of-way, are to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Should streetscape or other SDP approved landscaping be installed on town owned lands, the Metro-District, HOA, or private property owner shall be responsible for the maintenance of the landscaping. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.
9. Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this Site Development Plan. Any changes to the approved landscape plans shall require an SDP amendment.
10. The number of parking spaces are based on the proposed uses on this Site Development Plan. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code or applicable Planned Development Zoning will require an amendment to this Site Development Plan.
11. A sign permit for each sign must be obtained from the Town of Castle Rock Zoning Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code or applicable Planned Development Zoning regulations.
12. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.
13. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.
14. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flow line elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.
15. All proposed Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan are conceptual and shall be established with a plat or separate document.
16. Unless otherwise noted, all lots shall have 10' Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have no Utility Easements along each side lot line. These Utility Easements are for the installation, maintenance and operation of utilities facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, water meters, fire hydrants, sub-surface collection systems, and curb boxes as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines. Any variation from this requires an approved Technical Criteria Variance.
17. All subdivisions shall include adequate easements to accommodate the construction, maintenance and repair of all public access, sidewalks, trails, water supply system, waste water systems, storm water management system and erosion control facilities, telecommunications and other utilities required to provide each utility to each occupied structure in the subdivision.
18. No structure shall be constructed over any portions of a recorded Town easement unless a revocable license is approved by the Town and the structure will not interfere with the intended use of the easement.
19. Any structures placed in the easement including but not limited to paving, fencing, retaining walls and landscaping shall be removed and replaced by the owner upon the request of the utilities department or private utility company so that maintenance may be performed. The owner of the land shall agree to hold the Town and/or private utility company harmless for any loss of property or landscaping and irrigation removed from the easement or damaged due to maintenance activities and all associated costs.
20. A slope easement will be required for grading on any Town owned or future Town owned property. The easement shall be finalized at time of Plat. If grading occurs after platting, slope easement may be by separate agreement.
21. Any Fill on OSD/PLD will need to be compacted in max 8" lifts, a minimum of 95%+ density and inspected. Compaction test results will need to be supplied to the Town. Following grading, as-built surveys for OSD and PLD will need to be provided to the Town.
22. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The property owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on their property unless modified by the subdivision improvement agreement. Should the owner fail to adequately maintain said facilities, the town shall have the right to enter said property for the purposes of operations and maintenance. All such maintenance costs shall be assessed to the property owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials, and shall be charged at 1.25 times the actual cost.

SITE DEVELOPMENT PLAN

DAWSON TRAILS FILING NO. 2 – TRACTS N, P, & V

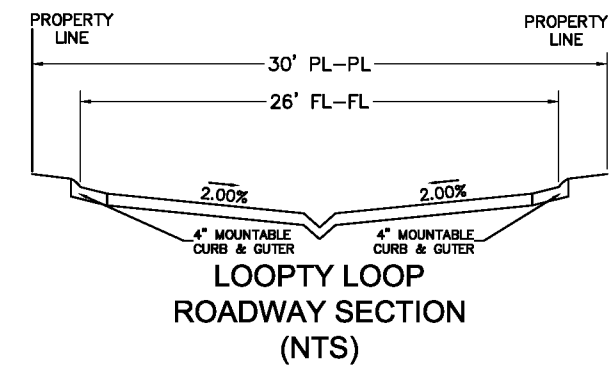
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FIRE NOTES

1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.
2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.
3. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.
4. All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.
5. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
6. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.
7. Fire apparatus access roads shall have an unobstructed width of not less than 20 feet, exclusive of shoulders, except for approved security gates and an unobstructed vertical clearance of not less than 13 feet, 6 inches.
8. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 88,000 pounds, and shall be surfaced so as to provide all-weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.
9. "No Parking Fire Lane" shall be painted red and signs are required in areas that meet the following criteria and in areas designated by the Fire Prevention Bureau. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.
10. "Fire Lane No Parking" Curb Marking. All designated lanes SHALL be accompanied with curb markings in a weather resistant red paint. Reflective paint may be used for higher visibility. Curbing shall be labeled, "NO PARKING - FIRE LANE" in all upper case letters. Lettering shall be no less than three (3") inches high with white lettering on a red background and placed on the face and top of the curb. Lettering shall be located no more than fifty (50') apart and within five feet of the beginning and end of any fire lane.
11. The developer understands that as the project develops there may be fire and life safety provisions of the Town of Castle Rock adopted International Fire Code (IFC) that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.

WATER RIGHT DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE DAWSON TRAILS DEVELOPMENT AGREEMENT, RECORDED ON THE 8TH DAY OF FEBRUARY, 2023 AT RECEPTION NO. 2023005661 AND ACCORDINGLY 68.33 SFE'S ARE DEBITED FROM THE WATER BANK. 3.33 SFE'S ARE BEING DEDICATED FOR IRRIGATION WITH 65 SFE'S BEING DEDICATED FOR DOMESTIC USE.



Tract Summary Table				
	Use	Square Feet	Acre	%
Tract V (to be subdivided)				
Residential Lots (100 total)	Residential	160421	3.68	43.86%
Tract A 5	OSP/Drainage	50784	1.17	13.89%
Tract B 5	OSP/Drainage	49481	1.14	13.53%
Tract C 5	OSP	1250	0.03	0.34%
Tract D 5	OSP	1274	0.03	0.35%
Tract E 5	OSP	2000	0.05	0.55%
Tract F 5	OSP	637	0.01	0.17%
Tract G 5	Private Access/Parking	65547	1.50	17.92%
Tract H 5	OSP	34321	0.79	9.38%
Tract V (to be subdivided)		365726	8.40	100.00%

Site Utilization		
	Square Feet	Acre
Lot Coverage	160421	3.68
ROW Coverage	0	0.00
Landscape/ Open Space Coverage	139747	3.21
Total Lot Area	365726	8.40

Zoning Comparison and Development Standards		
	Current Zoning	Proposed
Character Area	Dawson Trails PDP – Planning Area E-2	Dawson Trails PD, Amd. 1 Zoning
Use	SFD, SFA, MF, Non-Res	SFA
Number of Residential Lots	400 Lots	100 Lots
Number of Dwelling Units	400 Units	100 Units
Maximum Density	N/A	12 du/ac
Minimum Lot Size	None	None
Front Yard	15'	15'
Front to Garage	20'	N/A – alley-loaded
Rear Yard	10'	10'
Rear Alley	2'	2'
Side Yard	5'	5'
Side to Street	15'	15'
Min. Building Separation	10'	10'
Maximum Building Height	60'	40'
Parking Requirement	2 spaces per 3-bedroom unit (100 units x 2 spaces = 200 spaces total)	200 spaces. All parking provided within garages.
1 space per 1 bedroom;		
1.5 spaces per 2 bedroom;		
2 spaces per 3+ bedroom;		
Visitor Parking		27 guest spaces on site**
+15% of total required spaces for guest parking	15% of 200 spaces: 30	25 spaces on Pat Haven Street.

** Per Dawson Trails PD, Amd 3, Section 5.9, Table 5.8.1 – On-street parking that is directly adjacent to the lot frontage of a public or private street may be counted as part of the parking requirements in Planning Area E2, in conjunction with review of a SDP in Section 3.4B of this PD.

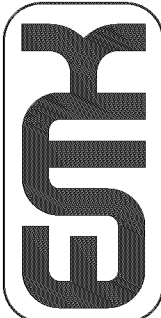
NOTE: IN THE EVENT THAT THE METRO DISTRICT SUBMITS A DISSOLUTION PETITION, THE METRO DISTRICT SHALL PROVIDE AN ASSUMPTION OF THE MAINTENANCE OBLIGATIONS EITHER THROUGH A WILL LEVY OR THROUGH A CONTRACT WITH THE HOA TO WHICH THE TOWN IS A PARTY TO

UNIT TRACKING															
PLANNING AREA	APPROVED UNITS PER PDP AMENDMENT-01	MAX TRANSFER OUT	TRANSFERRED OUT	MAX TRANSFER IN	TRANSFERRED IN	UNITS REMAINING AFTER TRANSFER	SDP23-0023 & PL24-0005 (B-1 EAST)		SDP23-0044 & PL25-0004 (D NORTH)		SDP25-0004 & PL26-0003 (E-2 TOWNHOME)				
							TOTAL PLATTED	TRANSFERRED	PLATTED	TRANSFERRED	PLATTED	TRANSFERRED			
A	47	20%	94	0	0%	0	47	NA	NA	NA	NA	NA	NA		
B-1	43	20%	86	0	0%	0	43	229	0	NA	NA	NA	NA		
B-2	28	20%	56	0	0%	0	28	NA	NA	NA	NA	NA	NA		
C-1	45	20%	90	0	15%	32	48	NA	NA	NA	NA	NA	NA		
C-2	36	20%	72	0	20%	72	0	90	NA	NA	NA	NA	NA		
D	156	20%	312	0	20%	368	0	156	NA	NA	258	0	NA		
E-1	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
E-2	40	20%	80	0	20%	80	0	40	NA	NA	NA	NA	10		
F-1	940 TOTAL ALLOWED & ALL OF PLD	20%	188	0	20%	188	0	940	NA	NA	NA	NA	NA	NA	
F-2									NA	NA	NA	NA	NA	NA	NA
F-3									NA	NA	NA	NA	NA	NA	NA
G-1	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
G-2	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA	NA		
TOTAL RESIDENTIAL UNITS								229		258		10			
TOTAL TRANSFERRED								0		0		0			
TOTAL COMMERCIAL/ NON RES SF															

SITE DEVELOPMENT PLAN

DAWSON TRAILS FILING NO. 2 – TRACTS N, P, & V
TOWN OF CASTLE ROCK PROJECT NO. SDP25-0004

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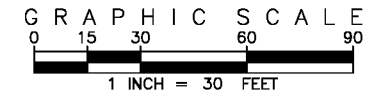
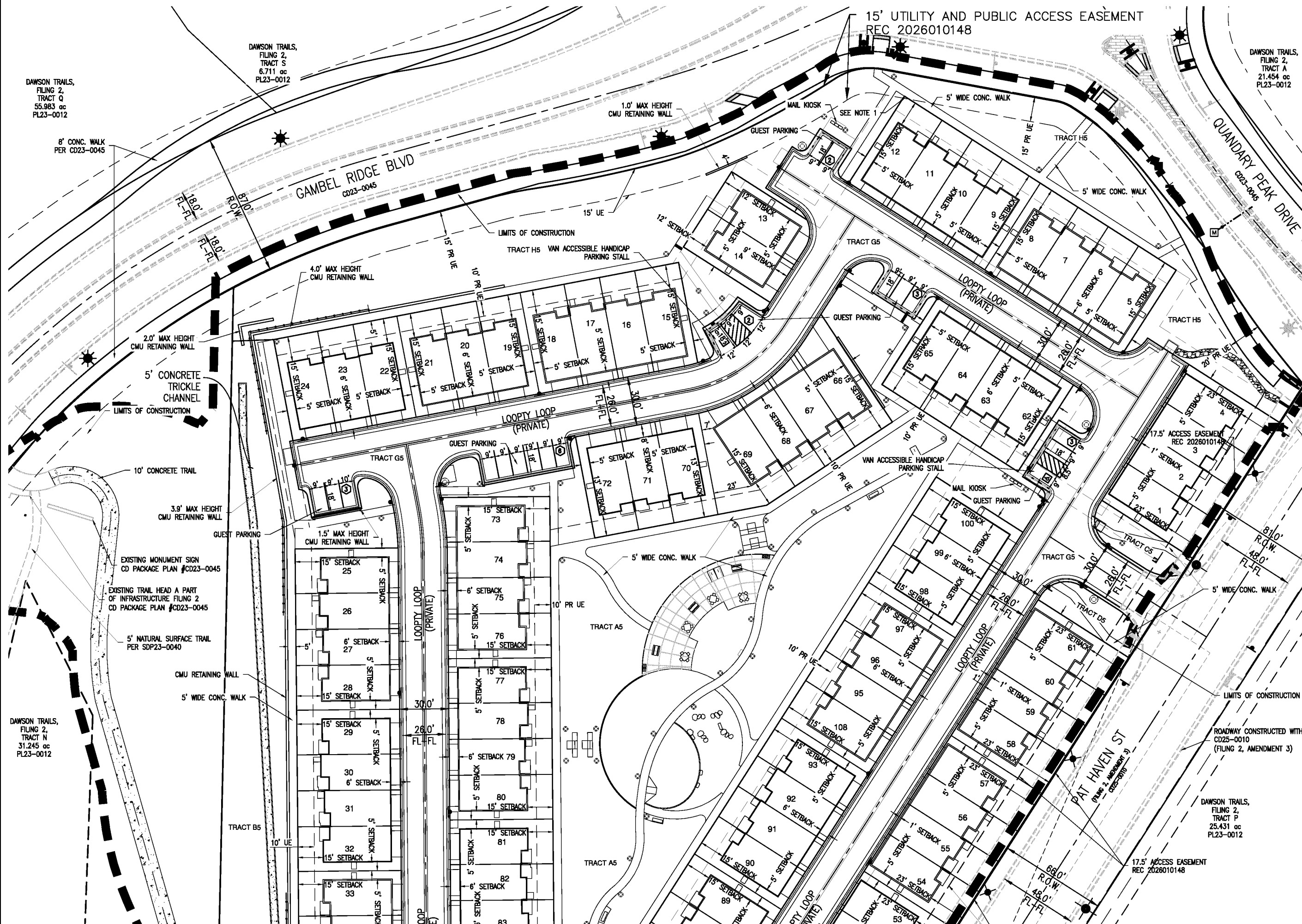
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DRAWN BY:	DVS		SUBMITTAL-01 2025-03-07		
CHECKED BY:	CAW		SUBMITTAL-02 2025-10-10		
APPROVED BY:	ERM		SUBMITTAL-03 2026-02-08		
			SUBMITTAL-04 2026-04-14		
			SUBMITTAL-05 2026-05-15		
			SUBMITTAL-06 2026-08-17		

DAWSON TRAILS FILING NO. 2 – TRACTS N, P, & V		SITE DEVELOPMENT PLAN NOTES AND TABLES	
DATE: 05/15/2026		JOB NO: 13477.00	
HORIZONTAL		VERTICAL	
N/A		N/A	

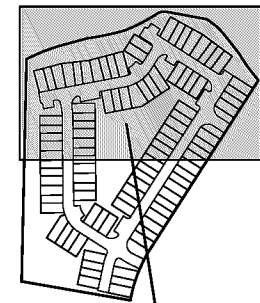
SITE DEVELOPMENT PLAN

DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V

LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP



THIS SHEET

LEGEND

- SECTION/ALIQUOT LINE
- BOUNDARY LINE
- LIMITS OF CONSTRUCTION
- RIGHT-OF-WAY LINE
- CENTER/RANGE LINE
- LOT/PARCEL LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CURB & GUTTER
- SIDEWALK
- TRAIL
- SIGHT TRIANGLE
- PARKING SPACE LINE
- IDENTIFICATION SIGNS
- SIGN
- RAMP
- NUMBER OF PARKING STALLS
- CMU RETAINING WALL
- TABLES AND BENCHES

NOTE:

- EASEMENT RECORDED UNDER (REC. 2026010148).
FENCES ALLOWED WITHIN CORE EASEMENTS

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NO.	DESCRIPTION	DATE	BY
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3	SUBMITTAL-03 2026-02-08		
4	SUBMITTAL-04 2026-04-14		
5	SUBMITTAL-05 2026-05-15		
6	SUBMITTAL-06 2026-08-17		

DESIGNED BY:	OD
DRAWN BY:	DL
CHECKED BY:	GA
APPROVED BY:	ERM

DAWSON TRAILS FILING NO. 2
TRACTS N, P, & V

DATE: 05/15/2026
JOB NO: 13477.00

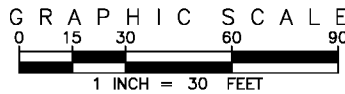
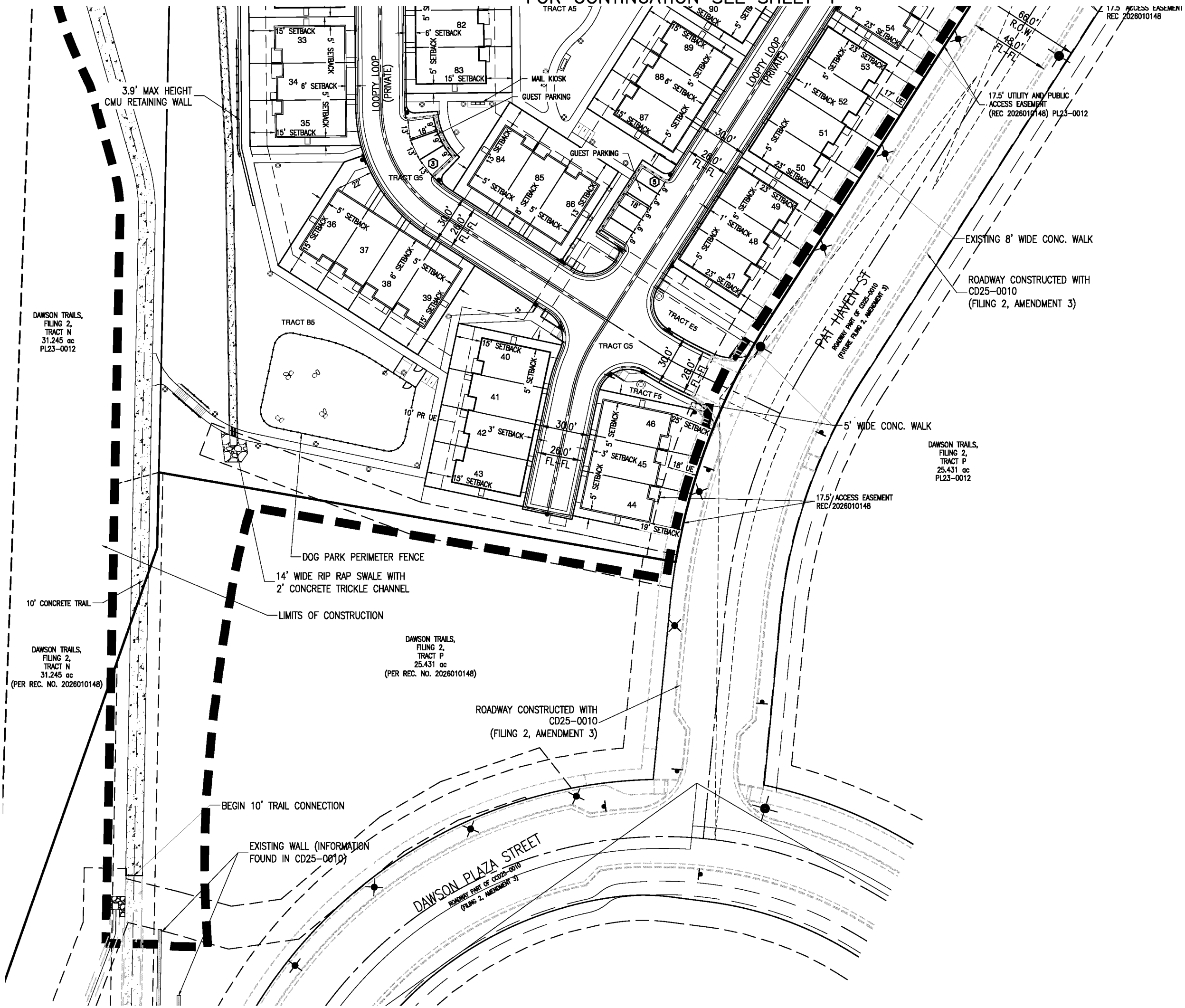
SCALE
HORIZONTAL 1"=30'
VERTICAL N/A

SITE DEVELOPMENT PLAN

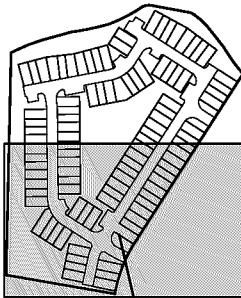
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V

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TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FOR CONTINUATION SEE SHEET 4



KEY MAP



THIS SHEET

LEGEND

- SECTION/ALIQUOT LINE
- BOUNDARY LINE
- LIMITS OF CONSTRUCTION
- RIGHT-OF-WAY LINE
- CENTER/RANGE LINE
- LOT/PARCEL LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CURB & GUTTER
- SIDEWALK
- TRAIL
- SIGHT TRIANGLE
- PARKING SPACE LINE
- IDENTIFICATION SIGNS
- SIGN
- RAMP
- NUMBER OF PARKING STALLS
- CMU RETAINING WALL
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OD	BY	DATE	BY
DATA	DLL	2025-03-07	
CHECKED BY:	GAW	2025-10-10	
APPROVED BY:	ERM	2025-02-08	
		2025-04-14	
		2025-05-15	
		2025-08-17	

DAWSON TRAILS FILING NO. 2
TRACTS N, P, & V

SITE PLAN

DATE: 05/15/2026

JOB NO: 13477.00

SCALE

HORIZONTAL 1"=30'

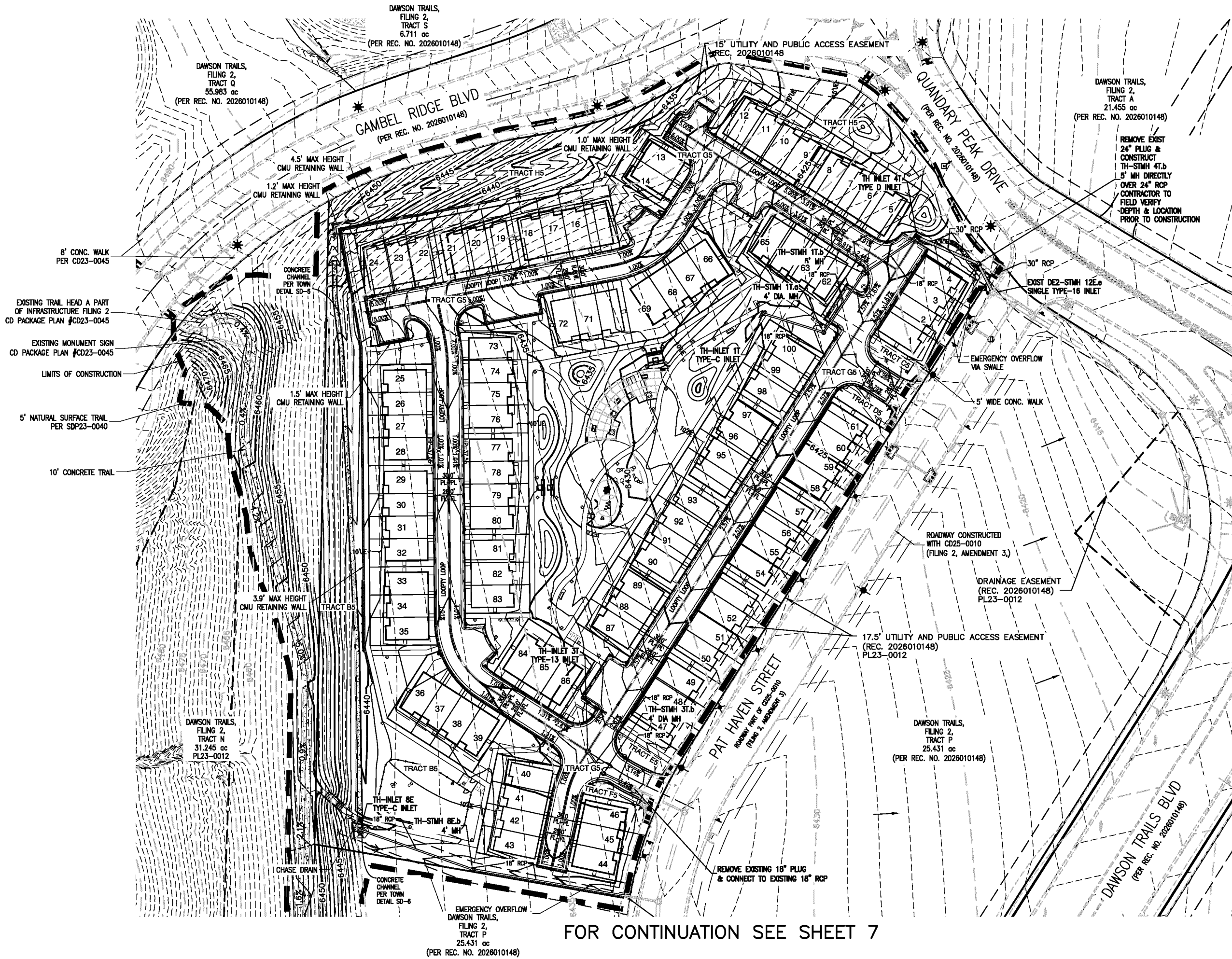
VERTICAL N/A

5 of 29

SITE DEVELOPMENT PLAN

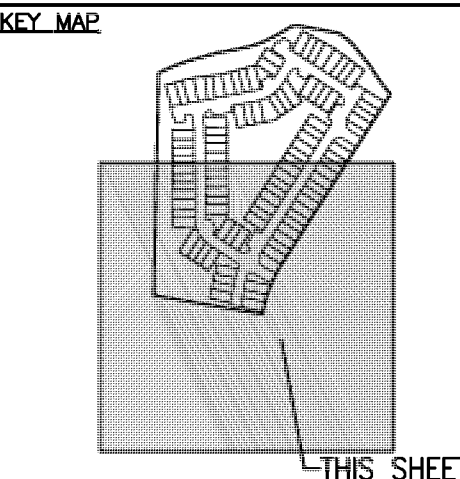
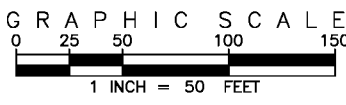
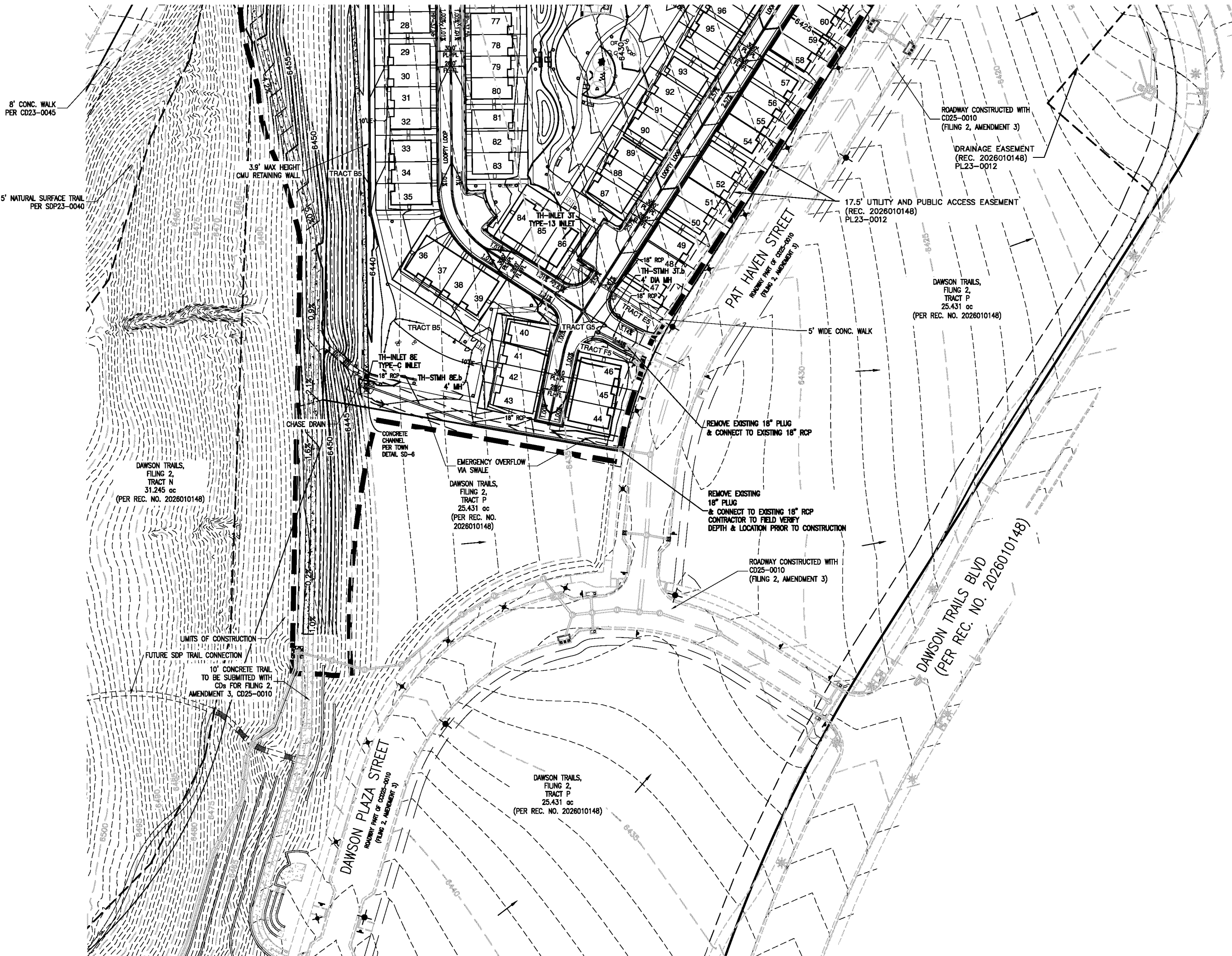
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V

LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 – TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

FOR CONTINUATION SEE SHEET 6



- LEGEND**
- FLOW ARROW
 - (58.5) LOT CORNER ELEVATION
 - ~ PROPOSED MAJOR CONTOUR
 - - - PROPOSED MINOR CONTOUR
 - - - EXISTING MAJOR CONTOUR
 - - - EXISTING MINOR CONTOUR
 - [Hatched Box] LIMITS OF CONSTRUCTION
 - [Thick Line] CMU RETAINING WALL
 - T/W XX.X TOP OF CMU RETAINING WALL ELEVATION
 - B/W XX.X BOTTOM OF CMU RETAINING WALL ELEVATION
 - ↪ 100-YR EMERGENCY OVERFLOW PATH

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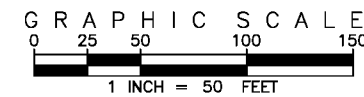
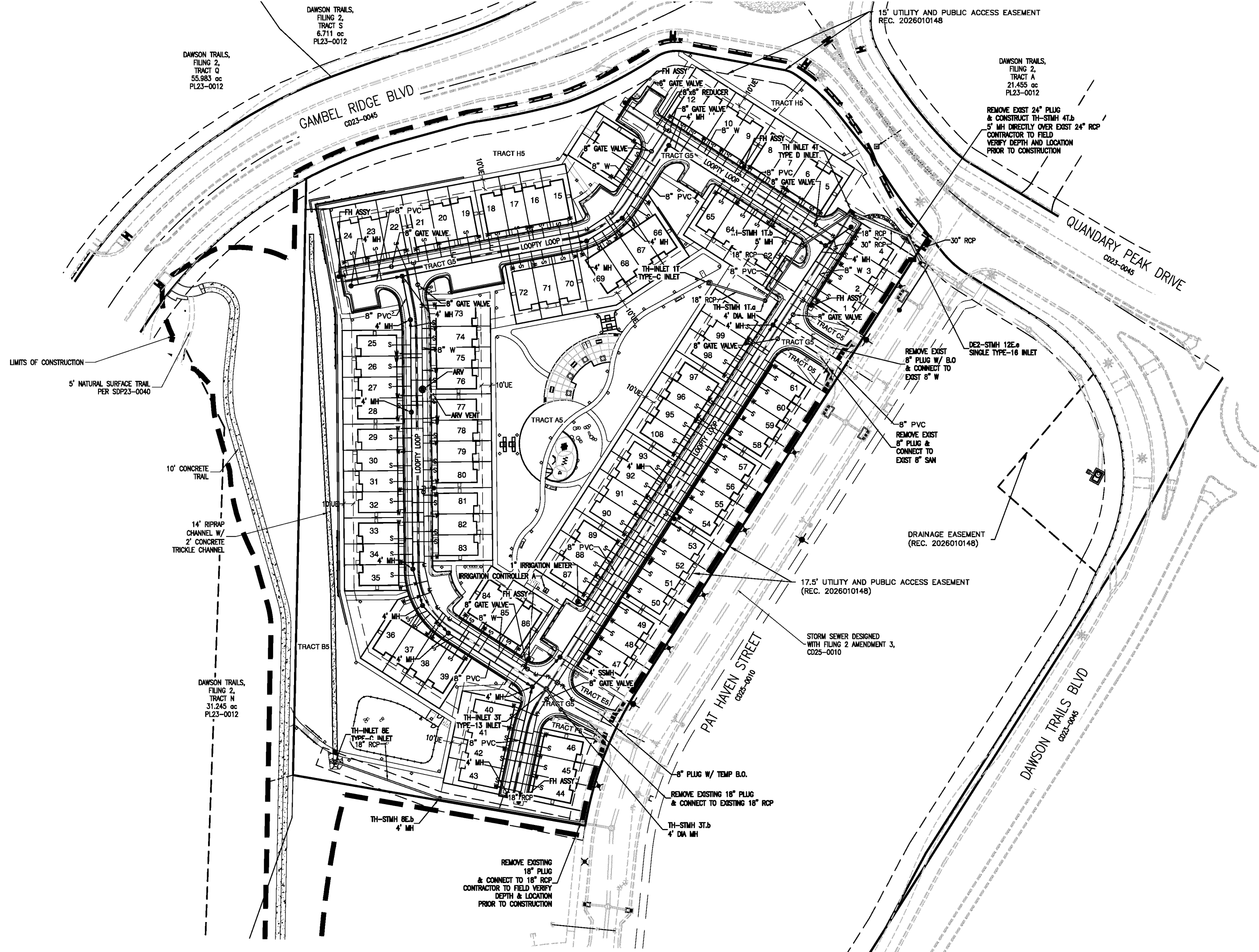
REVISIONS		NO.	DESCRIPTION	DATE	BY
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✓	✓	2	SUBMITTAL-02 2025-10-10		
✓	✓	3	SUBMITTAL-03 2026-02-08		
✓	✓	4	SUBMITTAL-04 2026-04-14		
✓	✓	5	SUBMITTAL-05 2026-05-15		
✓	✓	6	SUBMITTAL-06 2026-08-17		

DESIGNED BY: OD	DAWSON TRAILS FILING NO. 2 TRACTS N, P, & V
DRAWN BY: DLL	GRADING PLAN
CHECKED BY: GAW	
APPROVED BY: ERM	

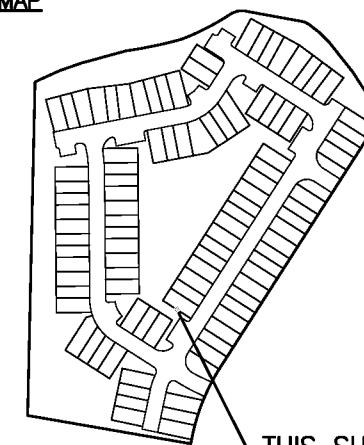
DATE: 05/15/2026
JOB NO: 13477.00
SCALE: HORIZONTAL 1"=50' VERTICAL N/A

SITE DEVELOPMENT PLAN DAWSON TRAILS FILING NO. 2 - TRACT V

LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



KEY MAP



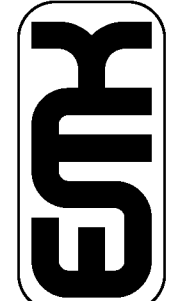
UTILITY LEGEND

PROPOSED	MAIN LINE UNDERGROUND	EXISTING
	STORM SEWER, INLET, MANHOLE, & FLARED END SECTION	
	SANITARY SEWER & MANHOLE	
	PRESSURE REDUCING VALVE, FIRE HYDRANT, GATE VALVE, REDUCER, & CROSS	
	BENDS W/THRUST BLOCK, CHECK VALVE, & PLUG W/ BLOWOFF	
	SANITARY SEWER SERVICE	
	WATER SERVICE, METER	
	FIRE SERVICE	
	LIMITS OF CONSTRUCTION	

UTILITY NOTES

- This site is located within the Town of Castle Rock Red water pressure zone.
- All proposed easements must be recorded prior to issuance of construction permits.
- All utility easements for water and wastewater lines shall be for the exclusive use of the Town so that access and maintenance may be performed.
- The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
- The minimum separation between water service lines is 5 feet.
- Any tie-in, crossing or lowering of Town critical infrastructure will require a Time and Materials Permit (TMU) with fees required prior to construction.

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	3	SUBMITTAL-03 2026-02-08		
	4	SUBMITTAL-04 2026-04-14		
	5	SUBMITTAL-05 2026-05-15		
	6	SUBMITTAL-06 2026-08-17		

DESIGNED BY:	OD
DRAWN BY:	WZ
CHECKED BY:	CAW
APPROVED BY:	ERM

DAWSON TRAILS FILING NO. 2 TRACTS N, P, & V	GENERAL UTILITY PLAN
--	----------------------

DATE: 05/15/2026
JOB NO: 13477.00

SCALE
HORIZONTAL 1"=50'
VERTICAL N/A

PLAN-E2 TOWNHOMES.dwg

P:\Dawson Trails - 0781-01-2647\Brightland Homes - E-2 Townhomes - 1335-01-3751\Drawings\Submittals

2021-09-11 (4:30 PM)

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

SITE DEVELOPMENT PLAN INFORMATION

TOWN OF CASTLE ROCK REGISTERED PROFESSIONAL: STACEY WEAKS
TOWN OF CASTLE ROCK REGISTRATION #: CR21-0121
STATE OF COLORADO LICENSE LANDSCAPE ARCHITECT #: LA.0000609
COMPANY: NORRIS DESIGN
ADDRESS: 1101 BANNOCK STREET, DENVER, COLORADO 80204
PHONE: 303-892-1166
EMAIL: SWEAKS@NORRIS-DESIGN.COM
DATE: 05/14/2026

GENERAL LANDSCAPE PLAN STANDARD NOTES

- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- DISTANCE OF TREES TO WET UTILITY LINES SHALL BE A MINIMUM OF TEN (10) FEET.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDRO ZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP) AND THE DAWSON TRAILS WATER EFFICIENCY PLAN (WEP).
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NONLIVING LANDSCAPE MATERIAL SUCH AS ROCK, STONE, BARK CHIPS, AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY INSTALLED, SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF TWO (2) INCHES FOR ROCK MULCH AND FOUR (4) INCHES FOR WOOD MULCH.
- PLANTS AND VEGETATION UNDER THE TOWN OF CASTLE ROCK'S PLANT LIST SHALL BE IN LINE WITH THE ADOPTED CWPP AND FIRE RESISTIVE VEGETATION FOR THE REGION TO MEET THE ADOPTED FIRE CODES BY THE TOWN OF CASTLE ROCK.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION REGULATIONS SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY THE METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.

GRADING NOTES

- ALL AREAS SHALL BE GRADED TO ACHIEVE POSITIVE DRAINAGE. MINIMUM SLOPE ON LANDSCAPED AREAS SHALL BE 2%.
- MAXIMUM SLOPE SHALL BE (3:1).
- MAXIMUM ALLOWED FINAL GRADES FOR LONGITUDINAL SLOPE ON WALKS AND PAVED AREAS SHALL BE 5% UNLESS OTHERWISE INDICATED ON THE PLANS.
- ALL SLOPES EQUAL TO 3:1 ARE TO BE CALLED OUT ON THE LANDSCAPE SHEETS

CONCEPTUAL IRRIGATION STANDARD NOTES:

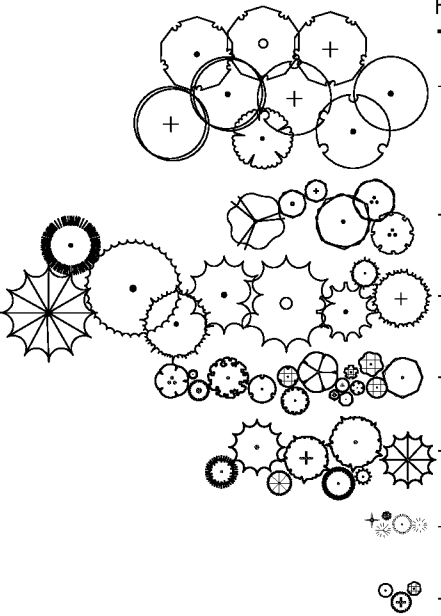
- ALL TURF AREAS 10' OR WIDER MAY BE IRRIGATED WITH OVERHEAD IRRIGATION
- TREES ARE TO BE IRRIGATED USING SUBSURFACE DRIP EMITTERS
- NATIVE SEED GRASSES THAT ARE IRRIGATED ARE TO USE ROTORS UNLESS OTHERWISE NOTED
- TURF AREAS LESS THAN 10' IN WIDTH WILL BE IRRIGATED WITH SUBSURFACE DRIP IRRIGATION
- SHRUB AND PERENNIAL BEDS WATERED WITH DRIPLINE OR POINT SOURCE DRIP EMITTERS.

PLANT SCHEDULE NOTES

- ALL GRASSES WITHIN RIGHT OF WAY MUST BE PLANTED IN 5 GALLON CONTAINERS (AFFECTED SPECIES DENOTED WITH ASTERISK IN PLANT SCHEDULE). SEE PLAN FOR LOCATIONS. *
- ALL PLANTING MUST MAINTAIN 36 INCHES FROM CORE INSTALLED UG FACILITIES - IN ADDITION MAINTAIN MIN CLEARANCE REQUIREMENTS TO ELECTRIC COOPERATIVE ABOVE GROUND FACILITIES PER CORE'S BUILDER HANDBOOK.
- PLANTING SEASON: WITHIN THE OVERALL PROJECT PHASING AND COMPLETION REQUIREMENTS, THE SCHEDULE FOR PLANTING OF TREES AND SHRUBS SHALL BE AT THE DISCRETION OF THE CONTRACTOR. PLANTING DURING EXTREMELY COLD, HOT, OR WINDY PERIODS SHALL BE PERFORMED AT THE CONTRACTOR'S RISK. PLANTS WHICH ARE DAMAGED OR DIE PRIOR TO FINAL ACCEPTANCE AS A RESULT OF EXTREME WEATHER CONDITIONS SHALL BE REMOVED AND REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

LANDSCAPE SUMMARY TABLE

LANDSCAPE TYPE	SQUARE FOOTAGE	PERCENTAGE
TEMP-IRRIGATED NATIVE SEED	58,223	44%
IRRIGATED TURF	2,522	2%
NON-IRRIGATED NATIVE SEED	26,962	21%
IRRIGATED SHRUB BED	43,585	33%
TOTAL AREA LANDSCAPE	131,292	100%
TOTAL PROJECT SITE	365,715	



PLANT SCHEDULE

DECIDUOUS SHADE TREES	HYDROZONE	2-4	QUANTITY	79
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 2" INCHES IN CALIPER MEASURED SIX (6) INCHES ABOVE GROUND				
LARGE CANOPY DECIDUOUS SHADE TREES SHALL BE A MINIMUM OF 3" INCHES IN CALIPER WHEN IN A GRATE OR PLANTED IN AREAS LESS THAN EIGHT (8) FEET IN WIDTH				
ORNAMENTAL TREES	HYDROZONE	2-3	QUANTITY	40
ORNAMENTAL TREES SHALL BE A MINIMUM OF 1.5" INCHES IN CALIPER, MEASURED SIX (6) INCHES ABOVE GROUND				
EVERGREEN TREES	HYDROZONE	1-4	QUANTITY	38
EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT, MEASURED TO THE MID-POINT OF THE MOST RECENT YEAR'S GROWTH				
DECIDUOUS SHRUBS	HYDROZONE	1-3	QUANTITY	361
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
EVERGREEN SHRUBS	HYDROZONE	2-3	QUANTITY	56
SHRUBS SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
ORNAMENTAL GRASSES	HYDROZONE	2-3	QUANTITY	114
ORNAMENTAL GRASSES SHALL BE A MINIMUM OF FIVE (5) GALLON CONTAINER IN SIZE				
PERENNIALS	HYDROZONE	1-4	QUANTITY	61
PERENNIALS, GROUND COVERS, AND VINES SHALL BE A MINIMUM OF ONE (1) GALLON CONTAINER IN SIZE				
NATIVE SEED	HYDROZONE	1-2	AREA (SF)	85,275
GRASS SEED PLANTING QUALITY AND QUANTITY IN IRRIGATED AREAS SHALL BE IN COMPLIANCE WITH NURSERY STANDARDS AND SHALL PROVIDE A MINIMUM GROUND COVER OF EIGHTY (80) PERCENT WITHIN THE FIRST GROWING SEASON				
APPROVED NATIVE GRASS SEED MIXES: [Low Grow Mix/Foothills Mix/Colorado Native Mix]				

LANDSCAPE REQUIREMENT TABLE

Gross Site Area	Required Landscape (20% of the gross site area)	Existing Landscape (If Applicable)	Provided Landscape Area	Required Trees (2 trees / 1,000 sqft)	Provided Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs	Soil Prep Amounts (cu yds. Per 1000 SF)
365,715	73,143	0	131,292	147	158	293	417	4 cu yds. / 1000 SF
Turf Grass Square Footage (SF)	Landscape Coverage at Maturity (SF)	Existing Landscape (If Applicable)	Landscape Coverage Percentage (73% minimum)	Nonliving Ornamental Area in Landscape (SF)	Nonliving Ornamental Percentage (25% maximum)	Number of Large Canopy Deciduous Shade Trees	Percentage (50% Large Canopy Deciduous Shade Trees)	Separate Irrigation Service Connections
2,522	99,818	0	54,858	4,378	6%	79	50%	Yes ☐ No ☐

SEEDING NOTES

- OVERSEEDING AND RESEEDING SHALL ONLY BE NECESSARY DURING THE ESTABLISHMENT PERIOD. AREAS SHALL BE RESEEDED IF THEY EXHIBIT AREAS GREATER THAN THE ACCEPTABLE AMOUNTS NOTED IN THE PERFORMANCE STANDARDS.
- THE PERFORMANCE OF AN AREA SHOULD BE EVALUATED BETWEEN 6-8 WEEKS AFTER SEEDING TO DETERMINE IF OVERSEEDING IS JUSTIFIED. IF ENVIRONMENTAL CONDITIONS ARE FAVORABLE THIS MONITORING CAN BE DONE SOONER.
- OVERSEEDING SHALL OCCUR USING A DRILL SEEDER OR BROADCAST SEEDER BASED ON THE AMOUNT OF VEGETATIVE COVERAGE, AMOUNT OF THATCH, WHETHER AREAS ARE IRRIGATED OR NON-IRRIGATED.
- IF BROADCAST SEEDING, IT IS IMPORTANT TO ACHIEVE PROPER SEED-SOIL CONTACT. SEED MAY NEED TO BE WEIGHTED USING AN INERT INGREDIENT (SUCH AS SAND) TO ALLOW SEED TO GET TO THE GROUND LEVEL. IN SOME CASES THE IRRIGATION SYSTEM CAN BE USED TO "WASH" SEED DOWN TO THE SOIL. BROADCAST SEED RATES SHALL BE DOUBLE THE SPECIFIED DRILL SEED RATE. BROADCAST SEEDING SHALL ONLY BE USED IF THERE IS EXISTING VEGETATION AND A SUFFICIENT THATCH LAYER TO MULCH THE NEWLY APPLIED SEED. IF THE MULCH LAYER IS EXCESSIVE, DO NOT BROADCAST SEED. DO NOT BROADCAST SEED ON BARE AREAS. NO ADDITIONAL MULCH SHOULD BE REQUIRED WITH BROADCAST SEEDING.
- DRILL SEED WHERE AREAS ARE BARE OR HAVE INSUFFICIENT THATCH TO MULCH IN NEW SEED. DRILL SEED USING A SLIT OR DRILL SEEDER AT THE SPECIFIED RATES. NO MORE THAN 24 HOURS AFTER OVERSEEDING WITH A DRILL SEEDER THE AREA SHOULD BE TERRASEEDED AT A RATE OF 2,000 POUNDS PER ACRE WITH TERRASEED AND TACKIFIER.

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4	4TH SUBMITTAL	04/14/26	ND
5	5TH SUBMITTAL	05/15/26	ND

DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN

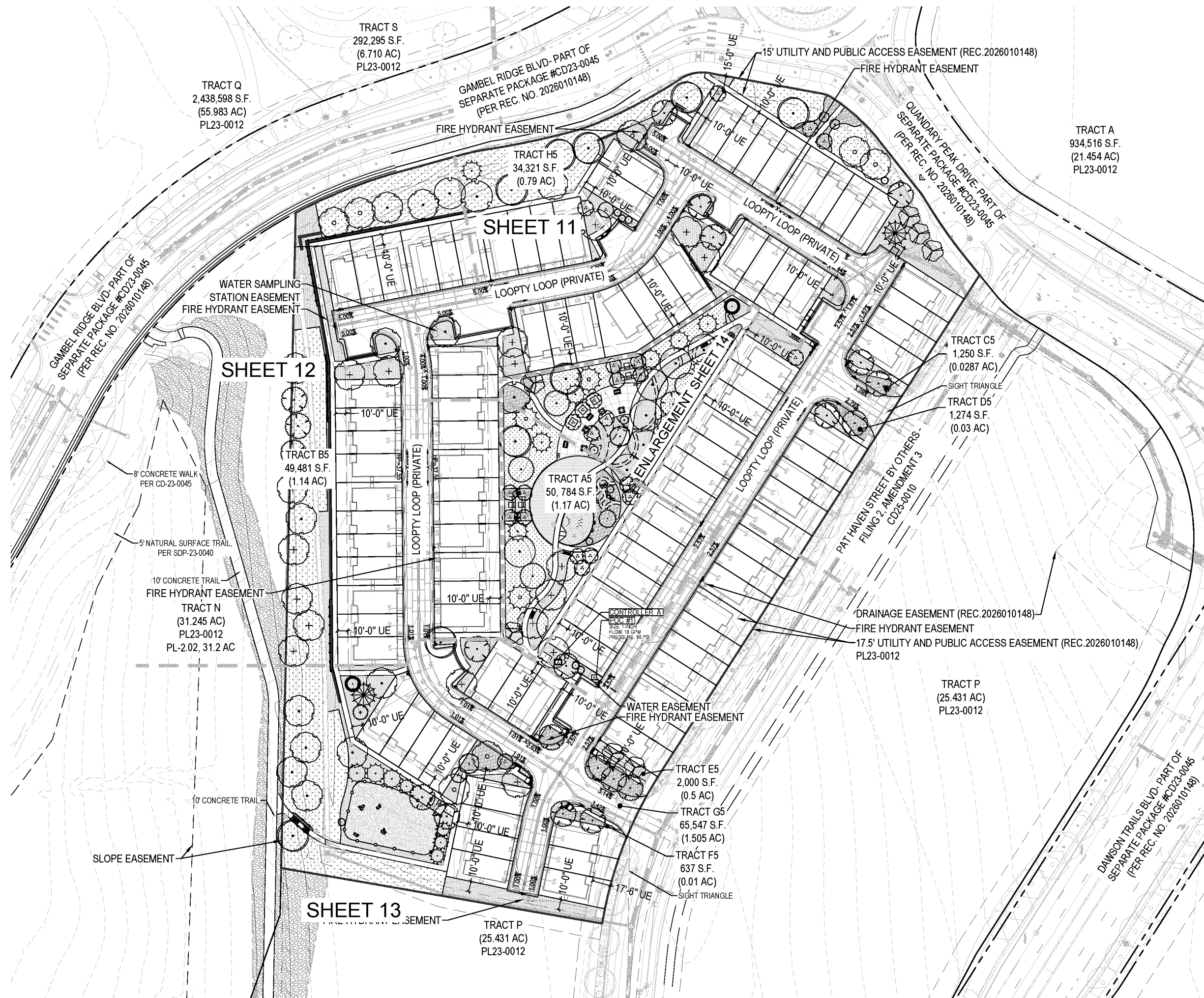
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LANDSCAPE NOTES

SHEET
9 OF 29

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

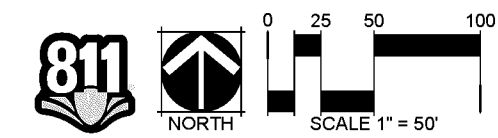


HYDROZONE LEGEND

- TEMP. IRRIGATED NATIVE SEED (HYDROZONE: 1-2)
- IRRIGATED TURF (HYDROZONE: 4)
- NON-IRRIGATED NATIVE SEED
- SHRUB AREA (HYDROZONE: 1-3)

- SHEET MATCHLINE
- ENLARGEMENT MATCHLINE

- DECIDUOUS SHADE TREE (HYDROZONE: 2-4)
- ORNAMENTAL TREE (HYDROZONE: 2-3)
- EVERGREEN TREE (HYDROZONE: 1-4)



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CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN

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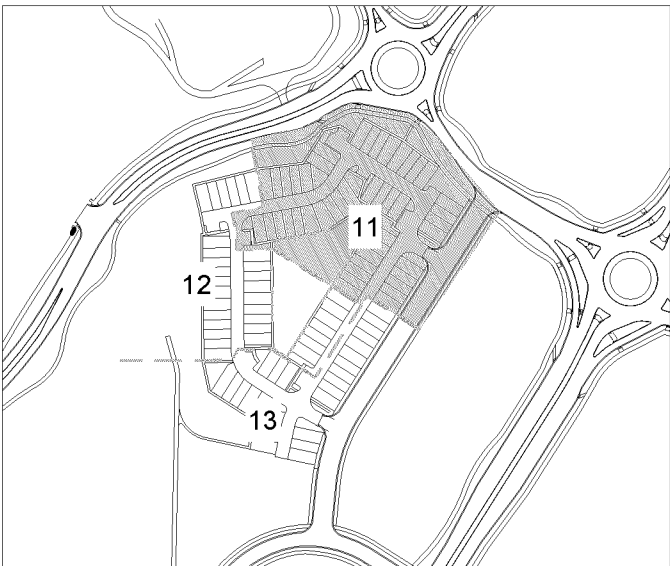
HYDROZONE
PLAN
SHEET
10 OF 29

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SITE DEVELOPMENT PLAN
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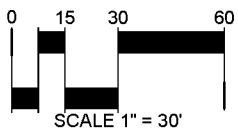
KEY MAP



LEGEND

SYMBOL	CODE	DESCRIPTION	DETAIL
		PROPERTY LINE	
		RIGHT OF WAY	
		LIMIT OF WORK	
		SIGHT DISTANCE TRIANGLE	
	RE: CIVIL, TYP. M-01	STANDARD CONCRETE	
	M-02	ACCENT COBBLE	
	M-03	COBBLE	
	M-04	ENHANCED CONCRETE	
	M-04	PLAYGROUND SURFACING	
	M-06	CRUSHER FINES	
	M-07	STEEL EDGER	
	M-08	4' DOG PARK FENCE	
	M-09	DOG PARK GATE	
	M-10	LANDSCAPE BOULDER - 3'	
	M-11	LANDSCAPE BOULDER - 4'	
	M-12	WOOD MULCH	
	M-13	OPEN RAIL FENCE	
	M-14	SPADE CUT EDGE	
	S-01	BIKE RACK	RE: SHEET 18
	S-02	PET STATION	RE: SHEET 18
	S-03	TABLE	RE: SHEET 18
	S-04	TRASH & RECYCLING	RE: SHEET 18
	S-05	BOULDER SEATING	RE: SHEET 16 & 18
	S-06	PICNIC TABLE	RE: SHEET 18
	S-07	DOG WASH STATION	RE: SHEET 18
	S-08	BENCH	RE: SHEET 18
	N-01	TRIPLE WONDER PLAY PANEL	RE: SHEET 18
	N-02	SPRING BOARD	RE: SHEET 18
	N-03	PLAYGROUND RAMP	RE: 1/ SHEET 17
	N-04	DOUBLE WEB CLIMBER	RE: SHEET 18
	N-05	STILTS	RE: SHEET 18
	N-06	STRUCTURAL BLOCK WALL	RE: 4/ SHEET 16
	N-07	FIRE HYDRANT	RE: CIVIL
	N-08	CONCRETE CURB	RE: 3/ SHEET 15
	N-09	FREESTANDING PLAYGROUND CURB	RE: 3/ SHEET 17
	N-10	MONOLITHIC PLAYGROUND CURB	RE: 4/ SHEET 17
	N-11	THICKENED EDGE CONCRETE SLAB	RE: 1/ SHEET 15
	N-12	LIMESTONE STEPS	RE: 2/ SHEET 16
	N-13	SWALE WITH TRICKLE CHANNEL	RE: CIVIL
	N-14	UTILITY EASEMENT	RE: CIVIL
	N-15	CONCRETE STEPS WITH BIKE CHANNEL	RE: 3/ SHEET 16
	N-16	SIGNAGE BY OWNER OR APPROVED EQUAL	RE: 2/ SHEET 18
	N-17	MAIL KIOSK	RE: 5/ SHEET 17
	N-18	CHASE DRAIN	RE: CIVIL
	N-19	10' CONCRETE TRAIL	RE: CIVIL

SYMBOL	CODE	BOTANICAL NAME
		SOD/SEED
	NI NS	NON-IRRIGATED NATIVE SEED
	NS TE	TEMP-IRRIGATED NATIVE SEED
	TU SO	IRRIGATED LOW WATER TURF
		SHEET MATCHLINE
		ENLARGEMENT MATCHLINE



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05/15/26	ND	5 5TH SUBMITTAL

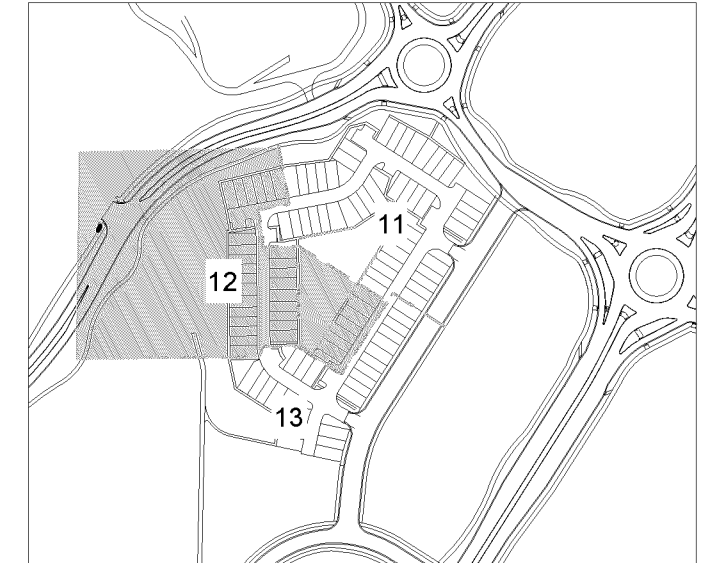
DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN

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CHECKED BY: SW, AK, CL

LANDSCAPE PLAN
SHEET 11 OF 29

KEY MAP



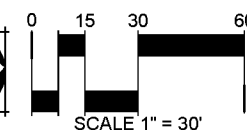
PROPERTY LINE
RIGHT OF WAY
LIMIT OF WORK
SIGHT DISTANCE TRIANGLE

<u>SYMBOL</u>	<u>CODE</u>	<u>DESCRIPTION</u>
RE. CIVIL, TYP.	M-01	STANDARD CONCRETE
	M-02	ACCENT COBBLE
	M-03	COBBLE
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	M-06	CRUSHER FINES
	M-07	STEEL EDGER
	M-08	4' DOG PARK FENCE
	M-09	DOG PARK GATE
	M-10	LANDSCAPE BOULDER - 3'
	M-11	LANDSCAPE BOULDER - 4'
	M-12	WOOD MULCH

<u>SYMBOL</u>	<u>CODE</u>	<u>DESCRIPTION</u>	<u>DETAIL</u>
	S-01	BIKE RACK	RE: SHEET 18
	S-02	PET STATION	RE: SHEET 18
	S-03	TABLE	RE: SHEET 18
	S-04	TRASH & RECYCLING	RE: SHEET 18
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	S-06	PICNIC TABLE	RE: SHEET 18
	S-07	DOG WASH STATION	RE: SHEET 18
	S-08	BENCH	RE: SHEET 18
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	N-02	SPRING BOARD	RE: SHEET 18
	N-03	PLAYGROUND RAMP	RE: 1/ SHEET 17
	N-04	DOUBLE WEB CLIMBER	RE: SHEET 18
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	N-18	CHASE DRAIN	RE: CIVIL
	N-19	10' CONCRETE TRAIL	RE: CIVIL

<u>SYMBOL</u>	<u>CODE</u>	<u>BOTANICAL NAME</u>
<u>SOD/SEED</u>		
	NI NS	NON-IRRIGATED NATIVE SEED
	NS TE	TEMP-IRRIGATED NATIVE SEED
	TU SO	IRRIGATED LOW WATER TURF

 SHEET MATCHLINE
 ENLARGEMENT MATCHLINE



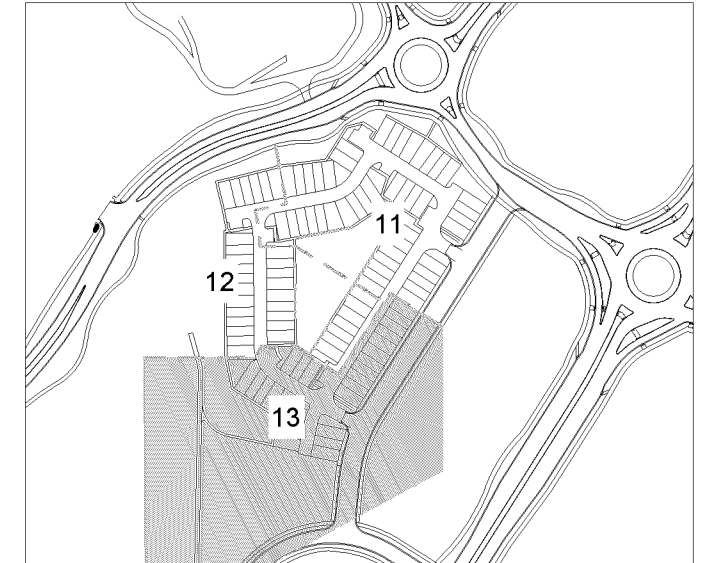
PROJECT NO. SDP25-0004

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME
SOD/SEED		
	TU SO	IRRIGATED TURF
	NI NS	NON-IRRIGATED NATIVE SEED
	NS TE	TEMP-IRRIGATED NATIVE SEED

--- SHEET MATCHLINE
--- ENLARGEMENT MATCHLINE

KEY MAP**LEGEND**

--- PROPERTY LINE
--- RIGHT OF WAY
--- LIMIT OF WORK
--- SIGHT DISTANCE TRIANGLE

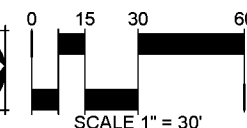
SYMBOL	CODE	DESCRIPTION
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	M-02	ACCENT COBBLE
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	M-04	ENHANCED CONCRETE
	M-04	PLAYGROUND SURFACING
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	N-18	CHASE DRAIN	RE: CIVIL
	N-19	10' CONCRETE TRAIL	RE: CIVIL

PLAN-E2 TOWNHOMES.dwg

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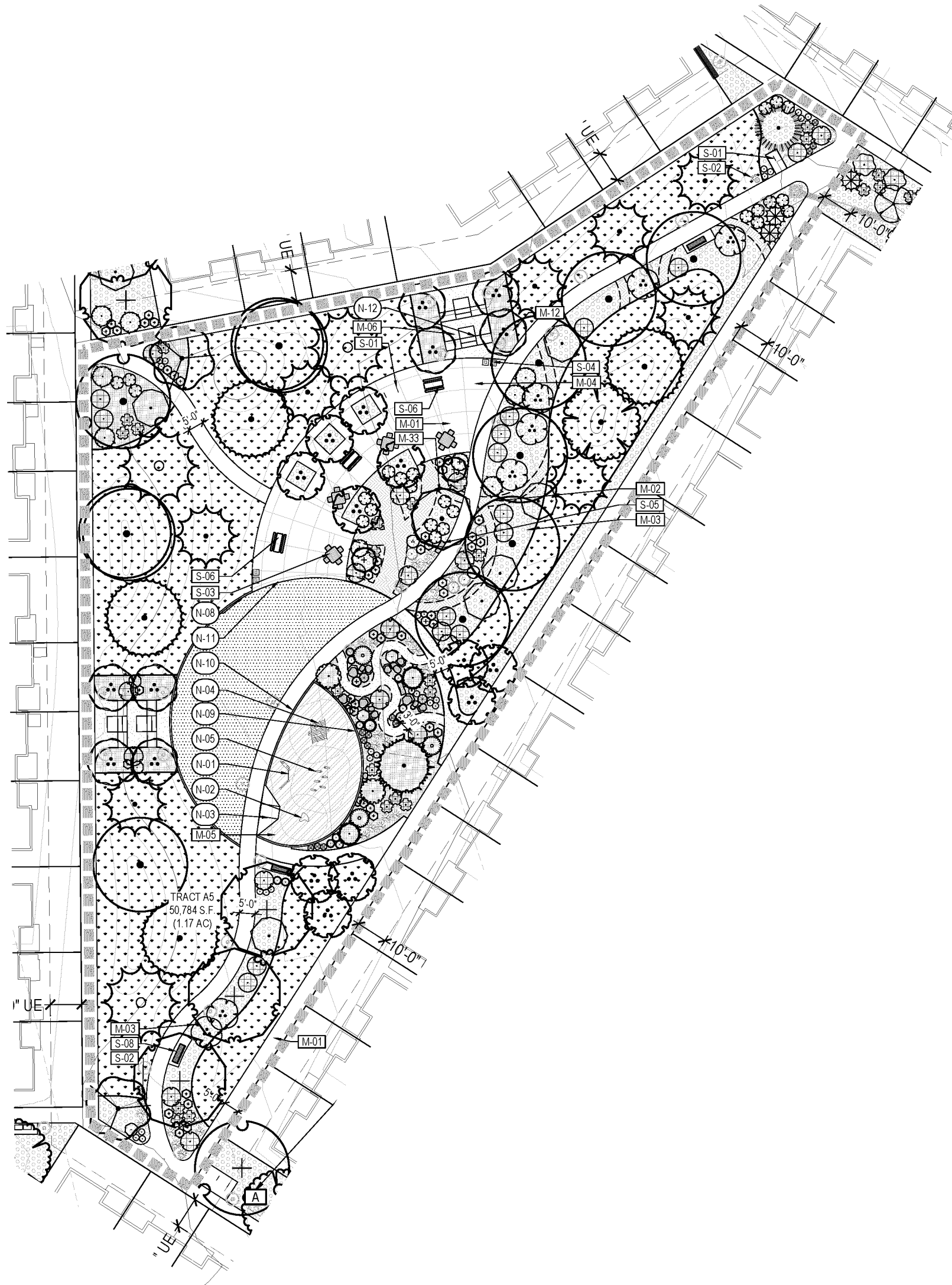
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DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN**NOT FOR
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DRAWN BY: LS, ATL, AK
CHECKED BY: SW, AK, CLLANDSCAPE
PLAN
SHEET
13 OF 29

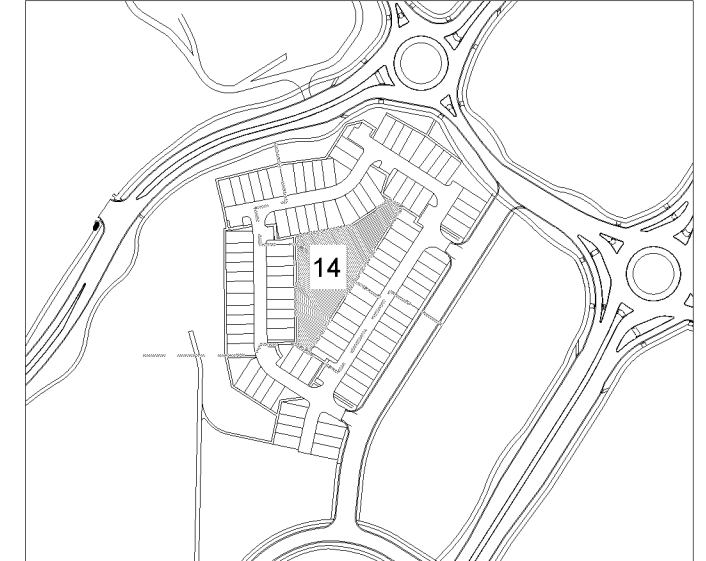
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SYMBOL	CODE	BOTANICAL NAME
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KEY MAP



LEGEND

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		RIGHT OF WAY	
		LIMIT OF WORK	
		SIGHT DISTANCE TRIANGLE	
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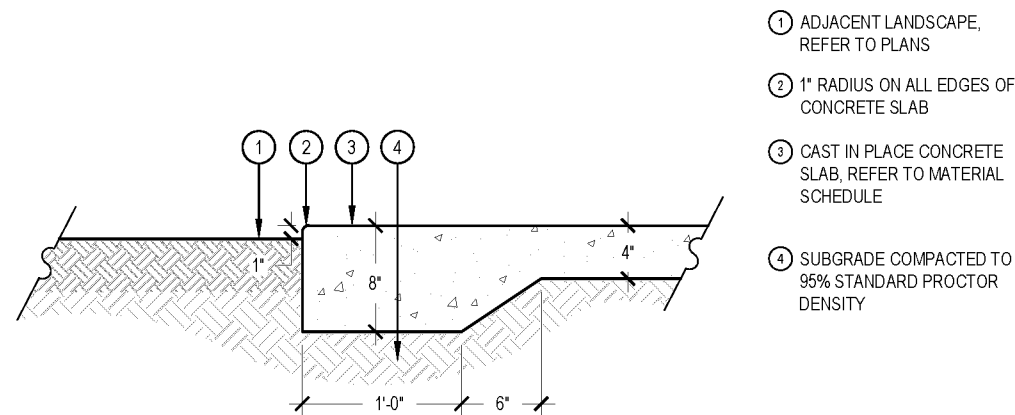
DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN

**NOT FOR
CONSTRUCTION**

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DRAWN BY: JS AT, AK
CHECKED BY: SW AK, CL

LANDSCAPE
ENLARGEMENT
SHEET
14 OF 29

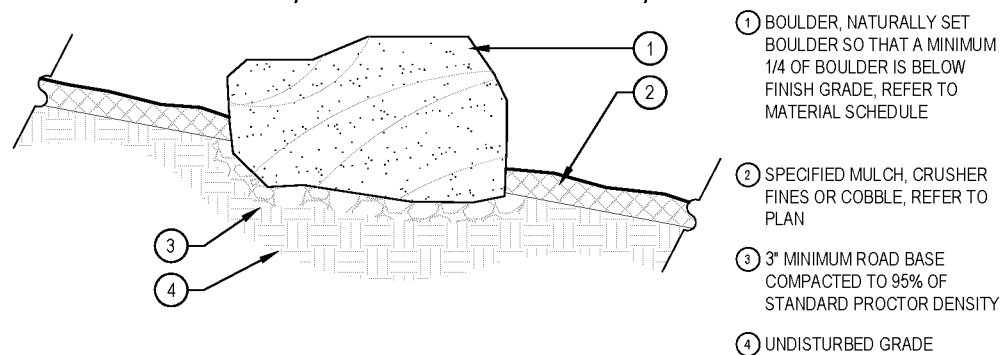
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**NOTES:**

- CONTROL JOINTS AS SHOWN ON PLANS.
- EXPANSION JOINTS AT 200' O.C. MAXIMUM OR WHERE NOTED.
- EXPANSION JOINTS AT ALL CONSTRUCTION JOINTS, SLAB EDGES OF ALL STRUCTURES.
- PROVIDE A 1" REVEAL FOR ALL ADJACENT GROUND PLANE TREATMENTS UNLESS OTHERWISE NOTED.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI. AT 28 DAYS, UNLESS OTHERWISE STATED BY A LICENSED ENGINEER.

1 THICKENED EDGE CONCRETE SLAB

SCALE: 1 1/2" = 1'-0"



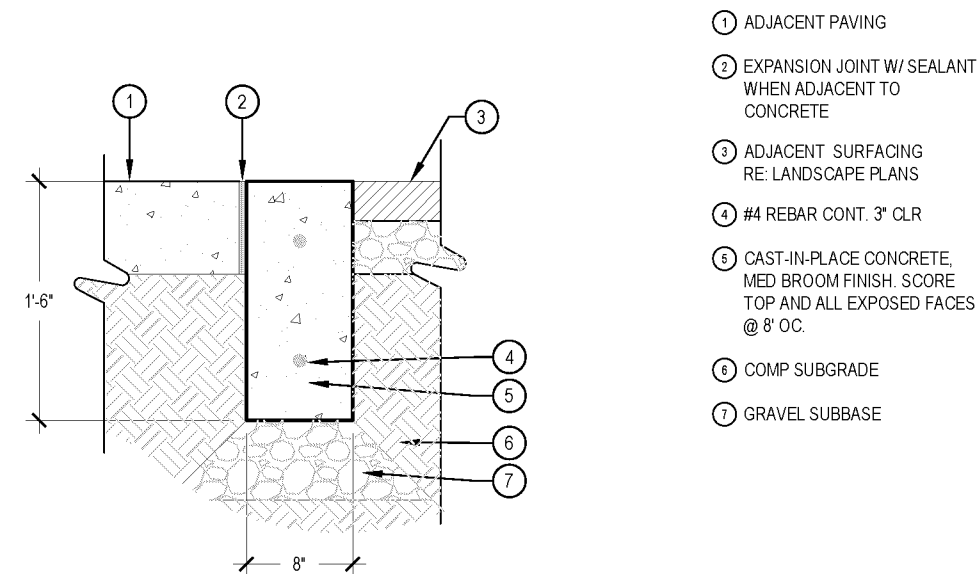
BOULDER SIZES		
QTY.	ITEM	SIZE
0	'A' SIZED BOULDER	24 - 30" DIAMETER X 18" MINIMUM DEPTH
21	'B' SIZED BOULDER	30 - 48" DIAMETER X 24" MINIMUM DEPTH
5	'C' SIZED BOULDER	48 - 60" DIAMETER X 32" MINIMUM DEPTH

NOTES:

- THESE ARE FREE STANDING BOULDERS ONLY. BOULDERS ASSOCIATED WITH THE BOULDER RETAINING WALLS, PARK ENTRY SIGNS AND INTERPRETIVE SIGNS ARE NOT INCLUDED IN THIS COUNT.
- THE OWNERS REPRESENTATIVE SHALL APPROVE LOCATIONS AND SIZES OF ALL BOULDERS PRIOR TO PLACING.
- CONTRACTOR SHALL SUBMIT SAMPLE OR PHOTOS FOR APPROVAL.

2 LANDSCAPE BOULDER

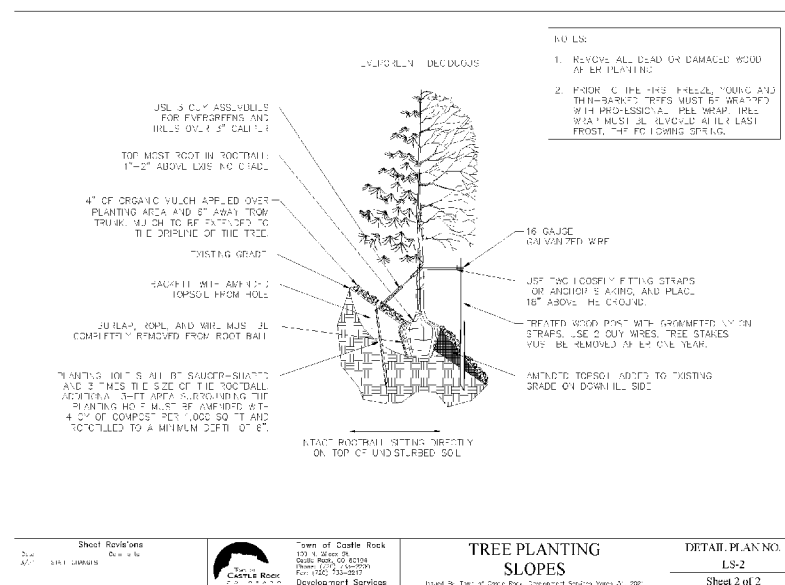
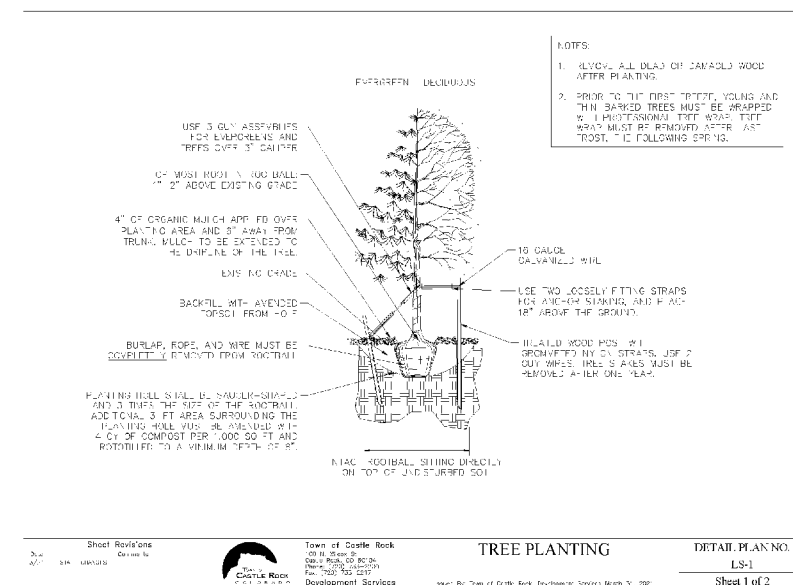
SCALE: 3/4" = 1'-0"

**NOTES:**

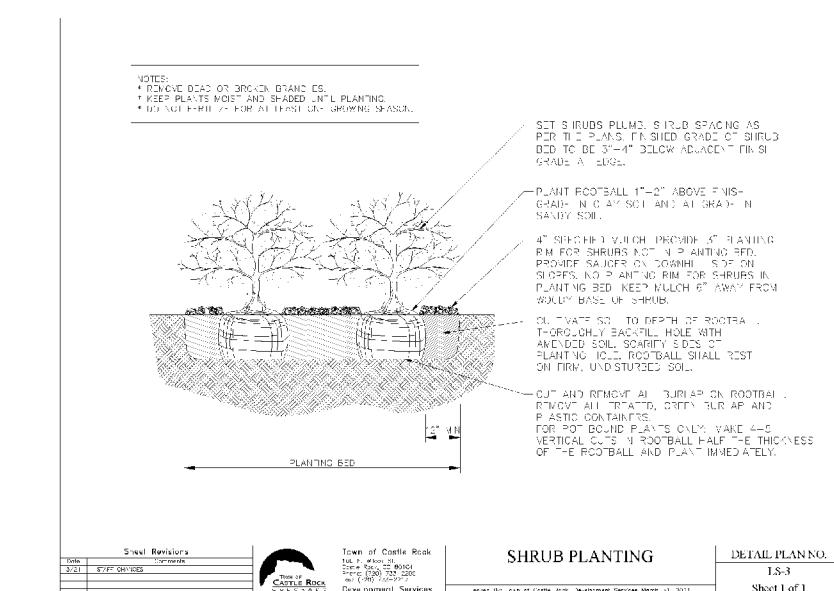
- INCLUDE VERTICAL EXPANSION JOINT @ 50' O.C.

3 CONCRETE CURB

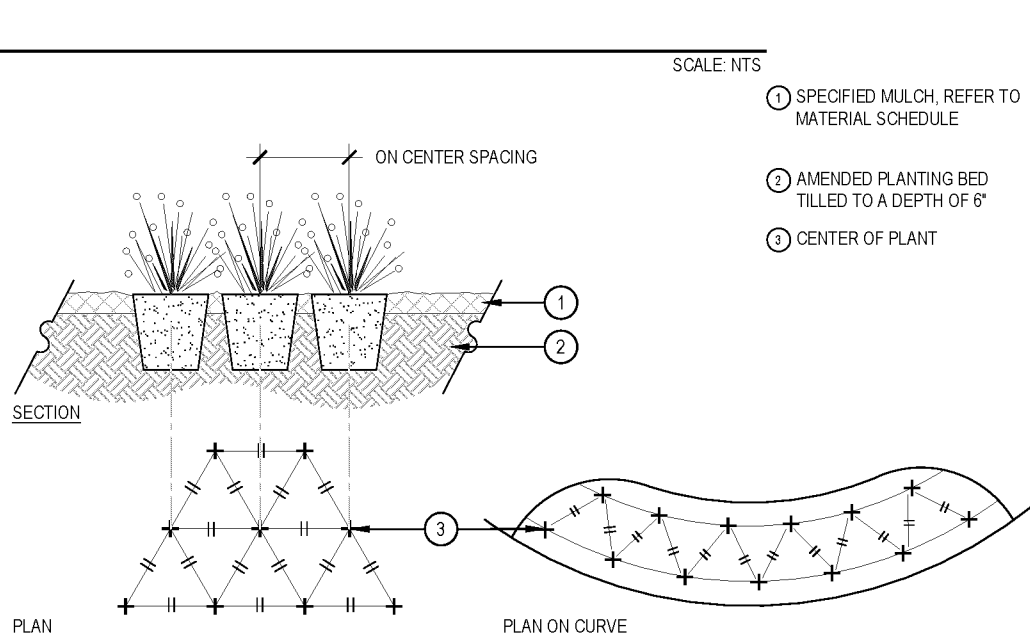
SCALE: 1 1/2" = 1'-0"

**4 TREE PLANTING DETAIL**

SCALE: NTS

**6 SHRUB PLANTING**

SCALE: NTS

**NOTES:**

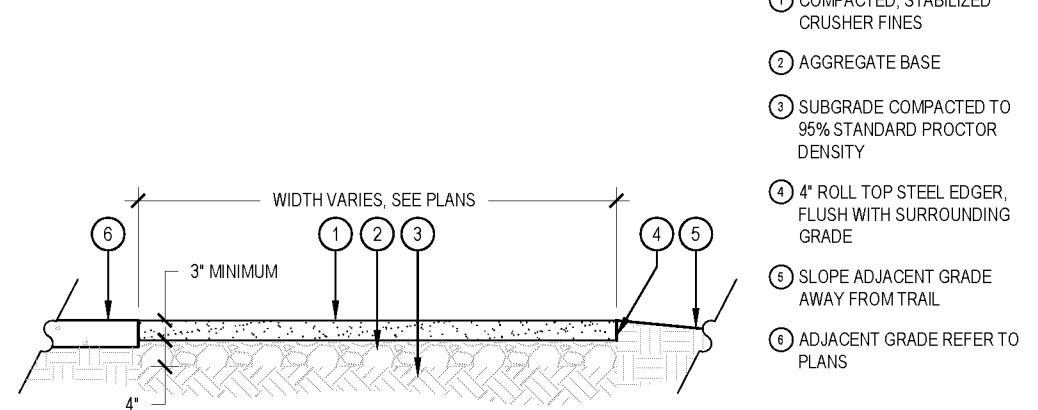
- WHEN PLANTED ON A CURVE, ORIENT ROWS TO FOLLOW THE LONG AXIS OF AREAS WHERE PLANTS ARE MASSED.

7 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

5 STEEL EDGER

SCALE: 1" = 1'-0"

**NOTES:**

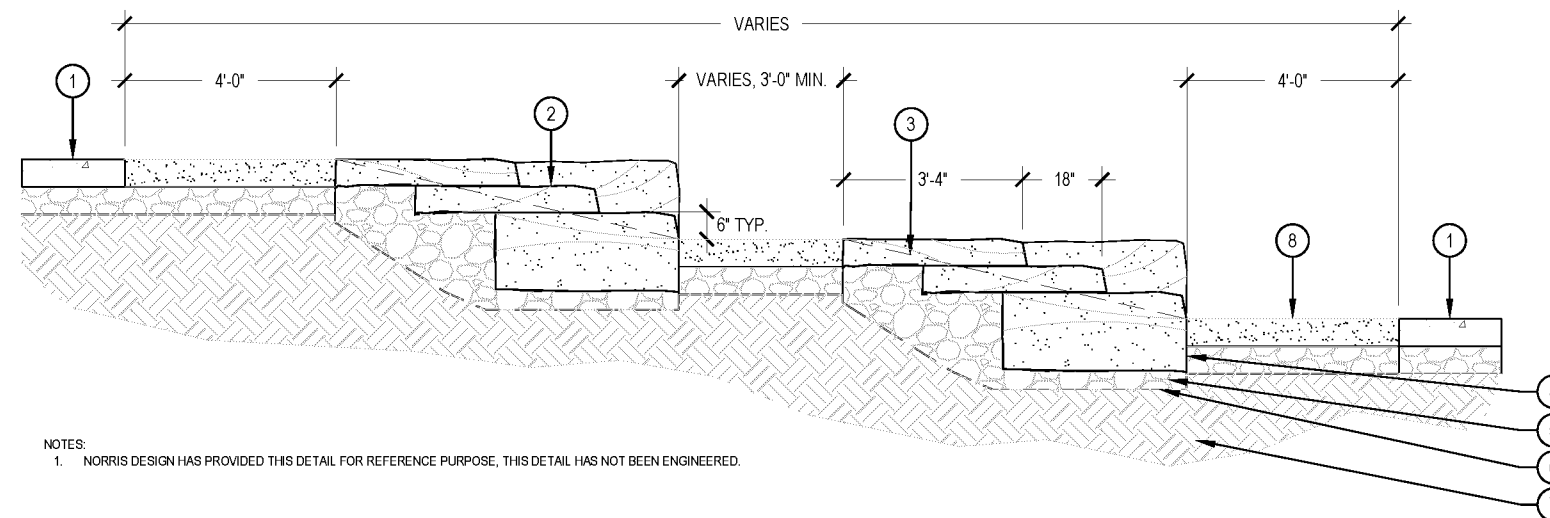
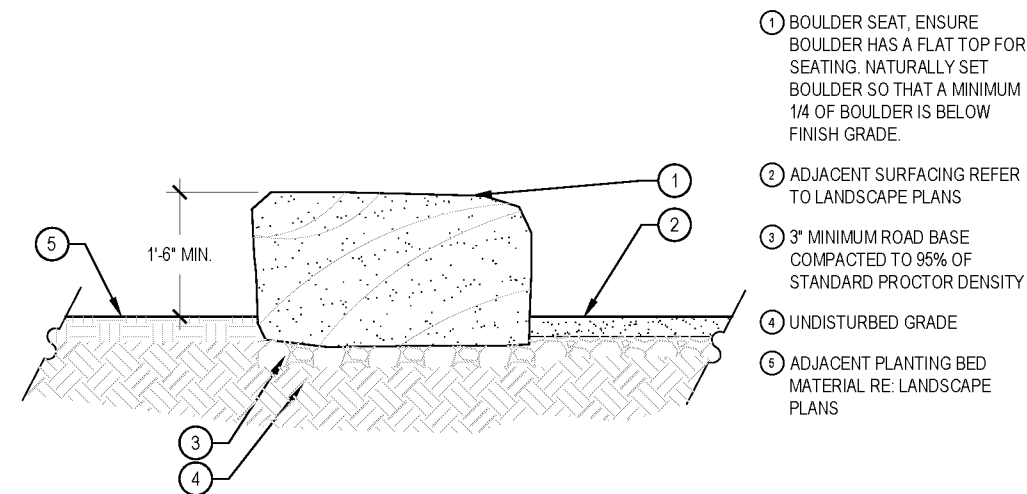
- COMPACT CRUSHER FINES WET, COMPACT TO 95% STANDARD PROCTOR DENSITY.
- USE A SMALL 4\"/>

8 CRUSHER FINES WITH EDGER, TYP

SCALE: 3/4" = 1'-0"

PROJECT NO. SDP25-0004

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



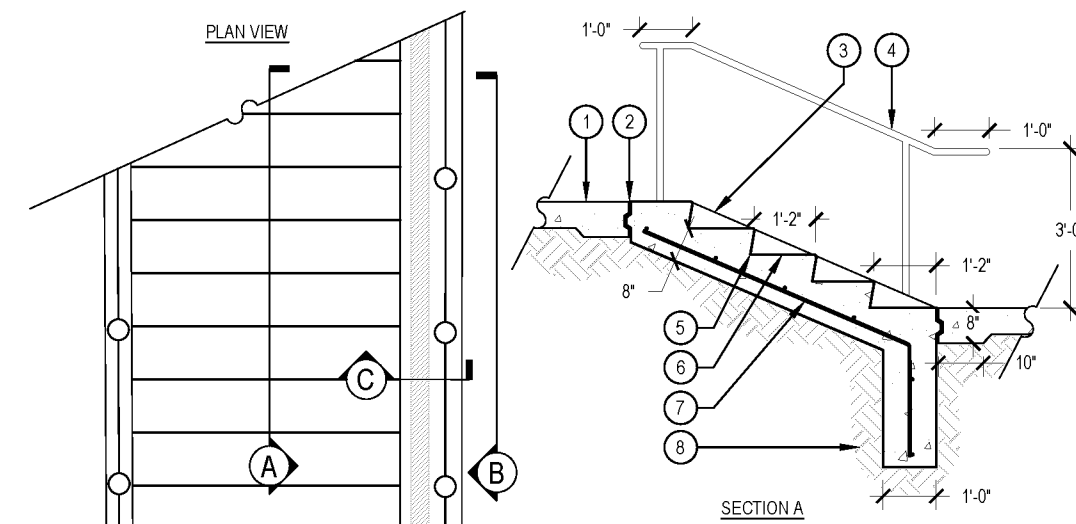
NOTES:
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE, THIS DETAIL HAS NOT BEEN ENGINEERED.

1 BOULDER SEATING

SCALE: 3/4" = 1'-0"

2 LIMESTONE STEPS

SCALE: 1/2" = 1'-0"



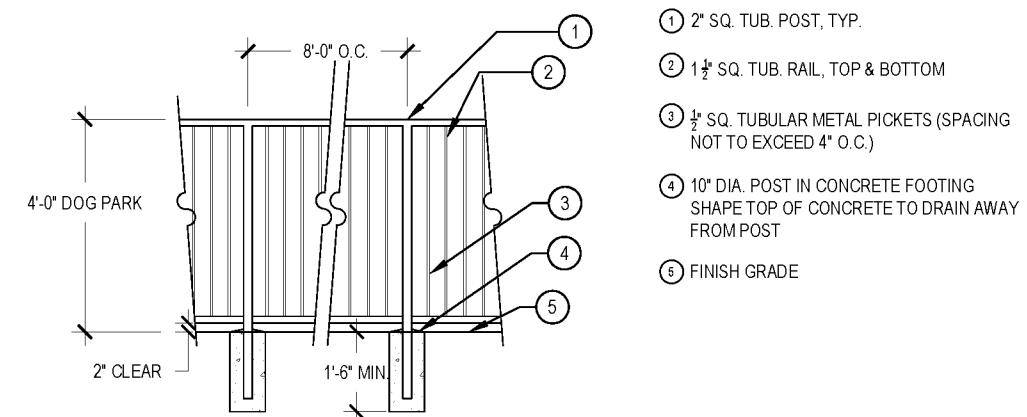
NOTES:
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE, THIS DETAIL HAS NOT BEEN ENGINEERED.
2. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN AND CALCULATIONS.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
4. MINIMUM BURY DEPTH ON ALL REBAR SHALL BE 2'-1/2".
5. CONCRETE ON STAIRS SHALL BE STANDARD GREY, MEDIUM BROOM FINISH.

3 CONCRETE STEPS WITH BIKE CHANNEL

SCALE: 1/2" = 1'-0"

4 STRUCTURAL BLOCK WALL

SCALE: 1/2" = 1'-0"



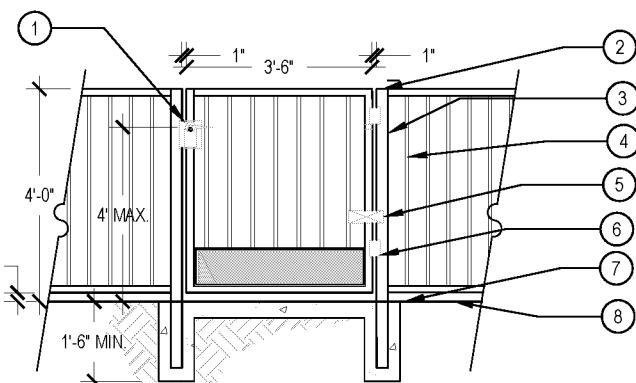
NOTES:
1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
3. PLATES TO BE WELDED TO THE POST WITH A CONTINUOUS 1/4" WELD GROUND SMOOTH AND ALL PRIMED/PAINTED TO MATCH THE FENCE. ANCHOR SYSTEM TO BE RED HEAD TRU-BOLT WEDGE ANCHOR 1/4" X 21/8" WW304S S (OR APPROVED EQUAL).
4. SELF-CLOSING SPRING HINGES SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.
5. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING OR FOOTING DEPTHS ASSOCIATED WITH THIS DETAIL. THIS MUST BE PREPARED BY A LOCALLY LICENSED ENGINEER AS REQUIRED FOR PERMITS AND MUST COMPLY WITH ALL CODES AND REGULATIONS. REFER TO MANUFACTURER SPECIFICATIONS FOR FOOTING DEPTHS.

5 DOG PARK FENCE

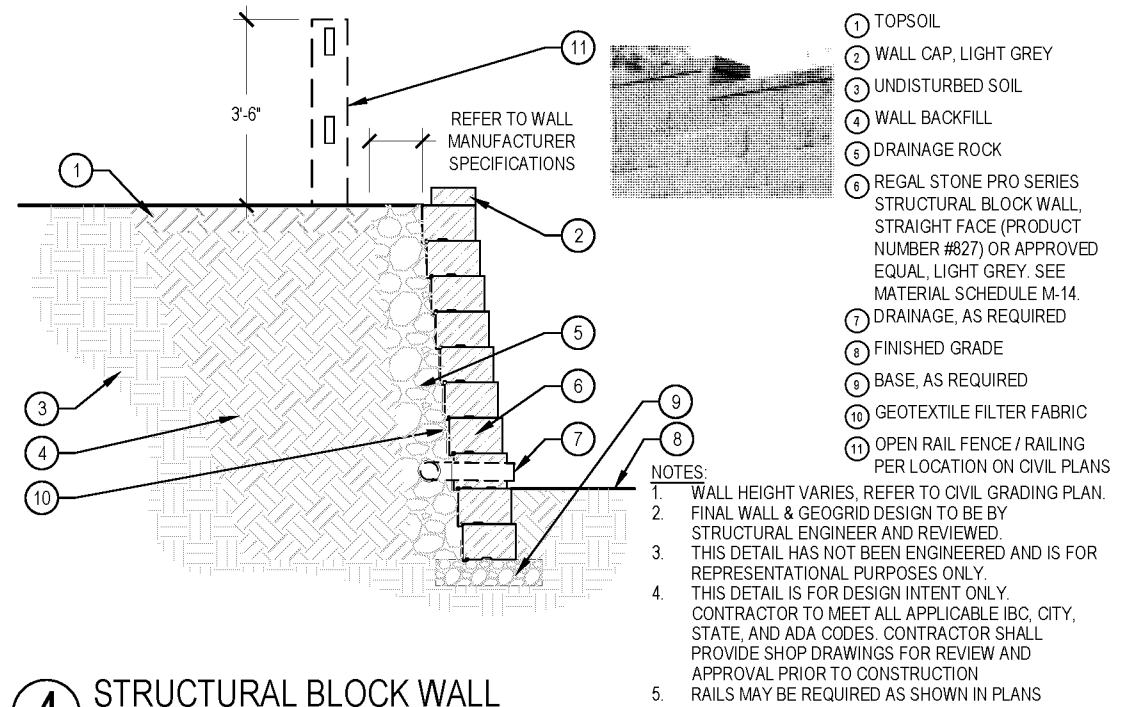
SCALE: 1/2" = 1'-0"

6 GATE - DOG PARK

SCALE: 1/2" = 1'-0"



NOTES:
1. GRIND ALL WELDS SMOOTH
2. ALL METAL PIECES TO BE PREFINISHED ALUMINUM. COLOR TO BE BLACK SEMI-GLOSS.
3. PLATES TO BE WELDED TO THE POST WITH A CONTINUOUS 1/4" WELD GROUND SMOOTH AND PRIMED/PAINTED TO MATCH THE FENCE.
4. SELF-CLOSING SPRING HINGES SHALL BE ADJUSTED SO THAT FROM AN OPEN POSITION OF 70 DEGREES THE DOOR WILL MOVE TO THE CLOSED POSITION IN 1.5 SECONDS MINIMUM.
5. FENCE FABRICATOR TO PROVIDE SHOP DRAWING FOR INSTALLATION AND GROUNDING.
6. GATE TO BE INSTALLED WITH 18" CLEAR SPACE OF CONCRETE PAVEMENT FROM LATCH ON THE PULL SIDE.
7. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL ENGINEERING OR FOOTING DEPTHS ASSOCIATED WITH THIS DETAIL. THIS MUST BE PREPARED BY A LOCALLY LICENSED ENGINEER AS REQUIRED FOR PERMITS AND MUST COMPLY WITH ALL CODES AND REGULATIONS. REFER TO MANUFACTURER SPECIFICATIONS FOR FOOTING DEPTHS.

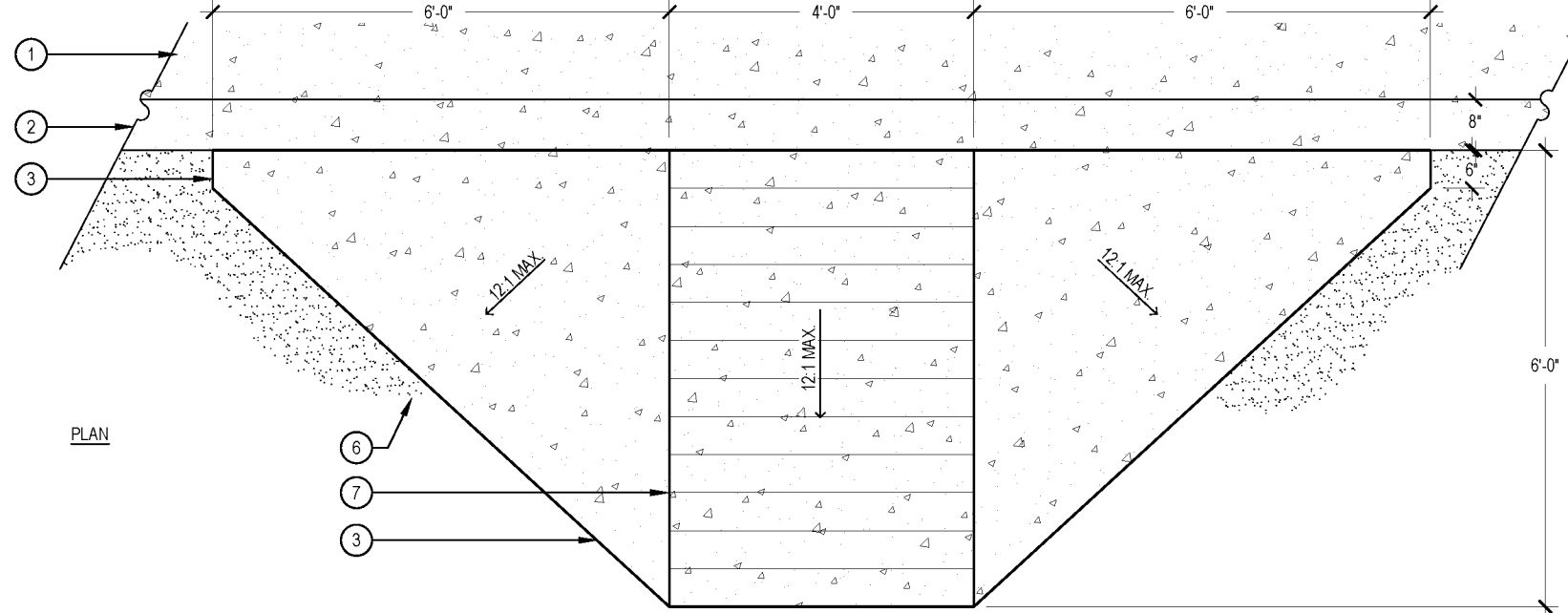
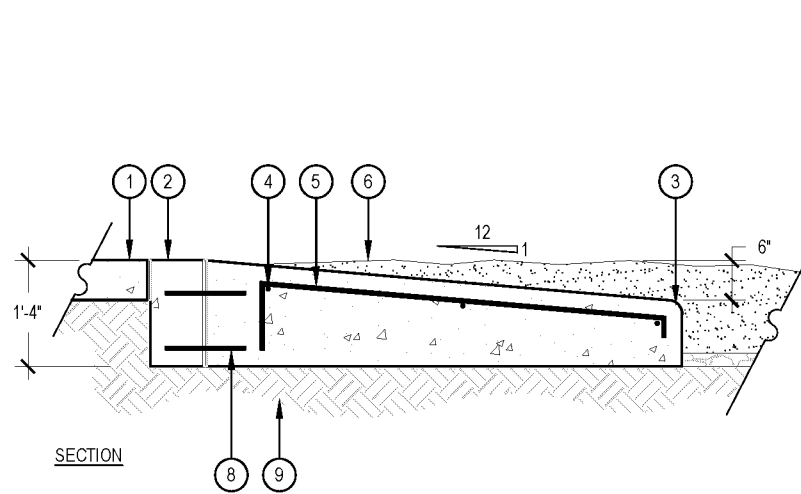


NOTES:
1. WALL HEIGHT VARIES. REFER TO CIVIL GRADING PLAN.
2. FINAL WALL & GEOGRID DESIGN TO BE BY STRUCTURAL ENGINEER AND REVIEWED.
3. THIS DETAIL HAS NOT BEEN ENGINEERED AND IS FOR REPRESENTATIONAL PURPOSES ONLY.
4. THIS DETAIL IS FOR DESIGN INTENT ONLY. CONTRACTOR TO MEET ALL APPLICABLE IBC, CITY, STATE, AND ADA CODES. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION
5. RAILS MAY BE REQUIRED AS SHOWN IN PLANS

SITE DEVELOPMENT PLAN

DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V

LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

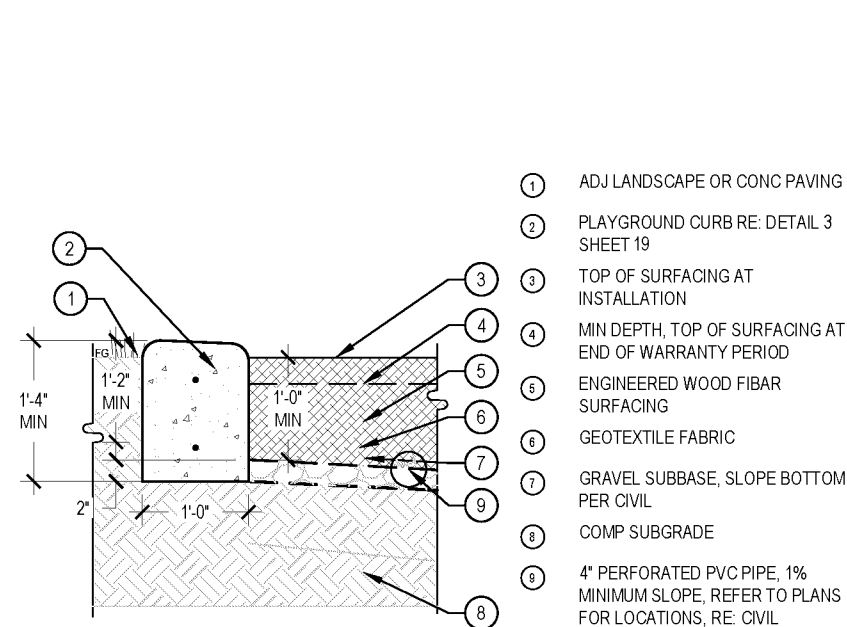


- 1 CONCRETE WALK
- 2 CONCRETE CURB, REFER TO DETAIL 3, SHEET 15
- 3 2" RADIUS ON ALL EXPOSED EDGES
- 4 (3) #4 REBAR
- 5 #4 REBAR 18" ON CENTER
- 6 PLAY SAFETY SURFACE, REFER TO DETAIL 2, SHEET 17
- 7 TOOLED SCORE JOINTS, 6" APART
- 8 (2) #4 DOWELS 18" ON CENTER
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.

1 PLAYGROUND RAMP

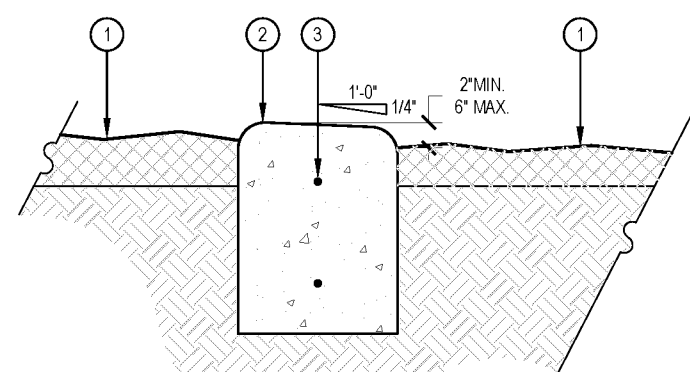
SCALE: 3/4" = 1'-0"



- 1 ADJ LANDSCAPE OR CONC PAVING
- 2 PLAYGROUND CURB RE: DETAIL 3 SHEET 15
- 3 TOP OF SURFACING AT INSTALLATION
- 4 MIN DEPTH, TOP OF SURFACING AT END OF WARRANTY PERIOD
- 5 ENGINEERED WOOD FIBAR SURFACING
- 6 GEOTEXTILE FABRIC
- 7 GRAVEL SUBBASE, SLOPE BOTTOM PER CIVIL
- 8 COMP SUBGRADE
- 9 4" PERFORATED PVC PIPE, 1% MINIMUM SLOPE, REFER TO PLANS FOR LOCATIONS, RE: CIVIL

2 ENGINEERED WOOD FIBAR SURFACING

SCALE: 1" = 1'-0"

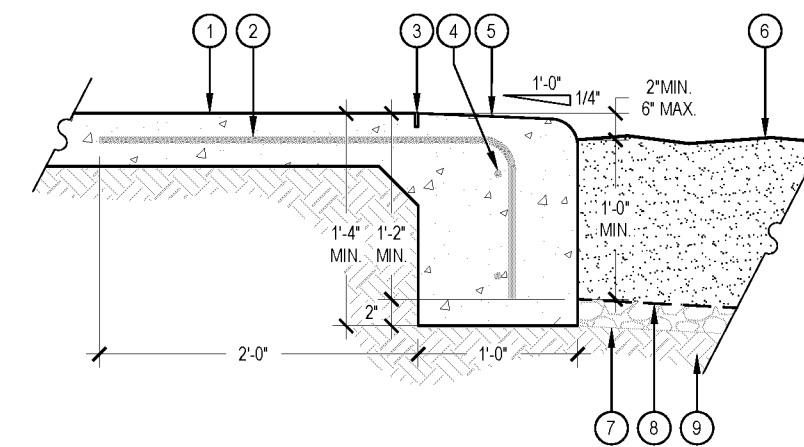


- 1 ADJACENT LANDSCAPE, REFER TO LANDSCAPE PLANS
- 2 CONCRETE CURB, 2" RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND
- 3 (2) #4 REBAR 24" ON CENTER

NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.
3. SCORE JOINTS SHALL BE SPACES 5'-0" ON CENTER AND RUN THROUGH TOP AND SIDES OF CURB.
4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

3 FREE STANDING CONCRETE PLAYGROUND CURB

SCALE: 1 1/2" = 1'-0"

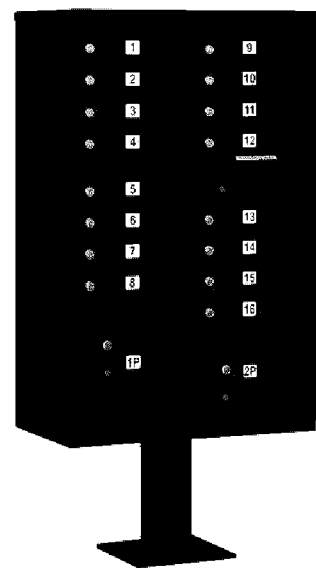


- 1 CONCRETE WALK
- 2 #4 REBAR 24" ON CENTER
- 3 1" DEEP CONTROL JOINT
- 4 (2) #4 REBAR 24" ON CENTER
- 5 CONCRETE CURB, 2" RADIUS ON ALL EXPOSED EDGES, SLOPE TOP 1/4" PER FOOT TOWARD PLAYGROUND
- 6 ENGINEERED WOOD FIBAR SAFETY SURFACE, REFER TO MATERIAL SCHEDULE
- 7 3/4" WASHED GRAVEL
- 8 GEOTEXTILE FILTER / DRAINAGE MAT
- 9 SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY

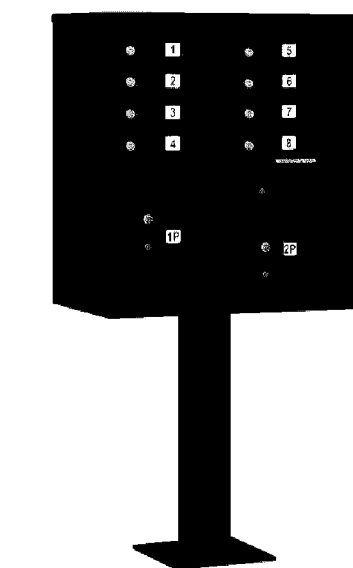
NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
2. THE DEPTH OF THE CURB VARIES TO ADJUST FOR STEEP GRADES ADJACENT TO THE PLAYGROUND PITS. IN NO CASE SHALL THE GRADE WITHIN THE PLAYGROUND PITS BE GREATER THAN 2.5%. REFER TO LAYOUT PLAN.
3. SCORE JOINTS ON THE WALKS PERPENDICULAR TO THE CURB SHALL EXTEND THROUGH THE ENTIRE DEPTH OF THE CURB.
4. SLOPE BOTTOM OF SAFETY SURFACE 2% MINIMUM TO DRAIN.

4 MONOLITHIC CONCRETE PLAYGROUND CURB

SCALE: 1 1/2" = 1'-0"



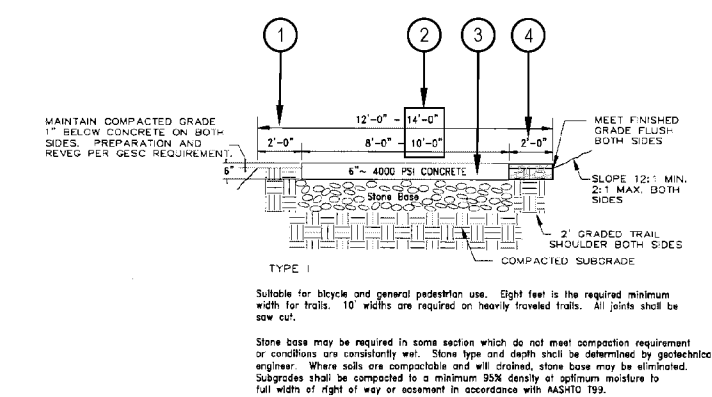
SALSBURY C.B. 16 DOOR 2 PARCEL
All Aluminum Construction



SALSBURY C.B. 8 DOOR 2 PARCEL
All Aluminum Construction



NOTES:
1. THE PHOTO IS PROVIDED FOR DESIGN DIRECTION AND INITIAL SELECTION ONLY. AMENITY SELECTIONS MAY SHIFT THROUGHOUT THE DESIGN PROCESS BASED ON PRICING, DESIGN CONSTRAINTS, OR OWNERSHIP FEEDBACK. EQUIVALENT PRODUCTS WILL BE SELECTED.



NOTES:
1. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
2. REFER TO LAYOUT PLAN FOR CONTROL JOINT LOCATIONS.
3. SHOULDERS ARE TO REMAIN CLEAR OF ALL OBSTRUCTIONS.

6 CONCRETE TRAIL

SCALE: 1/2" = 1'-0"

5 MAIL KIOSKS

SCALE: NTS

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DENVER, CO 80204
P: 303.892.1195



DATE	BY	REVISION
03/01/25	ND	1. 1ST SUBMITTAL
10/01/25	ND	2. 2ND SUBMITTAL
02/06/26	ND	3. 3RD SUBMITTAL
04/01/26	ND	4. 4TH SUBMITTAL
05/15/26	ND	5. 5TH SUBMITTAL

DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN

NOT FOR CONSTRUCTION

DESIGNED BY: CL AT, LS
DRAWN BY: JS, AK, AK
CHECKED BY: SW, AK, CL

LANDSCAPE DETAILS
SHEET 17 OF 29

PROJECT NO. SDP25-0004

P:\Dawson Trails - 0781-01-2647\Brightland Homes - E2 Townhomes - 1335-01-3751\Drawings\Submittals PLAN-E2 TOWNHOMES.dwg 2021-09-11 (4:30 PM)

PLAN-E2 TOWNHOMES.dwg

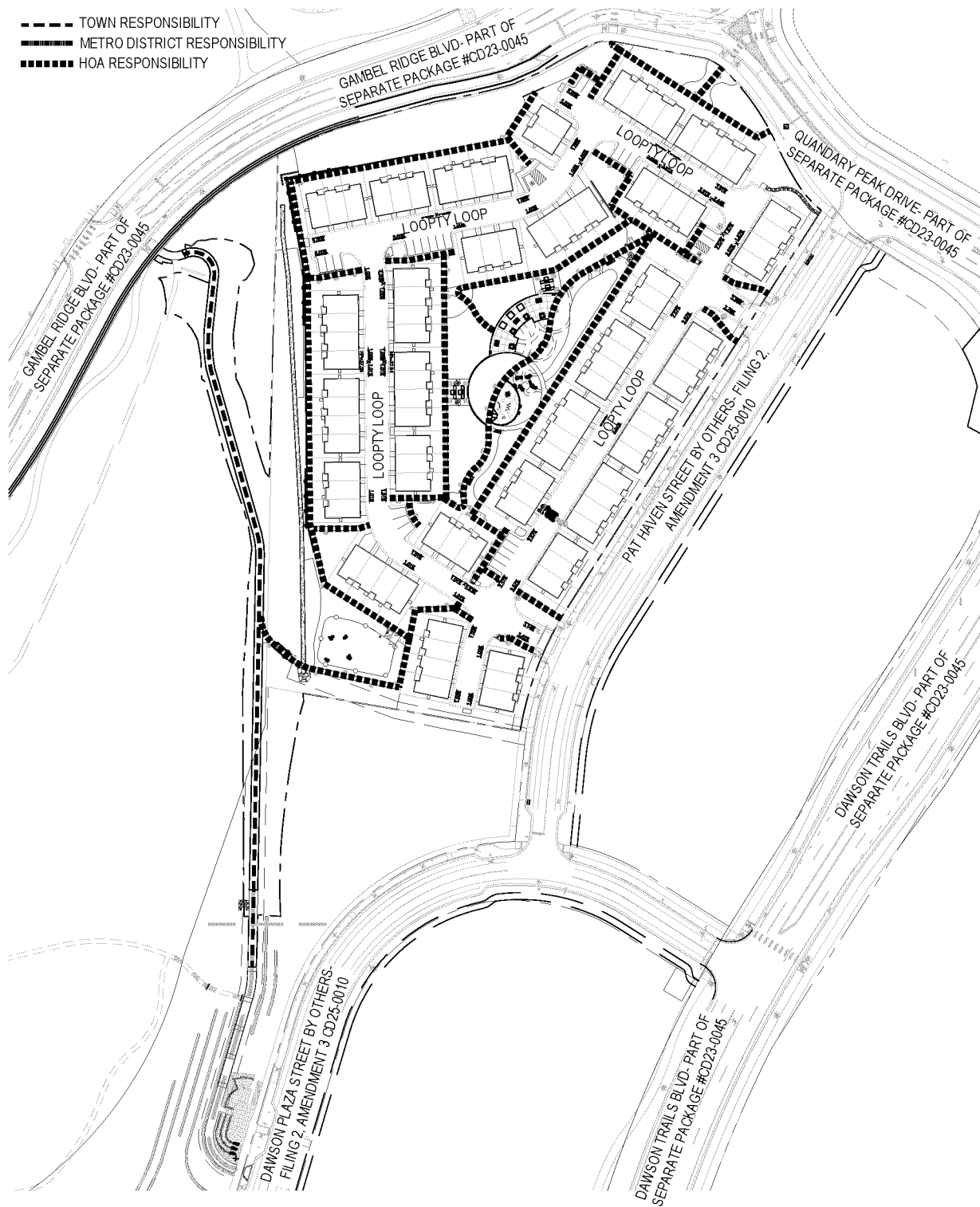
P:\Dawson Trails - 0781-01-2647\Brightland Homes - E2 Townhomes - 1335-01-3751\Drawings\Submittals

SITE DEVELOPMENT PLAN

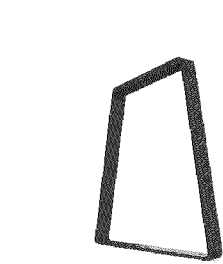
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

MAINTENANCE RESPONSIBILITY DIAGRAM

- TOWN RESPONSIBILITY
- METRO DISTRICT RESPONSIBILITY
- HOA RESPONSIBILITY



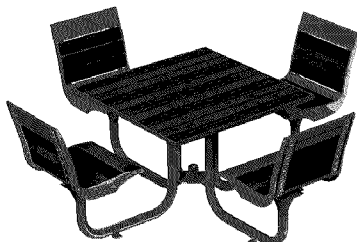
AMENITY SCHEDULE



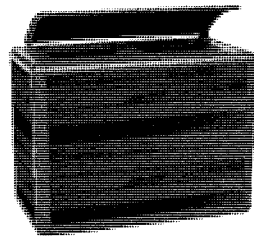
S-01
DESCRIPTION: BIKE RACK
MANUFACTURER: ANOVA OR
APPROVED EQUAL
MODEL: #RLA30
COLOR/FINISH: TEXTURED
BRONZE
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



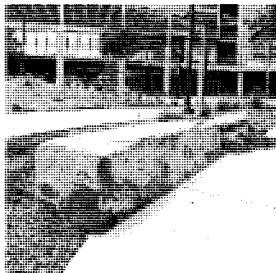
S-02
DESCRIPTION: PET STATION
MANUFACTURER: ANOVA OR
APPROVED EQUAL
MODEL: #D022
COLOR/FINISH: GREEN
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



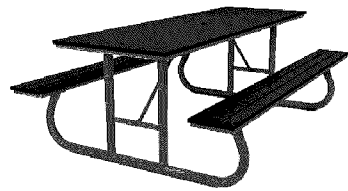
S-03
DESCRIPTION: TABLE
MANUFACTURER: ANOVA OR
APPROVED EQUAL
MODEL: #BH1840R
COLOR/FINISH: TEXTURED
BRONZE AND BRAZILIAN WALNUT/
RECYCLED PLASTIC
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



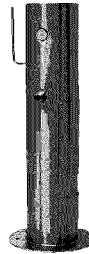
S-04
DESCRIPTION: TRASH & RECYCLING
MANUFACTURER: ANOVA OR
APPROVED EQUAL
MODEL: #BH1870RBT
COLOR/FINISH: TEXTURED BRONZE
AND BRAZILIAN WALNUT/ RECYCLED
PLASTIC
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



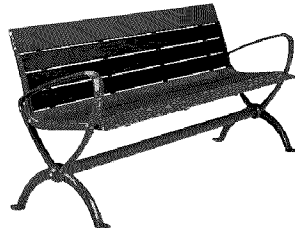
S-05
DESCRIPTION: BOULDER SEATING
MANUFACTURER: SITE ONE OR
APPROVED EQUAL
MODEL: #GARD-0447
COLOR/FINISH: ARIZONA BUFF/
NATURAL
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



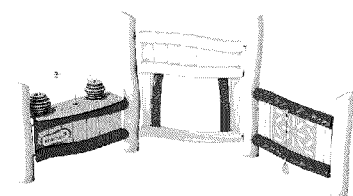
S-06
DESCRIPTION: PICNIC TABLE
MANUFACTURER: ANOVA OR
APPROVED EQUAL
MODEL: #T2010R
COLOR/FINISH: BRAZILIAN
WALNUT AND TEXTURED RUST/
RECYCLED PLASTIC
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



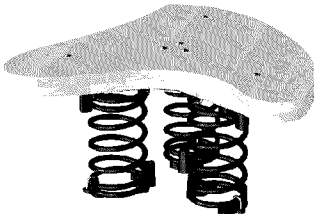
S-07
DESCRIPTION: DOG WASH
STATION
MANUFACTURER: DOG ON IT OR
APPROVED EQUAL
MODEL: #PW7220
COLOR/FINISH: TEXTURED
FAIRWAY GREEN
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



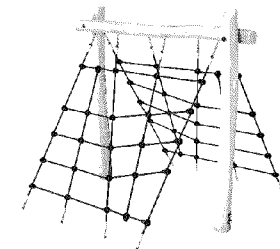
S-08
DESCRIPTION: BENCH
MANUFACTURER: ANOVA OR
APPROVED EQUAL
MODEL: #BH1880R
COLOR/FINISH: TEXTURED
BRONZE AND BRAZILIAN WALNUT/
RECYCLED PLASTIC
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



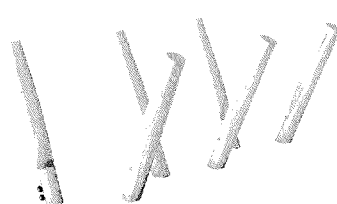
N-01
DESCRIPTION: TRIPLE WONDER
PLAY PANEL
MANUFACTURER: KOMPAN OR
APPROVED EQUAL
MODEL: NRC60201
COLOR/FINISH: ROBINIA GREEN
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



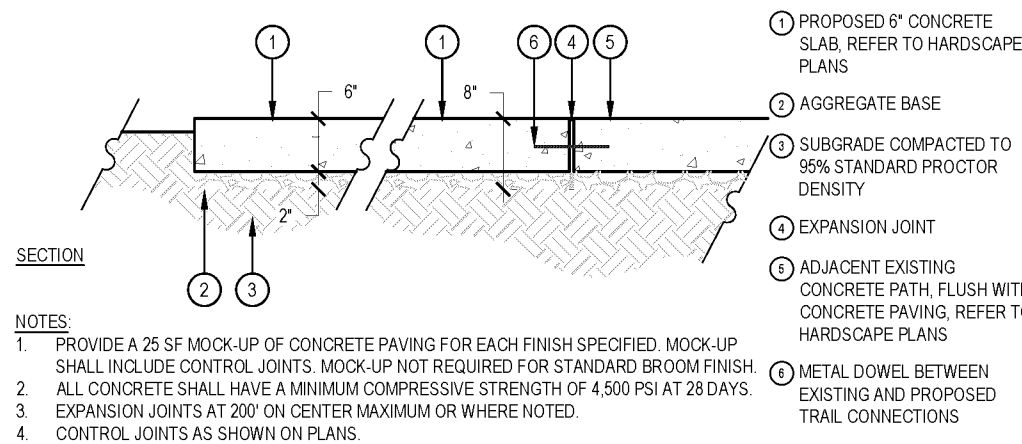
N-02
DESCRIPTION: SPRING BOARD
MANUFACTURER: KOMPAN OR
APPROVED EQUAL
MODEL: NRO104
COLOR/FINISH: ROBINIA UNT.
WOOD
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



N-04
DESCRIPTION: DOUBLE WEB
CLIMBER
MANUFACTURER: KOMPAN OR
APPROVED EQUAL
MODEL: NRO833-1001
COLOR/FINISH: ROBINIA UNT.
WOOD
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



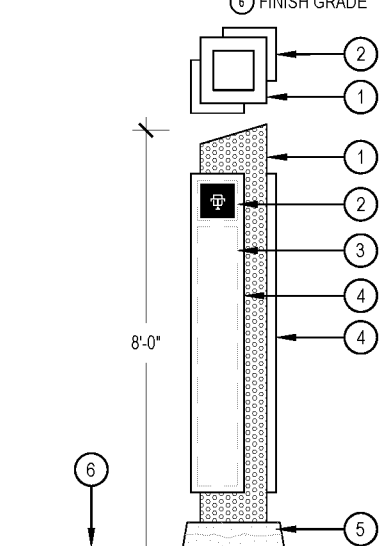
N-05
DESCRIPTION: STILTS
MANUFACTURER: KOMPAN OR
APPROVED EQUAL
MODEL: NRO806-0601
COLOR/FINISH: ROBINIA UNT.
WOOD
NOTES: INSTALL PER
MANUFACTURER SPECIFICATIONS



- NOTES:
- PROVIDE A 25 SF MOCK-UP OF CONCRETE PAVING FOR EACH FINISH SPECIFIED. MOCK-UP SHALL INCLUDE CONTROL JOINTS. MOCK-UP NOT REQUIRED FOR STANDARD BROOM FINISH.
 - ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 4,500 PSI AT 28 DAYS.
 - EXPANSION JOINTS AT 200' ON CENTER MAXIMUM OR WHERE NOTED.
 - CONTROL JOINTS AS SHOWN ON PLANS.

EXISTING CONCRETE CONNECTION

- PERFORATED STEEL
- DAWSON TRAILS LOGO
- WAY FINDING TEXT
- METAL PANEL
- BOARD FORMED CONCRETE BASE
- FINISH GRADE



- NOTES:
- NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE AND PRICING PURPOSES AT THE DIRECTION OF THE OWNER. THE STRUCTURAL FOOTING AND REINFORCEMENT HAS NOT BEEN ENGINEERED AND WILL REQUIRE STAMPED PLANS PREPARED BY A LOCALLY LICENSED ENGINEER. NORRIS DESIGN IS NOT RESPONSIBLE FOR THE PERFORMANCE OR INTEGRITY OF THIS STRUCTURAL FOOTING DETAIL.
 - SIGN CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT.

PRIMARY MARKER SIGN

SCALE: 1" = 1'-0"

SCALE: 1/2" = 1'-0"

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#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	03/01/25	ND
2	2ND SUBMITTAL	10/01/25	ND
3	3RD SUBMITTAL	02/06/26	ND
4	4TH SUBMITTAL	04/01/26	ND
5	5TH SUBMITTAL	05/15/26	ND

DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN

NOT FOR
CONSTRUCTION

DESIGNED BY: CL, AT, LS
DRAWN BY: JS, AT, AK
CHECKED BY: SW, AK, CL

LANDSCAPE
DETAILS
SHEET
18 OF 29

PROJECT NO. SDP25-0004

STUDIO LIGHTNING
63 SUNSET DR.
BAILEY, CO 80421
303.242.1572

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1	1ST SUBMITTAL	03/01/25	ND
2	2ND SUBMITTAL	10/1/25	ND
3	3RD SUBMITTAL	02/06/26	ND
4	4TH SUBMITTAL	04/14/26	ND
5	5TH SUBMITTAL	05/21/26	ND

DAWSON TRAILS FILING 2, TRACTS N, P, &
CASTLE ROCK, COLORADO
SITE DEVELOPMENT PLAN
SITE LIGHTING PHOTOMETRIC

**NOT FOR
CONSTRUCTION**

DESIGNED BY: JLK
DRAWN BY: JLK
CHECKED BY: JMB

SHEET
27 OF 29



1 SITE LIGHTING PHOTOMETRIC
SCALE: 1" = 50'-0"

PHOTOMETRY PLAN GENERAL NOTES:

1. LIGHT LOSS FACTOR IS 1
2. HOURS OF LIGHT OPERATION AND HOW THIS WILL BE ACHIEVED: ALL EXTERIOR LIGHTING, INCLUDING FIXTURE TYPE SW, TO BE PHOTOCCELL CONTROLLED. PROVIDE IECC COMPLIANT CONTROLS AND VERIFY ALL CONTROLS WITH OWNERSHIP PRIOR TO PURCHASE AND INSTALL. LIGHTING TO BE ON FROM DUSK TO DAWN.
3. LIGHTING OBJECTIVES: TO PROVIDE EVEN LIGHTING LEVELS AND COMPLY WITH LOCAL REQUIREMENTS.
4. MITIGATION EFFORTS: LIGHTING WILL PRODUCE NO UNWANTED GLARE OR LIGHT TRESPASS ON NEIGHBORING PROPERTIES. ALL LIGHT FIXTURES THAT ARE VISIBLE FROM OFF PROPERTY ARE FULL CUT-OFF.
5. EXTERIOR LIGHTING FOR EGRESS TRAVEL (TO THE PUBLIC WAY OR EGRESS COURT) SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.

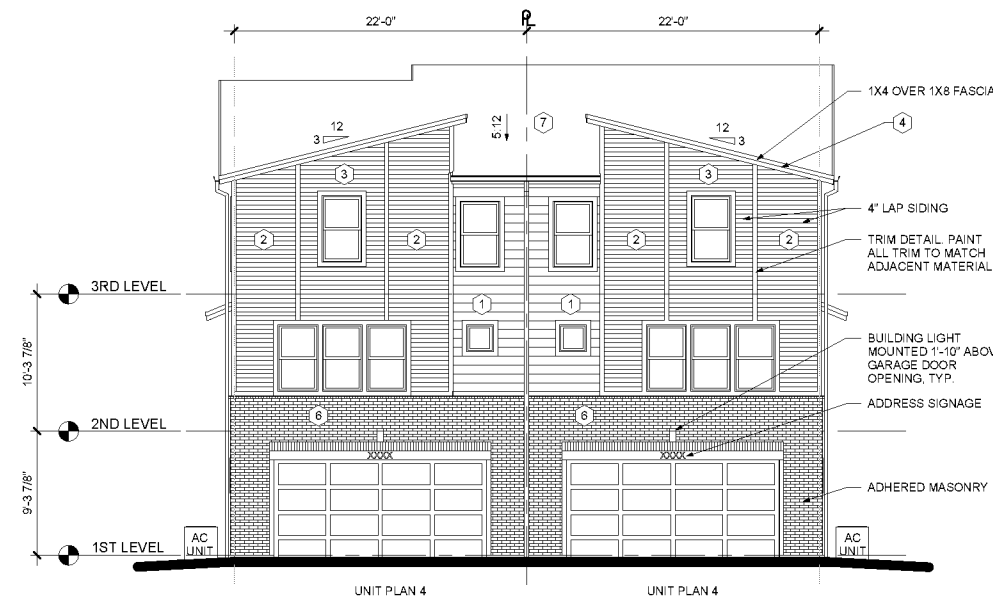
SITE LIGHTING DESIGN HAS BEEN COMPLETED TO
CONFORM TO CITY OF CASTLE ROCK EXTERIOR
LIGHTING STANDARDS

LEGEND	
Symbol	Label
	CL
	SB
	SP
	SW1
	SW2

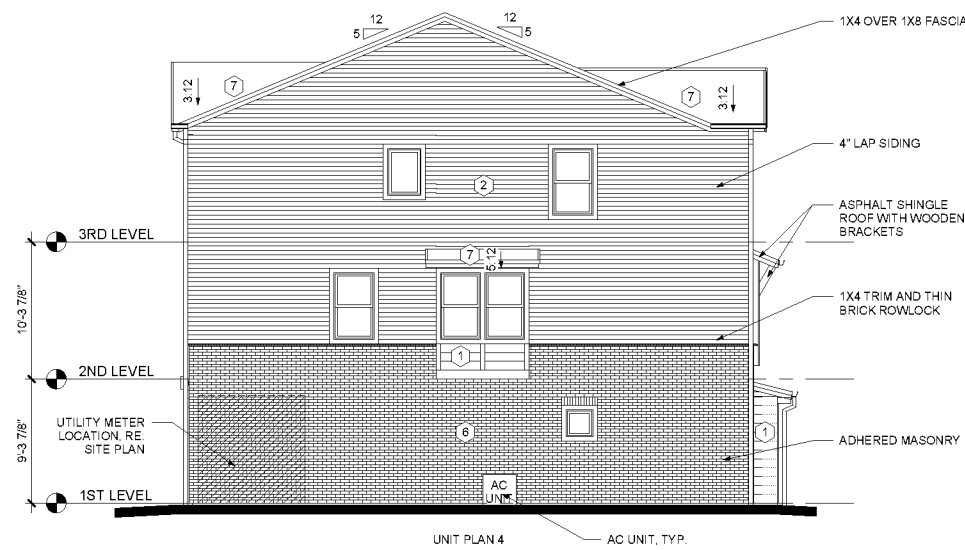
Calculation Summary		List the Use Area / Zone Type					
Label	Calc Type	Units	Average	Min	Max	Avg:Min	Max:Min
OVERALL SITE	GRID	FOOT-CANDLES	1.00	0.00	4.00	N/A	N/A
PARKING	GRID	FOOT-CANDLES	0.20	0.00	1.70	N/A	N/A
PEDESTRIAN AREAS	GRID	FOOT-CANDLES	1.20	0.20	2.50	6:1	12.5:1

PROJECT NO. SDP25-0004

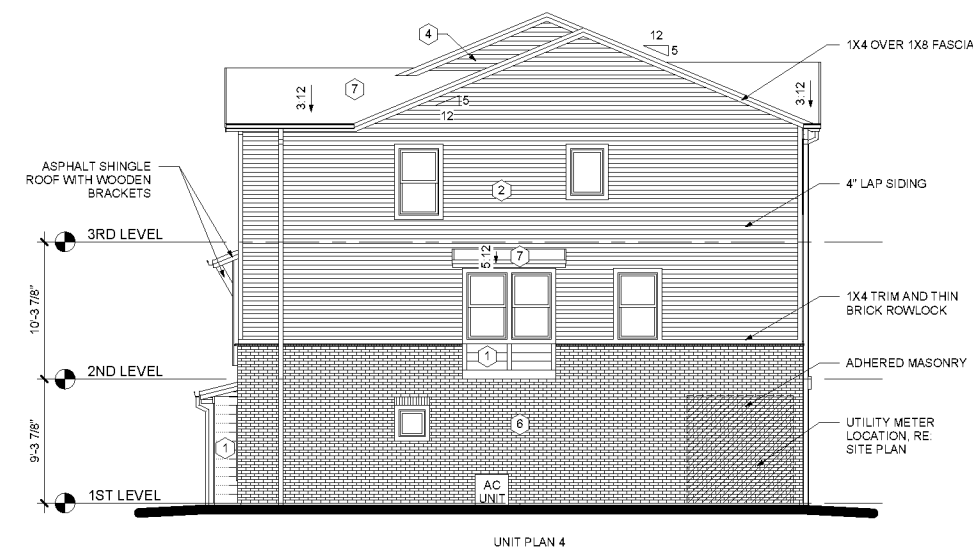
SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
 LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



4 DUPLEX - REAR ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"



3 DUPLEX - LEFT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"

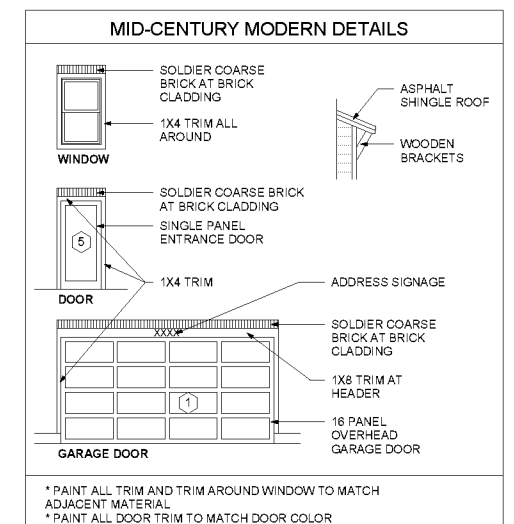


2 DUPLEX - RIGHT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"

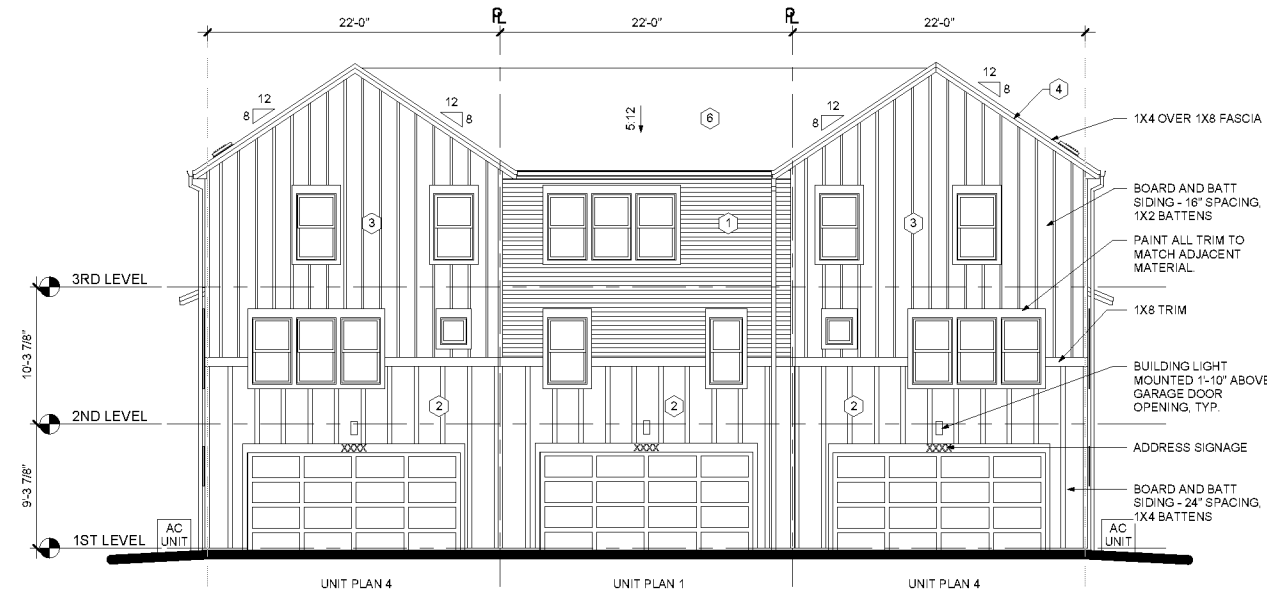


1 DUPLEX - FRONT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"

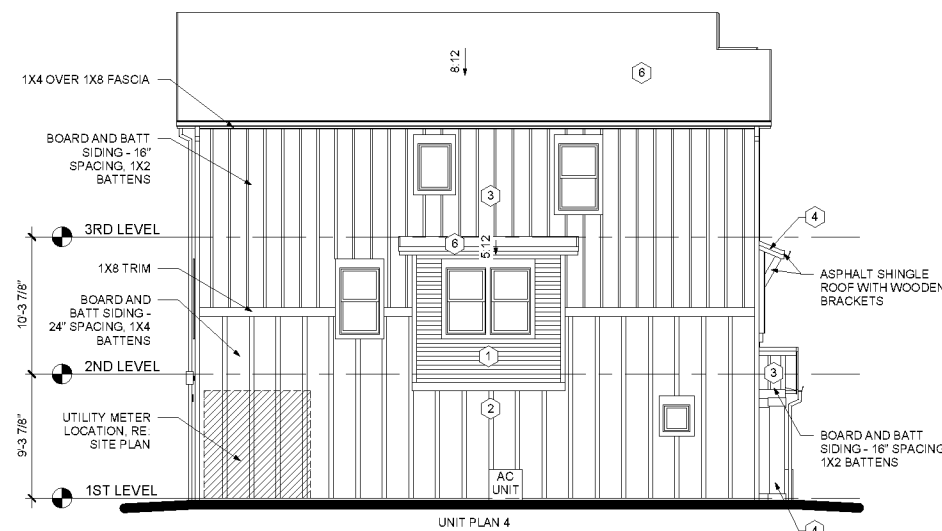
MID-CENTURY MODERN MATERIAL LEGEND			
	SCHEME D	SCHEME E	SCHEME F
①	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG0993-4 GRAY SUIT	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG0995-7 STARLESS SKY	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1008-7 STONES THROW
②	4" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG0993-6 OLD SILK	4" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG11-19 DISTANT VALLEY	4" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1028-4 SMOKY SLATE
③	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM COLOR: PPG0999-2 RABBITS EAR	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM COLOR: PPG1095-5 CREAMY CARAMEL	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM COLOR: PPG1113-3 NORTHERN LANDSCAPE
④	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1010-7 ZOMBIE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG0995-7 STARLESS SKY	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1008-7 STONES THROW
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1207-6 ALLSPICE	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1207-7 MINCEMEAT	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1207-6 ALLSPICE
⑥	BRICK EDWARDS'S STONE OR SIM COLOR: DARK SANDSTONE	BRICK EDWARDS'S STONE OR SIM COLOR: DARK IRONSPOT	BRICK EDWARDS'S STONE OR SIM COLOR: COPPER CANYON
⑦	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: WEATHERED WOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: CHARCOAL	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: WEATHERED WOOD



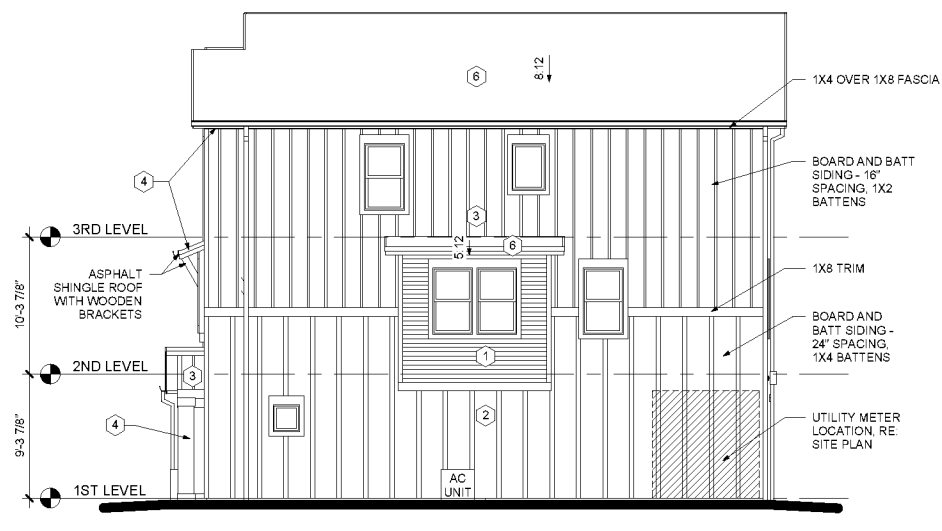
SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
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4 3-PLEX - REAR ELEVATION - FARMHOUSE
 1/8" = 1'-0"



3 3-PLEX - LEFT ELEVATION - FARMHOUSE
 1/8" = 1'-0"



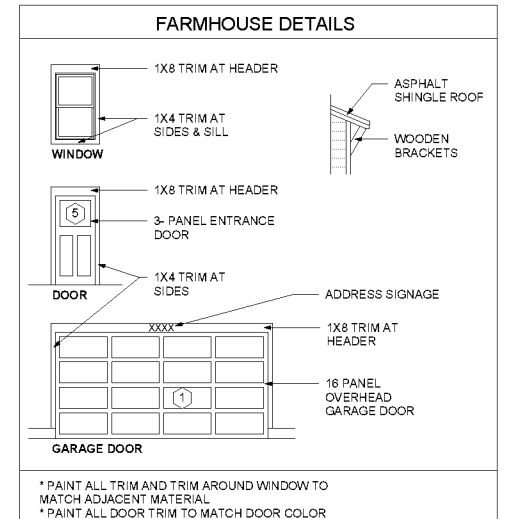
2 3-PLEX - RIGHT ELEVATION - FARMHOUSE
 1/8" = 1'-0"



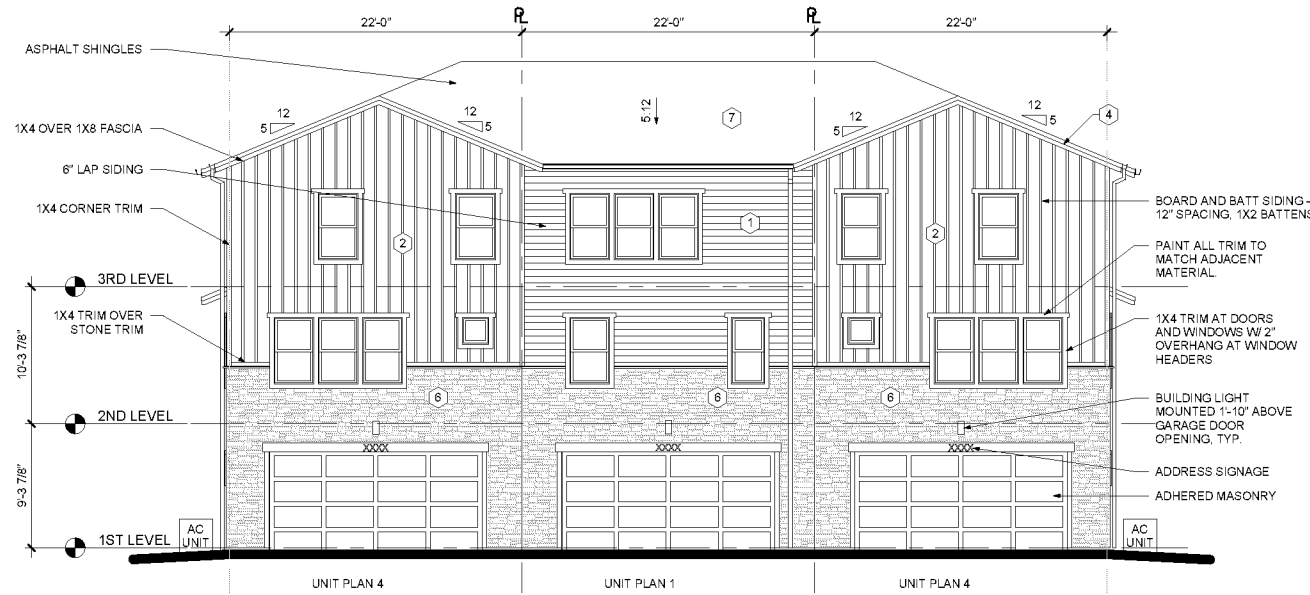
1 3-PLEX - FRONT ELEVATION - FARMHOUSE
 1/8" = 1'-0"

FARMHOUSE MATERIAL LEGEND

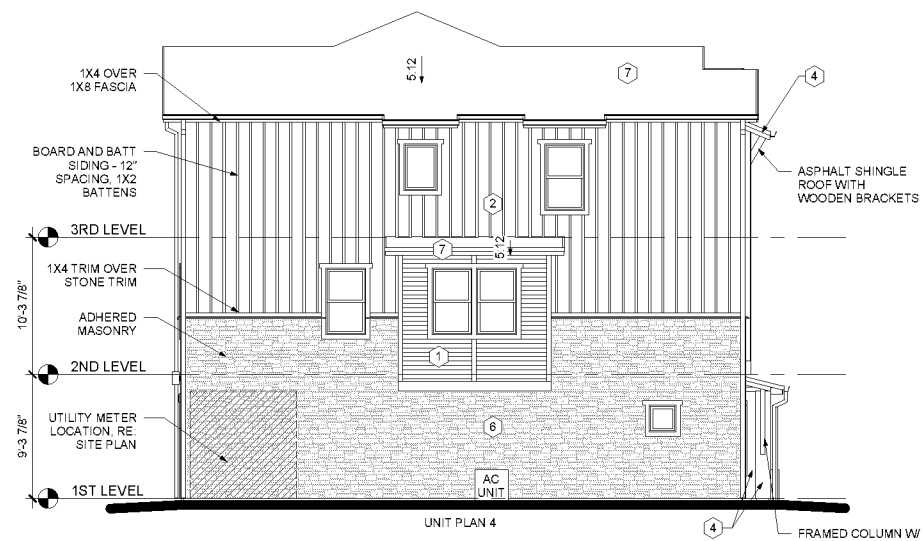
	SCHEME A	SCHEME B	SCHEME C
①	4" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1099-3 GREYHOUND	4" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG0993-3 GOSLING GRAY	4" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1073-6 TANGLEWOOD
②	BOARD & BATT 24" O.C AND 8" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG0999-1 IN THE CLOUDS	BOARD & BATT 24" O.C AND 8" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG0993-6 SUPERHERO GRAY	BOARD & BATT 24" O.C AND 8" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1073-6 DERBY BROWN
③	BOARD & BATT 16" O.C AND 8" LAP SIDING - BODY 3 PPG COLORS OR SIM COLOR: PPG1100-1 MOTHER OF PEARL	BOARD & BATT 16" O.C AND 8" LAP SIDING - BODY 3 PPG COLORS OR SIM COLOR: PPG1006-3 EARLY EVENING	BOARD & BATT 16" O.C AND 8" LAP SIDING - BODY 3 PPG COLORS OR SIM COLOR: PPG1100-1 MOTHER OF PEARL
④	FASCIA, TRIM, PANEL SIDING PPG COLORS OR SIM COLOR: PPG1100-1 MOTHER OF PEARL	FASCIA, TRIM, PANEL SIDING PPG COLORS OR SIM COLOR: PPG1010-7 ZOMBIE	FASCIA, TRIM, PANEL SIDING PPG COLORS OR SIM COLOR: PPG1007-6 COOL CHARCOAL
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG12-03 SUN SALUTATION	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1059-7 SWEET SPICEBERRY	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1194-7 ORANGE VERMILLION
⑥	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: MISSION BROWN	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: BARKWOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: MISSION BROWN



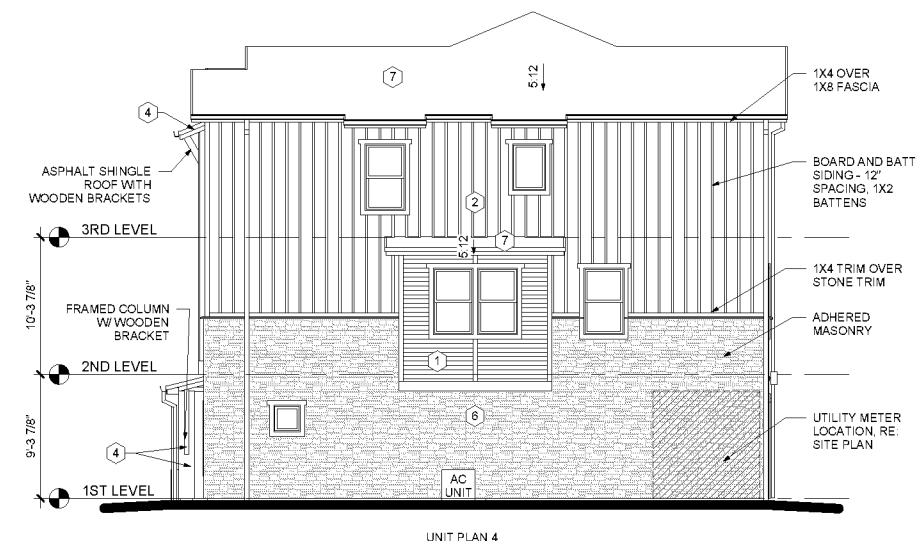
SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
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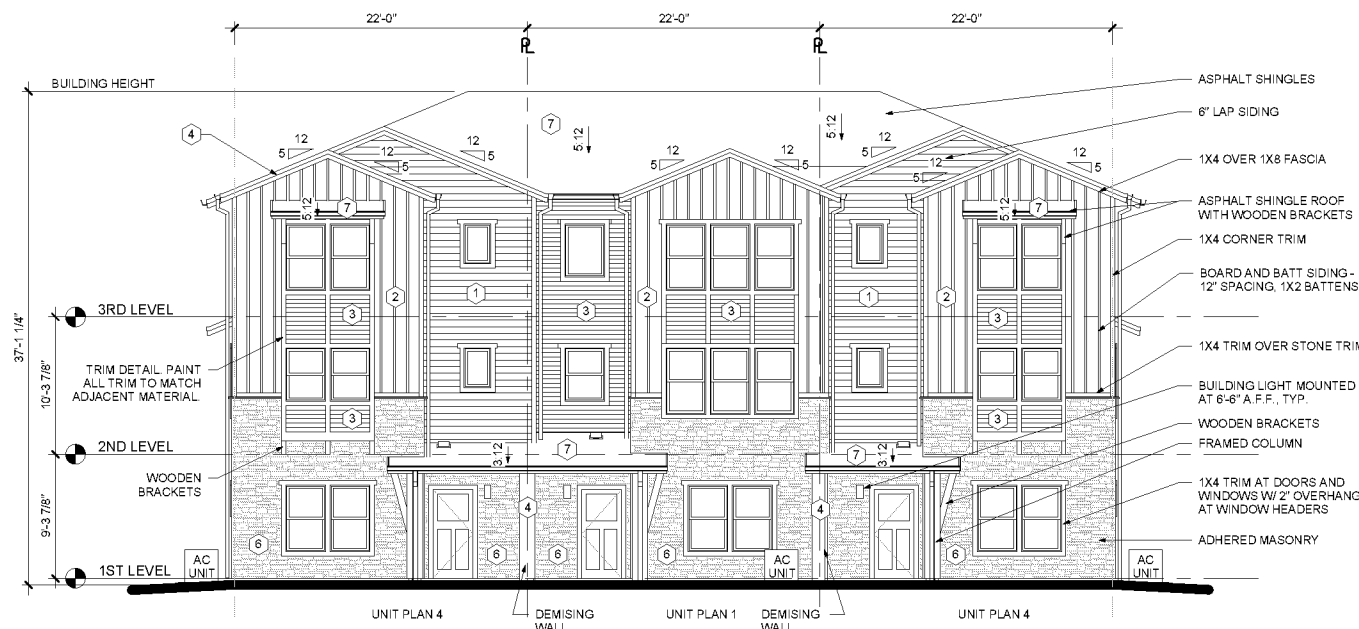
4 3-PLEX - REAR ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"



3 3-PLEX - LEFT ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"



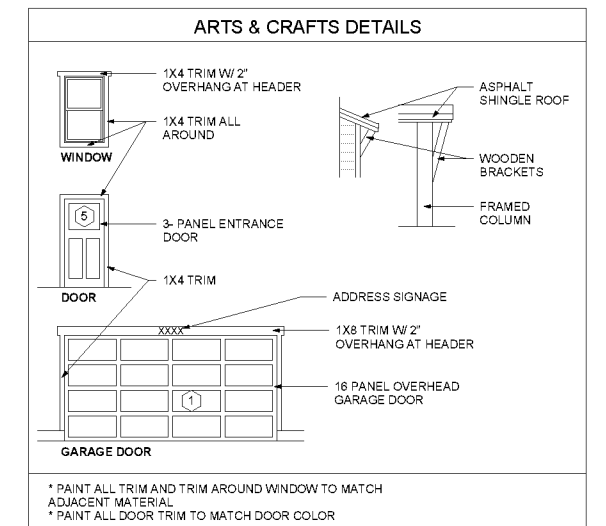
2 3-PLEX - RIGHT ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"



1 3-PLEX - FRONT ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"

ARTS AND CRAFTS MATERIAL LEGEND

	SCHEME G	SCHEME H	SCHEME I
①	6" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1097-2 SOUTHERN BREEZE	6" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG11-28 WILDERNESS	6" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1014-7 BLACK WALNUT
②	BOARD AND BATT SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1086-5 EARTHY OCHER	BOARD AND BATT SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1113-3 NORTHERN LANDSCAPE	BOARD AND BATT SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1073-6 DERBY BROWN
③	4" LAP SIDING BODY 3 PPG COLORS OR SIM COLOR: PPG1086-7 COCOA CUPCAKE	4" LAP SIDING BODY 3 PPG COLORS OR SIM COLOR: PPG0999-5 SWEATER WEATHER	4" LAP SIDING BODY 3 PPG COLORS OR SIM COLOR: PPG1000-2 ROCKY ROAD
④	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1014-6 EAGLE EYE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1077-7 COFFEE HOUSE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1010-7 ZOMBIE
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1059-7 SWEET SPICEBERRY	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1200-7 MINCEMEAT	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1200-7 MINCEMEAT
⑥	STONE EDWARD'S STONE OR SIM COLOR: RAZORLEGE SOUTHERN CREAM	STONE EDWARD'S STONE OR SIM COLOR: MULTI 128 FOND DU LAC	STONE EDWARD'S STONE OR SIM COLOR: DIMENSIONAL STE. GEN TUMBLED
⑦	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: MISSION BROWN	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: BARKWOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: CHARCOAL



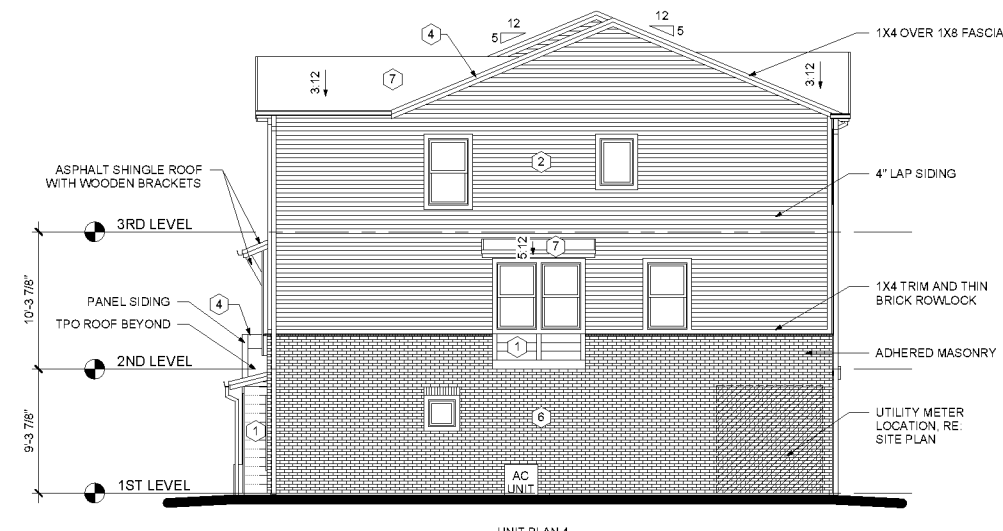
SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
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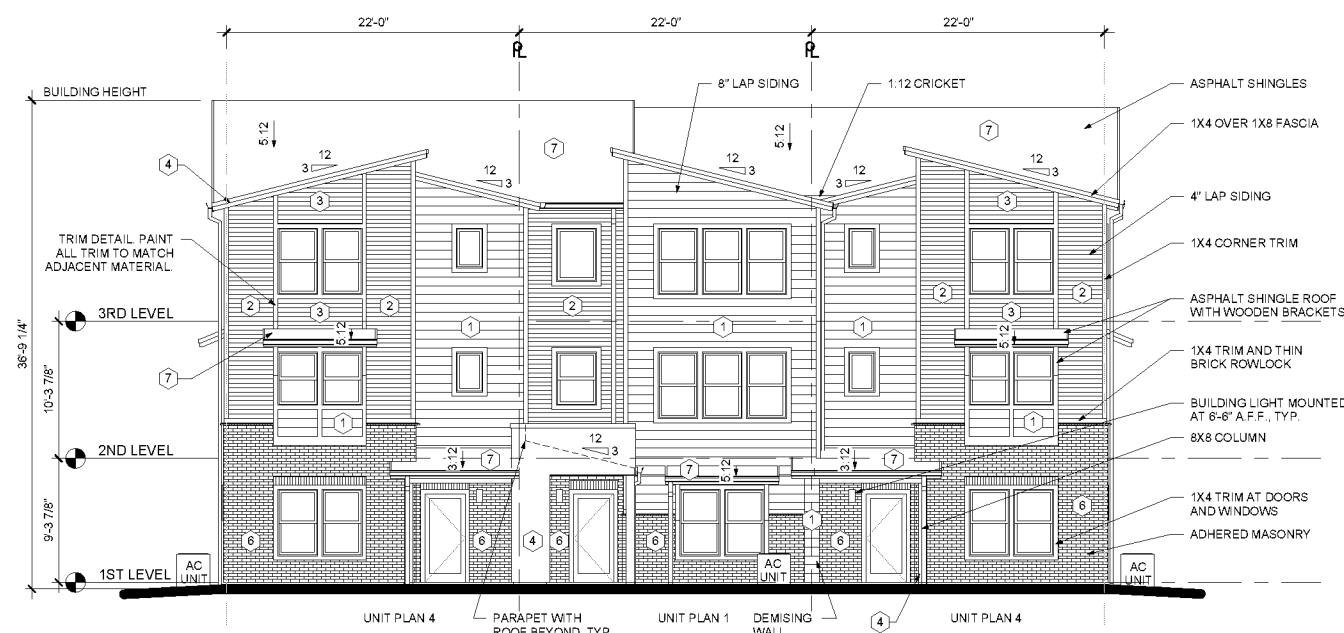
4 3-PLEX - REAR ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"



3 3-PLEX - LEFT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"



2 3-PLEX - RIGHT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"



1 3-PLEX - FRONT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"

MID-CENTURY MODERN MATERIAL LEGEND			
	SCHEME D	SCHEME E	SCHEME F
①	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM. COLOR: PPG0993-4 GRAY SUIT	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM. COLOR: PPG0995-7 STARLESS SKY	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM. COLOR: PPG1008-7 STONES THROW
②	4" LAP SIDING - BODY 2 PPG COLORS OR SIM. COLOR: PPG0993-6 OLD SILK	4" LAP SIDING - BODY 2 PPG COLORS OR SIM. COLOR: PPG11-19 DISTANT VALLEY	4" LAP SIDING - BODY 2 PPG COLORS OR SIM. COLOR: PPG1008-4 SMOKY SLATE
③	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM. COLOR: PPG0999-2 RABBITS EAR	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM. COLOR: PPG1095-5 CREAMY CARAMEL	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM. COLOR: PPG1113-3 NORTHERN LANDSCAPE
④	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM. COLOR: PPG1010-7 ZOMBIE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM. COLOR: PPG0995-7 STARLESS SKY	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM. COLOR: PPG1008-7 STONES THROW
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM. COLOR: PPG1207-6 ALLSPICE	FRONT DOOR & ACCENT PPG COLORS OR SIM. COLOR: PPG1200-7 MINCEMEAT	FRONT DOOR & ACCENT PPG COLORS OR SIM. COLOR: PPG1207-6 ALLSPICE
⑥	BRICK EDWARDS'S STONE OR SIM. COLOR: DARK SANDSTONE	BRICK EDWARDS'S STONE OR SIM. COLOR: DARK IRONSPOT	BRICK EDWARDS'S STONE OR SIM. COLOR: COPPER CANYON
⑦	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: WEATHERED WOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: CHARCOAL	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: WEATHERED WOOD

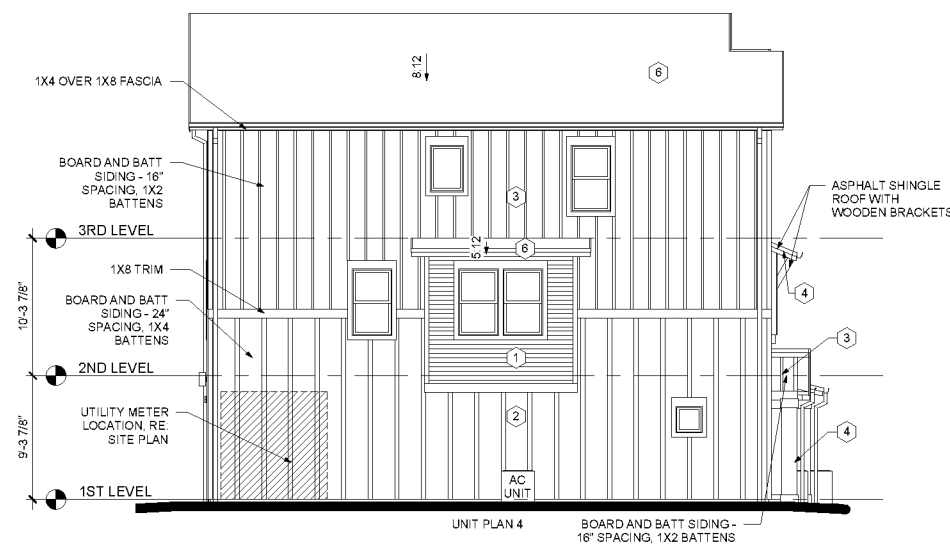
MID-CENTURY MODERN DETAILS			
WINDOW	SOLDIER COARSE BRICK AT BRICK CLADDING 1X4 TRIM ALL AROUND	ASPHALT SHINGLE ROOF WOODEN BRACKETS	
DOOR	SOLDIER COARSE BRICK AT BRICK CLADDING SINGLE PANEL ENTRANCE DOOR 1X4 TRIM	ADDRESS SIGNAGE	
GARAGE DOOR	SOLDIER COARSE BRICK AT BRICK CLADDING 1X8 TRIM AT HEADER 16 PANEL OVERHEAD GARAGE DOOR		

* PAINT ALL TRIM AND TRIM AROUND WINDOW TO MATCH ADJACENT MATERIAL
 * PAINT ALL DOOR TRIM TO MATCH DOOR COLOR

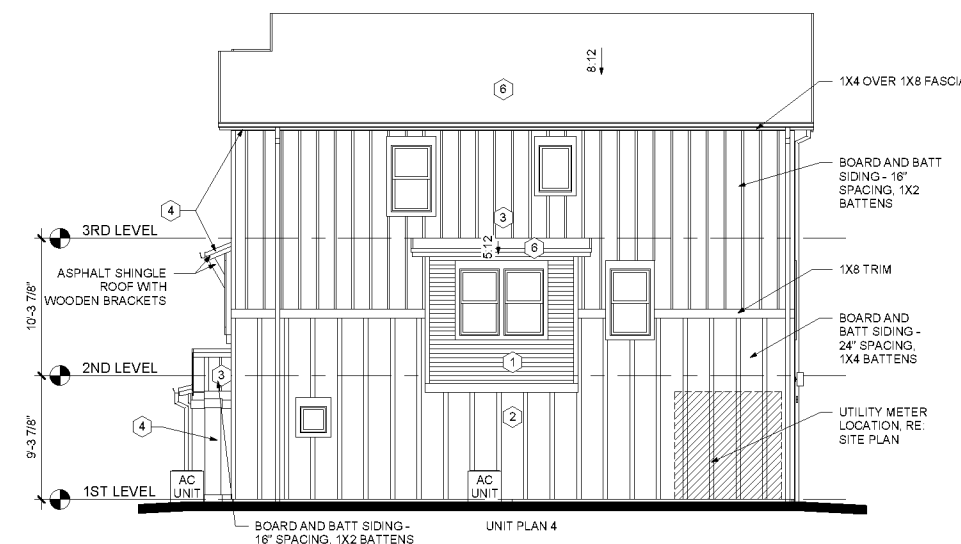
SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
 LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



4 4-PLEX - REAR ELEVATION - FARMHOUSE
 1/8" = 1'-0"



3 4-PLEX - LEFT ELEVATION - FARMHOUSE
 1/8" = 1'-0"



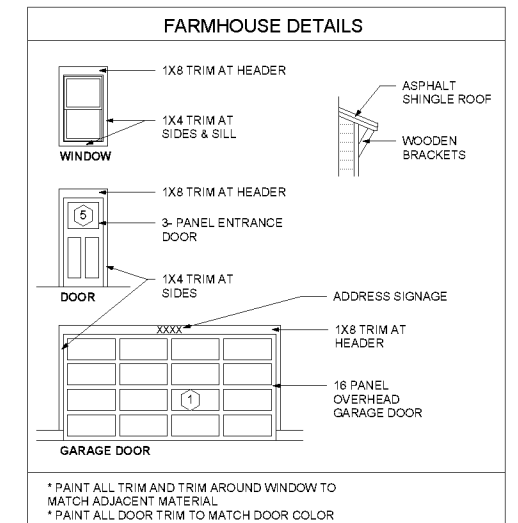
2 4-PLEX - RIGHT ELEVATION - FARMHOUSE
 1/8" = 1'-0"



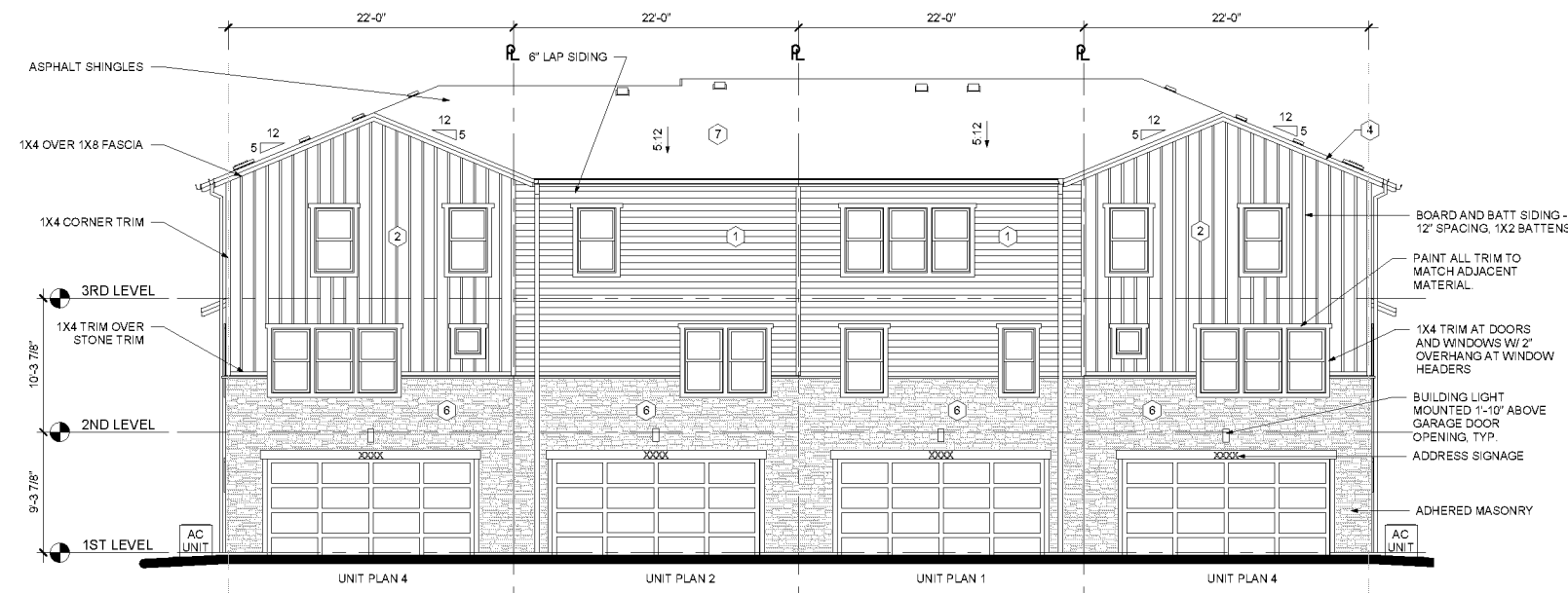
1 4-PLEX - FRONT ELEVATION - FARMHOUSE
 1/8" = 1'-0"

FARMHOUSE MATERIAL LEGEND

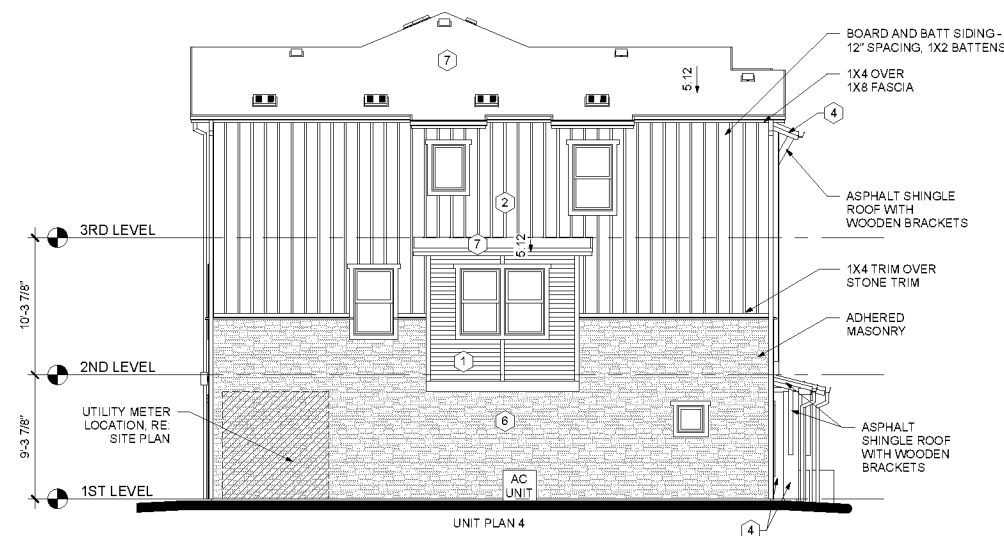
	SCHEME A	SCHEME B	SCHEME C
①	4" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM. COLOR: PPG1099-3 GREYHOUND	4" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM. COLOR: PPG0993-3 GOSLING GRAY	4" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM. COLOR: PPG1073-6 TANGLEWOOD
②	BOARD & BATT 24" O.C AND 8" LAP SIDING - BODY 2 PPG COLORS OR SIM. COLOR: PPG0999-1 IN THE CLOUDS	BOARD & BATT 24" O.C AND 8" LAP SIDING - BODY 2 PPG COLORS OR SIM. COLOR: PPG0993-6 SUPERHERO GRAY	BOARD & BATT 24" O.C AND 8" LAP SIDING - BODY 2 PPG COLORS OR SIM. COLOR: PPG1073-6 DERBY BROWN
③	BOARD & BATT 16" O.C AND 8" LAP SIDING - BODY 3 PPG COLORS OR SIM. COLOR: PPG1100-1 MOTHER OF PEARL	BOARD & BATT 16" O.C AND 8" LAP SIDING - BODY 3 PPG COLORS OR SIM. COLOR: PPG1006-3 EARLY EVENING	BOARD & BATT 16" O.C AND 8" LAP SIDING - BODY 3 PPG COLORS OR SIM. COLOR: PPG1100-1 MOTHER OF PEARL
④	FASCIA, TRIM, PANEL SIDING PPG COLORS OR SIM. COLOR: PPG1100-1 MOTHER OF PEARL	FASCIA, TRIM, PANEL SIDING PPG COLORS OR SIM. COLOR: PPG1010-7 ZOMBIE	FASCIA, TRIM, PANEL SIDING PPG COLORS OR SIM. COLOR: PPG1007-6 COOL CHARCOAL
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM. COLOR: PPG12-03 SUN SALUTATION	FRONT DOOR & ACCENT PPG COLORS OR SIM. COLOR: PPG1059-7 SWEET SPICEBERRY	FRONT DOOR & ACCENT PPG COLORS OR SIM. COLOR: PPG1194-7 ORANGE VERMILLION
⑥	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: MISSION BROWN	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: BARKWOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: MISSION BROWN



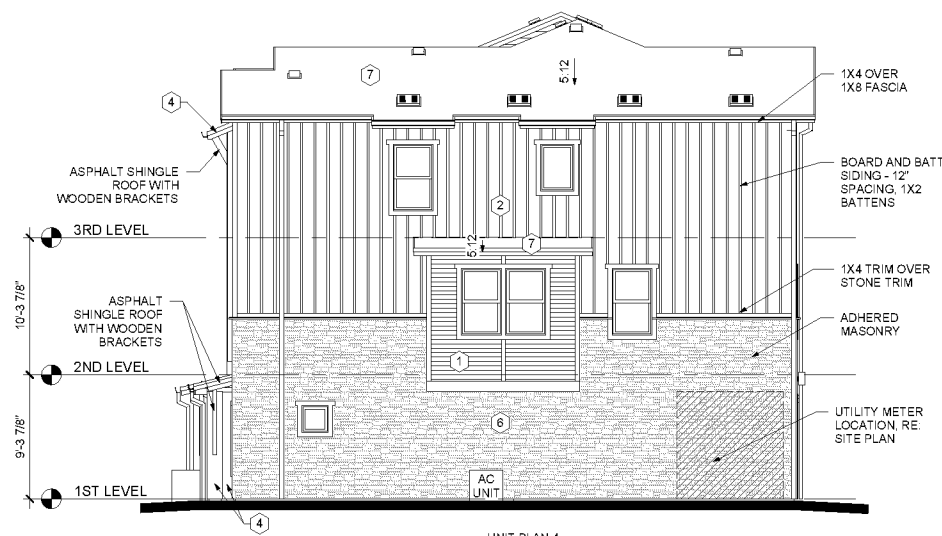
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4 4-PLEX - REAR ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"



3 4-PLEX - LEFT ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"



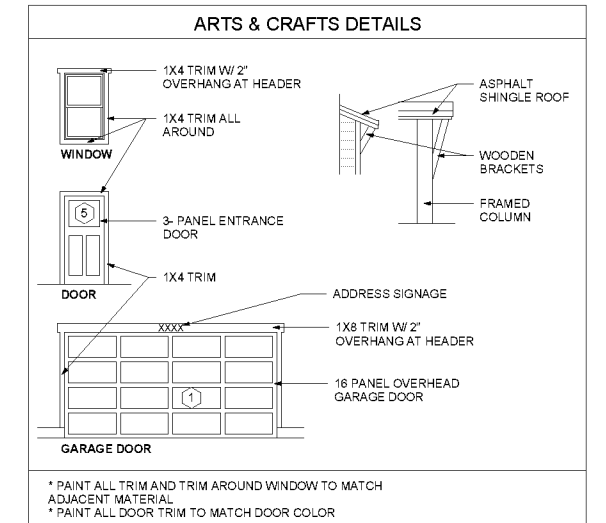
2 4-PLEX - RIGHT ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"



1 4-PLEX - FRONT ELEVATION - ARTS AND CRAFTS
 1/8" = 1'-0"

ARTS AND CRAFTS MATERIAL LEGEND

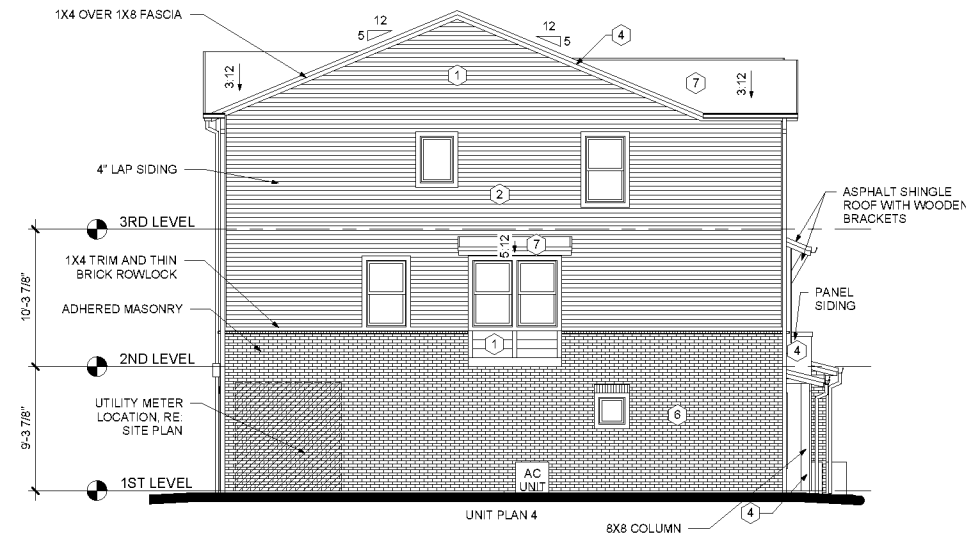
	SCHEME G	SCHEME H	SCHEME I
①	6" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1097-2 SOUTHERN BREEZE	6" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG11-28 WILDERNESS	6" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1014-7 BLACK WALNUT
②	BOARD AND BATT SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1086-5 EARTHY OCHER	BOARD AND BATT SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1113-3 NORTHERN LANDSCAPE	BOARD AND BATT SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1073-6 DERBY BROWN
③	4" LAP SIDING BODY 3 PPG COLORS OR SIM COLOR: PPG1086-7 COCOA CUPCAKE	4" LAP SIDING BODY 3 PPG COLORS OR SIM COLOR: PPG0999-5 SWEATER WEATHER	4" LAP SIDING BODY 3 PPG COLORS OR SIM COLOR: PPG1000-2 ROCKY ROAD
④	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1014-6 EAGLE EYE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1077-7 COFFEE HOUSE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1010-7 ZOMBIE
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1059-7 SWEET SPICEBERRY	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1200-7 MINCEMEAT	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1200-7 MINCEMEAT
⑥	STONE EDWARD'S STONE OR SIM COLOR: RAZOREDGE SOUTHERN CREAM	STONE EDWARD'S STONE OR SIM COLOR: MULTI 128 FOND DU LAC	STONE EDWARD'S STONE OR SIM COLOR: DIMENSIONAL STE. GEN TUMBLED
⑦	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: MISSION BROWN	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: BARKWOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: CHARCOAL



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 LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
 TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH P.M.,
 TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



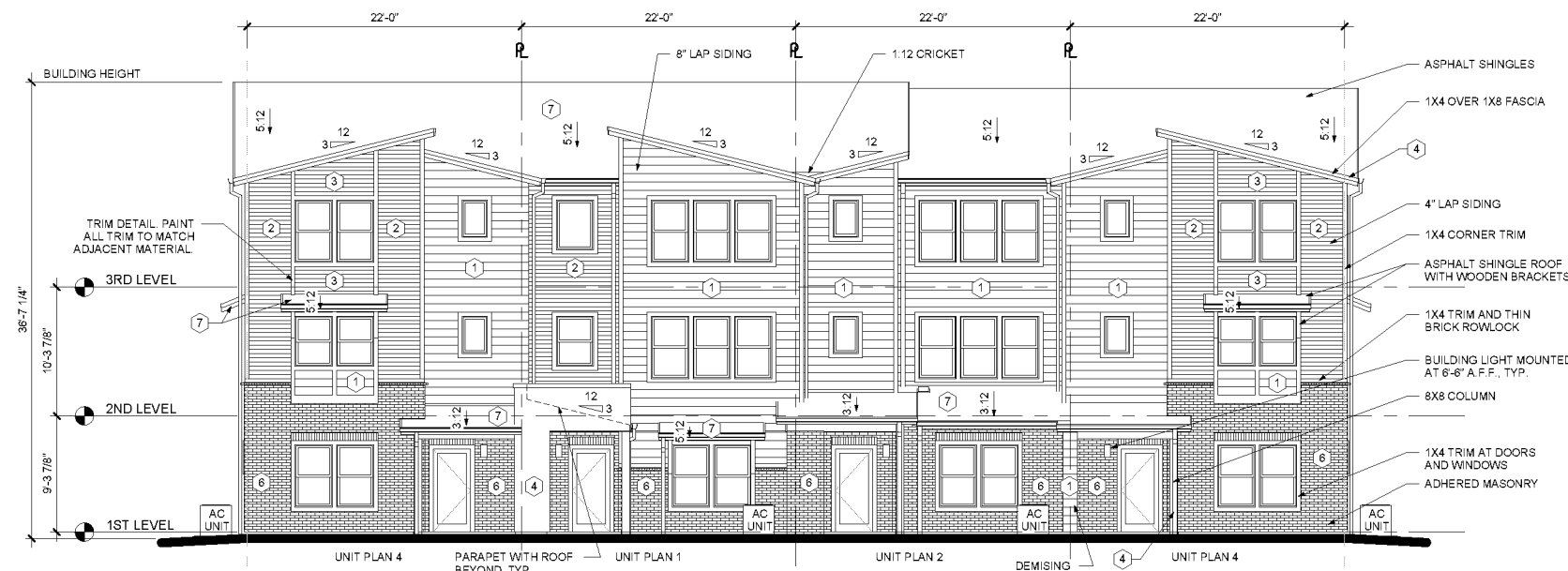
4 4-PLEX - REAR ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"



3 4-PLEX - LEFT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"



2 4-PLEX - RIGHT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"

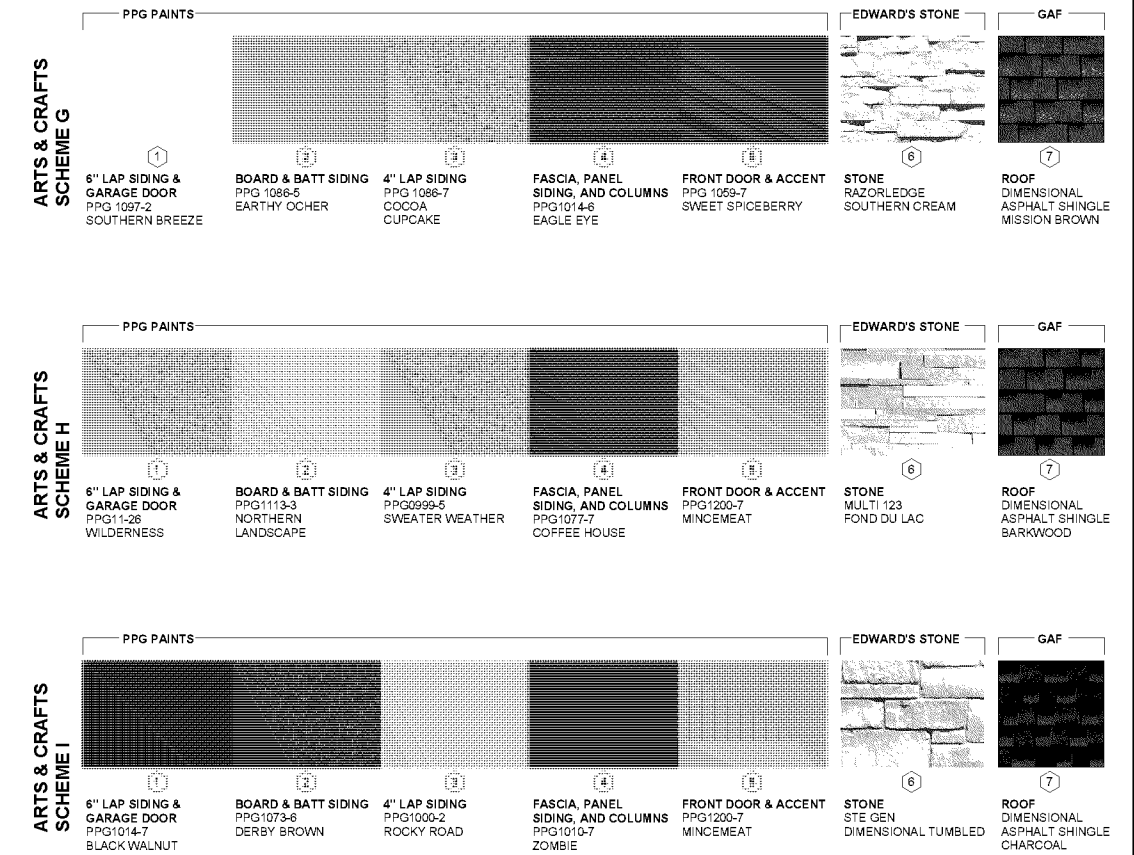
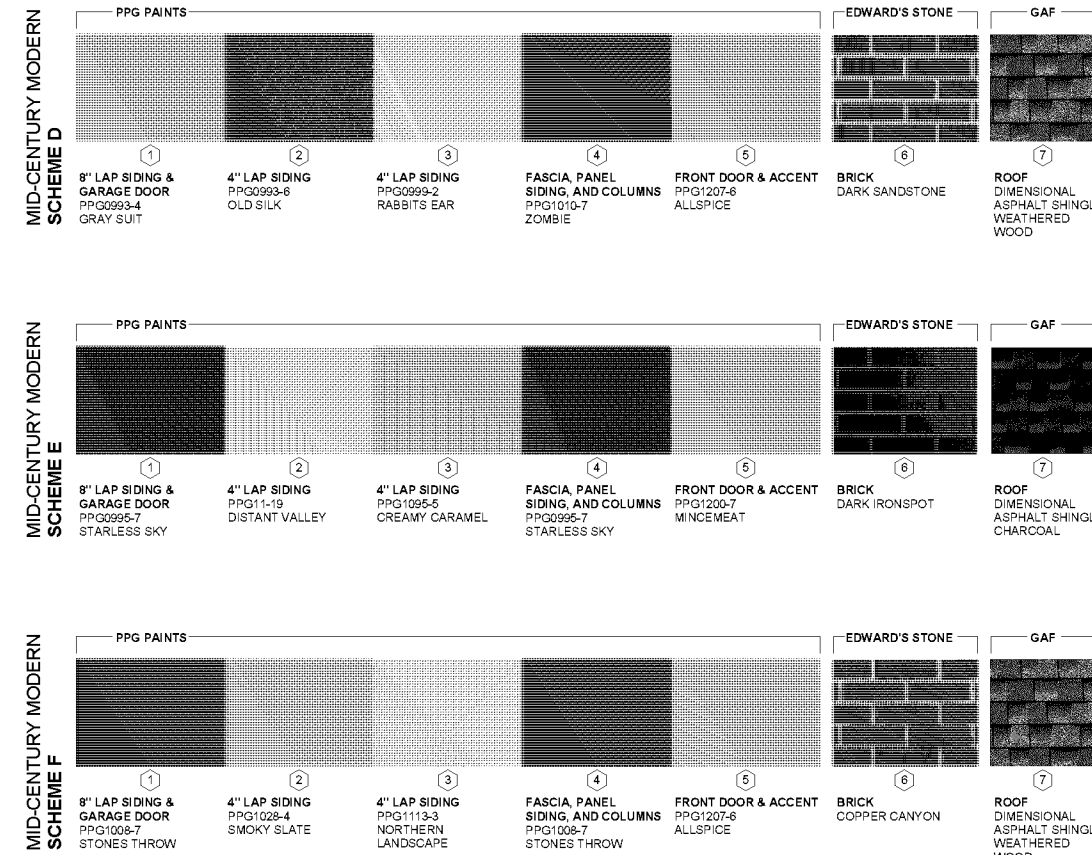
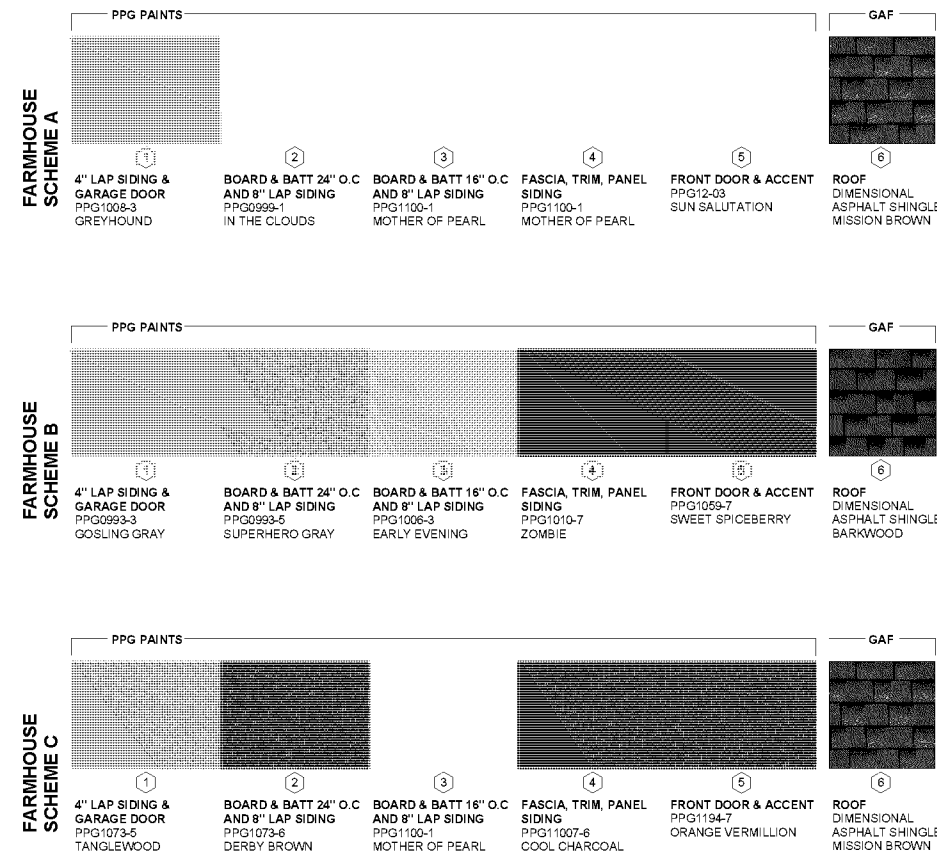


1 4-PLEX - FRONT ELEVATION - MID-CENTURY MODERN
 1/8" = 1'-0"

MID-CENTURY MODERN MATERIAL LEGEND			
	SCHEME D	SCHEME E	SCHEME F
①	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG0993-4 GRAY SUIT	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG0995-7 STARLESS SKY	8" LAP SIDING & GARAGE DOOR - BODY 1 PPG COLORS OR SIM COLOR: PPG1008-7 STONES THROW
②	4" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG0993-4 OLD SILK	4" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG11-19 DISTANT VALLEY	4" LAP SIDING - BODY 2 PPG COLORS OR SIM COLOR: PPG1028-4 SMOKY SLATE
③	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM COLOR: PPG0999-2 RABBITS EAR	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM COLOR: PPG1095-5 CREAMY CARAMEL	4" LAP SIDING (ALTERNATE) BODY 3 PPG COLORS OR SIM COLOR: PPG1113-3 NORTHERN LANDSCAPE
④	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1010-7 ZOMBIE	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG0995-7 STARLESS SKY	FASCIA, PANEL SIDING, AND COLUMNS PPG COLORS OR SIM COLOR: PPG1008-7 STONES THROW
⑤	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1207-6 ALLSPICE	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1200-7 MINCEMEAT	FRONT DOOR & ACCENT PPG COLORS OR SIM COLOR: PPG1207-6 ALLSPICE
⑥	BRICK EDWARDS'S STONE OR SIM COLOR: DARK SANDSTONE	BRICK EDWARDS'S STONE OR SIM COLOR: DARK IRONSPOT	BRICK EDWARDS'S STONE OR SIM COLOR: COPPER CANYON
⑦	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: WEATHERED WOOD	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: CHARCOAL	ROOF DIMENSIONAL ASPHALT SHINGLE COLOR: WEATHERED WOOD

MID-CENTURY MODERN DETAILS	
WINDOW	SOLDIER COARSE BRICK AT BRICK CLADDING 1X4 TRIM ALL AROUND ASPHALT SHINGLE ROOF WOODEN BRACKETS
DOOR	SOLDIER COARSE BRICK AT BRICK CLADDING SINGLE PANEL ENTRANCE DOOR 1X4 TRIM ADDRESS SIGNAGE
GARAGE DOOR	SOLDIER COARSE BRICK AT BRICK CLADDING 1X8 TRIM AT HEADER 16 PANEL OVERHEAD GARAGE DOOR 1X4 TRIM AT DOORS AND WINDOWS ADHERED MASONRY
* PAINT ALL TRIM AND TRIM AROUND WINDOW TO MATCH ADJACENT MATERIAL * PAINT ALL DOOR TRIM TO MATCH DOOR COLOR	

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.



DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
MATERIAL BOARDS

NOT FOR CONSTRUCTION

DESIGNED BY: CB, ATL, LB
DRAWN BY: LB, ATL, AK, AK
CHECKED BY: SW, AK, CB

SHEET
26 OF 28

PROJECT NO. SDP25-0004



#	REVISION DESCRIPTION	DATE	BY
1	1ST SUBMITTAL	03/07/25	ND
2	2ND SUBMITTAL	10/10/25	ND
3	3RD SUBMITTAL	10/06/26	ND
4	4TH SUBMITTAL	04/14/26	ND
5	5TH SUBMITTAL	05/14/26	ND

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BEEHIVE COLLABORATIVE

2021-09-11 (4:30 PM) P:\Dawson Trails - 0781-01-2647\Brightland Homes - E-2 Townhomes - 1335-01-3751\Drawings\Submittals PLAN-DT-PARCELE2-WUI.dwg

SITE DEVELOPMENT PLAN
DAWSON TRAILS FILING NO. 2 - TRACTS N, P, & V
LOCATED IN A PART OF SECTIONS 22 & SECTION 27,
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WILDLAND/URBAN INTERFACE WILDFIRE VEGETATION MANAGEMENT PLAN:

This property has varying degrees of coverage by multiple vegetative types, thusly fire mitigation shall be appropriately considered as development moves forward. Wildfire mitigation is the implementation of various measures designed to minimize the destructive effects from a wildfire. Below are suggested practices that developers, builders and homeowners can implement to help mitigate fire risk for residences (source: Heckendorf Ranch Filing No. 2, Preliminary Plat and Final PD Site Plan, Revised July 2004). **Note:** this wildfire mitigation plan is provided as guidelines. In the event that these guidelines conflict with Town standards, the Town standards shall take precedence.

A. Within 30 feet of a structure (building envelope and immediate area)

1. Create a "defensible space" to reduce the likelihood of a damaging wildfire in the immediate vicinity of the home. Defensible space is the area where vegetation has been designed, installed and maintained to reduce the possibility of fire spreading between the landscape and the building.
2. If native vegetation has been successfully retained in this area, prune tree canopies from the ground up to a minimum height of 10 feet. Remove any small or suppressed stems in the under story of dominant trees. Do not remove more than 1/3rd of live branches from conifers.
3. When present, thin any shrubs, particularly Gambel Oak, growing below the canopy of larger retained trees.
4. Prune retained coniferous trees to minimize crown overlap; isolate individual trees by pruning back canopies to create a separation between trees.
5. Thin dense, continuous Gambel Oak stands and prune taller specimens up from the ground to create a more open, tree-like form. Remove sections of large but low growing stands to create discontinuous islands of vegetation.
6. Install a continuous non-irrigated rock mulch bed for a minimum of 5 feet around the perimeter of the building.
7. Minimize foundation-type plantings, especially adjacent to combustible siding. Keep all shrub plantings a minimum of 5 feet from the foundation. Exclude more combustible shrub species (coniferous evergreens like juniper, arborvitae, spruce, pine and fir) and space shrubs to create low, non-continuous plantings near the building.
8. Plant only deciduous tree and shrub species within 15 feet of structures. Provide irrigation as required for the successful establishment and long-term health of new trees.
9. Plant trees far enough away from the building that, at maturity, tree canopies will not overhang the roof.
10. Plant sod or seed with low-growing grass seed mixes.
11. Provide irrigation to turf and native grasses within this area to prevent summer dormancy.
12. Maintain native grass height to a maximum of 6 inches.
13. Plant wildflowers only if they will be irrigated and will be cut back to a maximum height of 8 inches at the end of growing season (following seed production).
14. Dispose of all slash or plant trimmings outside of this zone (off site).

B. Between 30 feet and 150 feet from structures and roadways (tree and shrub preservation area) **Note:** The extent of this zone is affected by slope and is greater when structures or roadways are at the top of the slope and when slopes are relatively steep. Slope is less critical when structures are at the base of a slope or on level ground.

1. Clear small diameter, snow bent, diseased, damaged, or suppressed stems in the under story of larger pine trees.
2. Prune to raise the canopy of large, existing trees to 12 feet above ground level.
3. Thin shrubs growing directly beneath larger trees per section A, note 2 above.
4. Remove annually, dead stems and branches from shrubs and trees.
5. Space newly planted coniferous trees (>20' tall at maturity) at least 20-30 feet apart to provide a minimum of 10 feet between crowns at maturity. If pinon pine groupings (clumps of two or more of the same species), and coniferous shrub groupings are planted, provide 20-30 feet between groupings. Deciduous trees and shrubs are not subject to this guidance when planted as part of an irrigated and maintained landscape.
6. Prune the branches of smaller or newly planted trees as they grow, up to a height of 8-12 feet above the ground. Do not over prune the crowns of smaller trees.
7. Trim or mow native grasses and wildflowers mid-summer and in the fall or spring to maximum height of 6 inches.
8. Dispose of all slash or plant trimmings off site, by chipping, or other mechanical treatments.

C. Beyond 150 feet of the structure and open spaces (preservation / environmentally sensitive area)

1. Clear smaller understory trees and shrubs per section B, note 1 above.
2. Undertake selective thinning to improve health and appearance of wooded and native brush areas.
3. Remove smaller trees in crowded stands to increase tree spacing.
4. Provide separation between Gambel oak clumps to break up horizontal continuity of fuels and reduce crown fire potential.
5. Native grasses and shrub clumpings along trails shall be mowed, trimmed, and/or pruned to Town Standards. Trail fire mitigation is subject to Town Parks and Fire's approval at construction documents. Vegetation shall be maintained in a mitigated condition per Town Standards.
6. Retain an increased number of standing dead trees per acre for wildlife habitat unless they pose a threat to utilities or human use.
7. Slash or plant trimmings may be disposed of within this area if treated and reduced to

a maximum depth of 6 inches. If chipped, mulch depth should not exceed 4 inches in depth.

D. Structural Wildfire Guidelines

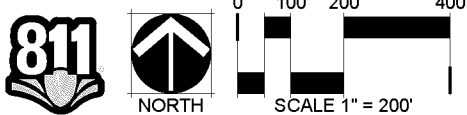
1. All roofs shall have Class A fire rating.
2. Decking material shall have a Class B or higher fire rating.
3. Any fencing connected to structures shall use non-combustible materials within 5 feet of structures or decks.
4. All vents (foundation, soffit, eave, etc.) shall have 1/8th inch or smaller opening sizes.
5. Gutters shall be non-combustible or have Class A fire rating.

E. Maintenance of Fire Mitigation

1. Fire mitigation on private lots is the responsibility of the property owner.
2. Fire mitigation undertaken by the developer on open spaces or common areas shall be maintained by the homeowners association (HOA) or alternatively by a special district (SD), as may be determined at the time of conveyance.
3. Planted vegetation along all thoroughfares shall be maintained to manage risk of crown fire or flame intrusion (impingement) into the public right-of-way.
4. The HOA or SD (if applicable) shall establish procedures for residents to implement or maintain wildfire mitigation measures per C.R.S 38-33.3-106.5 (a.k.a. SB-100, Homeowner Bill of Rights).

LEGEND

- LIMIT OF WORK
----- TRACT BOUNDARY
----- PROPERTY BOUNDARY



PROJECT NO. SDP25-0004

**NORRIS
DESIGN**
PEOPLE + PLACEMAKING

NORRIS-DESIGN.COM
1101 LINCOLN STREET
DENVER, CO 80204
P:303.892.1195



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DAWSON TRAILS FILING 2, TRACTS N, P, & V
CASTLE ROCK, COLORADO
WILDLIFE/URBAN INTERFACE

**NOT FOR
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DESIGNED BY: CB, ATL, LB
DRAWN BY: LB, ATL, AK
CHECKED BY: SW, AK, CB

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29 OF 29