

SITE DEVELOPMENT PLAN

AMENDING THE FINAL PD SITE PLAN, MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3 LOT 3A, MILESTONE FILING NO. 4, 5TH AMENDMENT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

C

B

A

Drawing Name: C:\020324\020324149 - TRT 25528 - Castle Rock, CO - Milestone Lndg\020324149 - Castle Rock, CO - Site Development Plan.dwg
May 29, 2025 10:17 AM - R:\nsgrd

LEGAL DESCRIPTION

LOT 3A, MILESTONE FILING NO. 4, FIFTH AMENDMENT, RECORDED SEPTEMBER 5, 2023, UNDER RECEPTION NO. 2003133644, IN THE OFFICIAL RECORDS OF DOUGLAS COUNTY, COLORADO.

SURVEYOR'S STATEMENT

I, SPENCER J. BARRON, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

SPENCER J. BARRON, CO PLS 38141

6/18/25
DATE



BENCHMARK

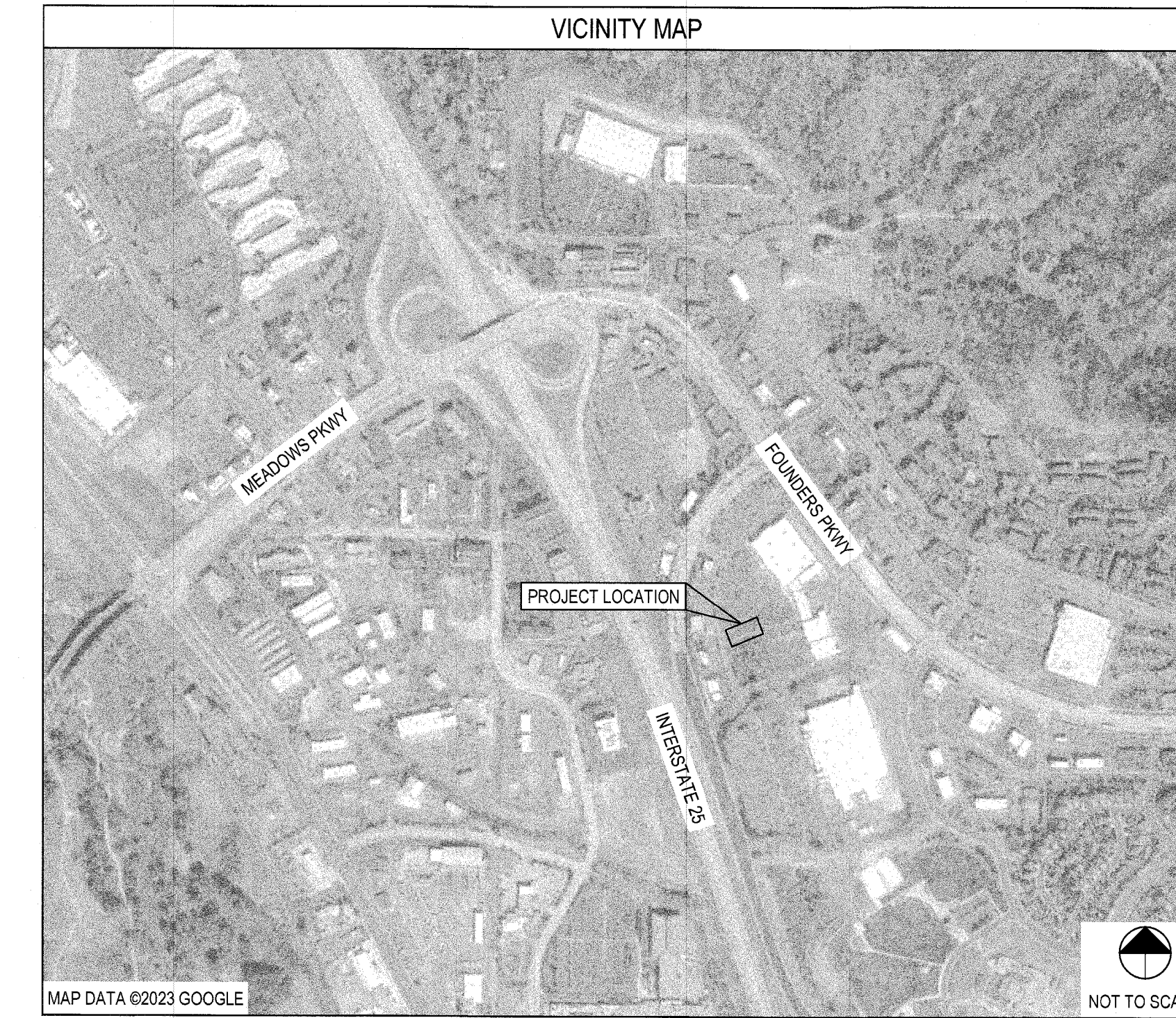
NAIL IN CONCRETE, AS SHOWN, IN THE SOUTH WEST CORNER ALONG MILESTONE LN. ELEV. 6203.72' (NAVD 83)

BASICS OF BEARINGS

BEARING ARE BASED ON THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SECTION 26 ASSUMED TO BEAR NORTH 00°23'28" EAST BETWEEN THE MONUMENTS REFER TO THE FINAL PLAT.

SITE DEVELOPMENT PLAN GENERAL NOTES

- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL. THERE MAY BE SUBSEQUENT AMENDMENTS.
- THIS SITE IS ZONED MILESTONE OFFICE CAMPUS PD WITH UB USE.
- RETAINING WALLS IN COMMON AREAS OR THAT SPAN MULTIPLE LOTS REGARDLESS OF SIZE/HEIGHT MUST BE LOCATED IN A TRACT. THE RETAINING WALLS MUST BE MAINTAINED BY HOA OR METRO DISTRICT.
- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS SITE DEVELOPMENT PLAN. ANY CHANGES TO THE APPROVED LANDSCAPE PLANS SHALL REQUIRE AN SDP AMENDMENT.
- THE NUMBER OF PARKING SPACES ARE BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN. A CHANGE OF USE TO A MORE PARKING INTENSIVE USE AS IDENTIFIED IN CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK ZONING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE OR APPLICABLE PLANNED DEVELOPMENT ZONING REGULATIONS.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL PROPOSED UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL AND SHALL BE ESTABLISHED WITH A PLAT OR SEPARATE DOCUMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, WATER METERS, FIRE HYDRANTS AND CURB BOXES AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. ANY VARIATION FROM THIS REQUIRES AN APPROVED TECHNICAL CRITERIA VARIANCE.
- ALL SUBDIVISIONS SHALL INCLUDE ADEQUATE EASEMENTS TO ACCOMMODATE THE CONSTRUCTION, MAINTENANCE AND REPAIR OF ALL PUBLIC ACCESS, SIDEWALKS, TRAILS, WATER SUPPLY SYSTEM, WASTE WATER SYSTEMS, STORM WATER MANAGEMENT SYSTEM AND EROSION CONTROL FACILITIES, TELECOMMUNICATIONS AND OTHER UTILITIES REQUIRED TO PROVIDE EACH UTILITY TO EACH OCCUPIED STRUCTURE IN THE SUBDIVISION.
- NO STRUCTURE SHALL BE CONSTRUCTED OVER ANY PORTIONS OF A RECORDED TOWN EASEMENT UNLESS A REVOCABLE LICENSE IS APPROVED BY THE TOWN AND THE STRUCTURE WILL NOT INTERFERE WITH THE INTENDED USE OF THE EASEMENT.
- ANY STRUCTURES PLACED IN THE EASEMENT INCLUDING BUT NOT LIMITED TO PAVING, FENCING, RETAINING WALLS AND LANDSCAPING SHALL BE REMOVED AND REPLACED BY THE OWNER UPON THE REQUEST OF THE UTILITIES DEPARTMENT OR PRIVATE UTILITY COMPANY SO THAT MAINTENANCE MAY BE PERFORMED. THE OWNER OF THE LAND SHALL AGREE TO HOLD THE TOWN AND/OR PRIVATE UTILITY COMPANY HARMLESS FOR ANY LOSS OF PROPERTY OR LANDSCAPING AND IRRIGATION REMOVED FROM THE EASEMENT OR DAMAGED DUE TO MAINTENANCE ACTIVITIES AND ALL ASSOCIATED COSTS.



FLOOD PLAIN NOTES

THE SITE IS LOCATED IN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE MAP NUMBER 08035C0186G, EFFECTIVE DATE - 03/16/2016.

LAND USE SUMMARY

ZONING PD WITH UB USE
LOT 3A AREA 356,210 S.F. (8.18 AC.)
BUILDING AREA COVERAGE 51,231 S.F.

DEVELOPMENT STANDARDS - LOT 3A

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED	FINAL DP SITE PLAN REC. #2023133647	SDP-23-0045
LANDSCAPE AREA	37,069 S.F.	64,482 S.F.	64,482 S.F.
BUILDING FOOTPRINTS	N/A	51,231 S.F.	51,231 S.F.
PARKING LOT AREA	N/A	110,451 S.F.	110,451 S.F.
SIDEWALK, STREETS, ETC	N/A	130,046 S.F.	130,046 S.F.
TOTAL PKG./HARDSCAPE AREA	N/A	291,728 S.F.	291,728 S.F.
MIN. BUILDING SETBACKS			
BUILDING FRONT (WEST)	N/A	485 FT	485 FT
BUILDING SIDE (NORTH)	N/A	0 FT	0 FT
BUILDING SIDE (SOUTH)	N/A	85 FT	85 FT
BUILDING REAR (EAST)	N/A	38 FT	38 FT
MAX. BUILDING HEIGHT	50 FEET - PERMITTED	30 FEET	30 FEET
OFF-STREET PARKING	4.0 SP./100 SF GFA	4.70 SP./100 SF GFA	4.70 SP./100 SF GFA
STANDARD SPACES	205	241	224
ACCESSIBLE SPACES	7	7	7
EV SPACES	N/A	N/A	15
EV ACCESSIBLE SPACES	N/A	N/A	1
CROSS ACCESS SPACES	N/A	45	45
(NOT INCLUDED IN LOT 4 RATIO CALCULATION)			

PROPERTY OWNER

VALORADO LLC
CONTACT: WILLIAM C. VALAIKA, PRESIDENT
4770 CAMPUS DR., SUITE 220
NEWPORT BEACH, CA 92660

CIVIL, ELECTRICAL, ENGINEER

GPD GROUP, INC.
520 SOUTH MAIN STREET, SUITE 2531
AKRON, OH 44311

UTILITY PROVIDERS

WATER TOWN OF CASTLE ROCK
SEWER TOWN OF CASTLE ROCK
GAS BLACK HILLS ENERGY
ELECTRICITY CORE ELECTRIC
TELEPHONE QWEST COMMUNICATIONS
CATV AT&T BROADBAND

SHEET INDEX

CS1	01 OF 11	COVER SHEET
SP1	02 OF 11	CIVIL SITE PLAN (BY OTHERS)
C-111	03 OF 11	ENLARGED CIVIL SITE PLAN
C-201-C-203	04-06 OF 11	CIVIL DETAILS
LP1	07 OF 11	LANDSCAPE PLAN (BY OTHERS)
LP2	08 OF 11	LANDSCAPE PLAN (BY OTHERS)
L-101	09 OF 11	ENLARGED LANDSCAPE PLAN
PH1	10 OF 11	PHOTOMETRIC PLAN (BY OTHERS)
E-302	11 OF 11	ENLARGED PHOTOMETRIC PLAN

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES FOR THE TOWN OF CASTLE ROCK, COLORADO, ON THE 25 DAY OF JUNE, 2025.

Paul Freese
DIRECTOR OF DEVELOPMENT SERVICES

6/25/25
DATE

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED MARCH 28, 2024 AT RECEPTION NO. 2024011955, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

STANDARD INSURANCE COMPANY, AN OREGON CORPORATION

BY: *Amy Frazee*
NAME: Amy Frazee
TITLE: Assistant Vice President

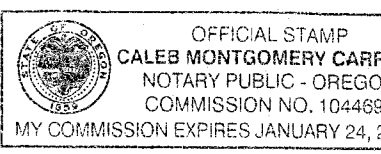
ATTEST: *Paul Freese*
NAME: Paul Freese
TITLE: Senior Director, StanCorp Mortgage Investors, LLC

SIGNED THIS 11th DAY OF June, 2025.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11th DAY OF June, 2025.

BY: Amy Frazee and Paul Freese
WITNESS MY HAND AND OFFICIAL SEAL



NOTARY PUBLIC

MY COMMISSION EXPIRES: January 24, 2028.

THE LINCOLN NATIONAL LIFE INSURANCE COMPANY, AN INDIANA CORPORATION, BY STANCORP MORTGAGE INVESTORS, LLC, AN OREGON LIMITED LIABILITY COMPANY ITS ATTORNEY IN FACT

BY: *Amy Frazee*
NAME: Amy Frazee
TITLE: Assistant Vice President

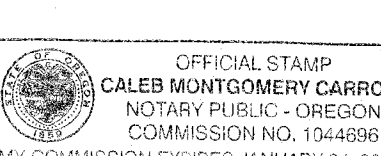
ATTEST: *Paul Freese*
NAME: Paul Freese
TITLE: Senior Director

SIGNED THIS 11th DAY OF June, 2025.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11th DAY OF June, 2025.

BY: Amy Frazee and Paul Freese
WITNESS MY HAND AND OFFICIAL SEAL



NOTARY PUBLIC

MY COMMISSION EXPIRES: January 24, 2028.

PL MORTGAGE FUND, LLC, A DELAWARE LIMITED LIABILITY COMPANY, BY STANCORP MORTGAGE INVESTORS, LLC, AN OREGON LIMITED LIABILITY COMPANY ITS ATTORNEY IN FACT

BY: *Amy Frazee*
NAME: Amy Frazee
TITLE: Assistant Vice President

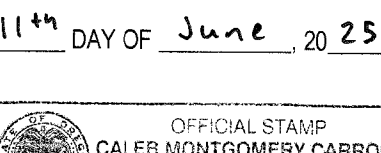
ATTEST: *Paul Freese*
NAME: Paul Freese
TITLE: Senior Director

SIGNED THIS 11th DAY OF June, 2025.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 11th DAY OF June, 2025.

BY: Amy Frazee and Paul Freese
WITNESS MY HAND AND OFFICIAL SEAL



NOTARY PUBLIC

MY COMMISSION EXPIRES: January 24, 2028.

TITLE CERTIFICATION

David Knapp, AN AUTHORIZED REPRESENTATIVE OF LAND TITLE GUARANTEE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNER'S MORTGAGERS AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP.

David Knapp
AUTHORIZED REPRESENTATIVE

David Knapp, Vice President
LAND TITLE GUARANTEE COMPANY

SIGNED THIS 17th DAY OF June, 2025.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 17th DAY OF June, 2025.

BY: David Knapp, AS AUTHORIZED REPRESENTATIVE OF Land Title Guarantee Company

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: February 10, 2028.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

VALORADO LLC, A DELAWARE LIMITED LIABILITY COMPANY

BY: William C. Valaika
WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS 13th DAY OF June, 2025.

BY: William C. Valaika as President of Valorado LLC, a Delaware limited liability company.

WITNESS MY HAND AND OFFICIAL SEAL

NOTARY PUBLIC

MY COMMISSION EXPIRES: April 30, 2029.

CIVIL ENGINEER'S STATEMENT

I, LEONARDO A. SFERRA, BEING A LICENSED ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS WITHIN OUR SCOPE OF WORK IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNED AND ENGINEERED IN GENERAL CONFORMANCE WITH ALL APPLICABLE TOWN OF CASTLE ROCK PUBLIC WORKS ORDINANCES.

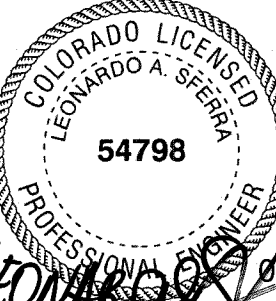
Leonardo A. Sferra
LEONARDO A. SFERRA 54798

05/29/25
DATE



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DESCRIPTION	DATE
A	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW	03/07/2023
B	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW	10/22/2024
C	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW	01/29/2025
D	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW	03/26/2025
E	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW	06/29/2025



JODI LYNN BEPOLA
NOTARY PUBLIC
STATE OF COLORADO
NOTARY ID 20254018855
MY COMMISSION EXPIRES APRIL 30, 2029

SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

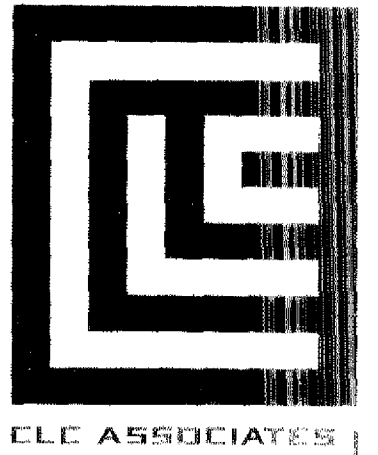
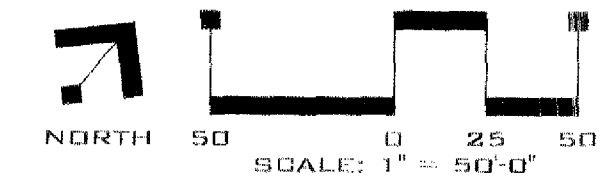
SDP COVER SHEET

PROJECT MANAGER	DESIGNER
IM	MM

JOB NO.
2023241.49

1 OF 11
CS1
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

FINAL PD SITE PLAN
MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A
A MINOR SITE PLAN AMENDMENT TO THE
MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



CLC ASSOCIATES
1440 E. JEFFERSON AVE.
SUITE 3000
DENVER, CO 80202
P: 303.770.5600
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WWW.CLC.CO

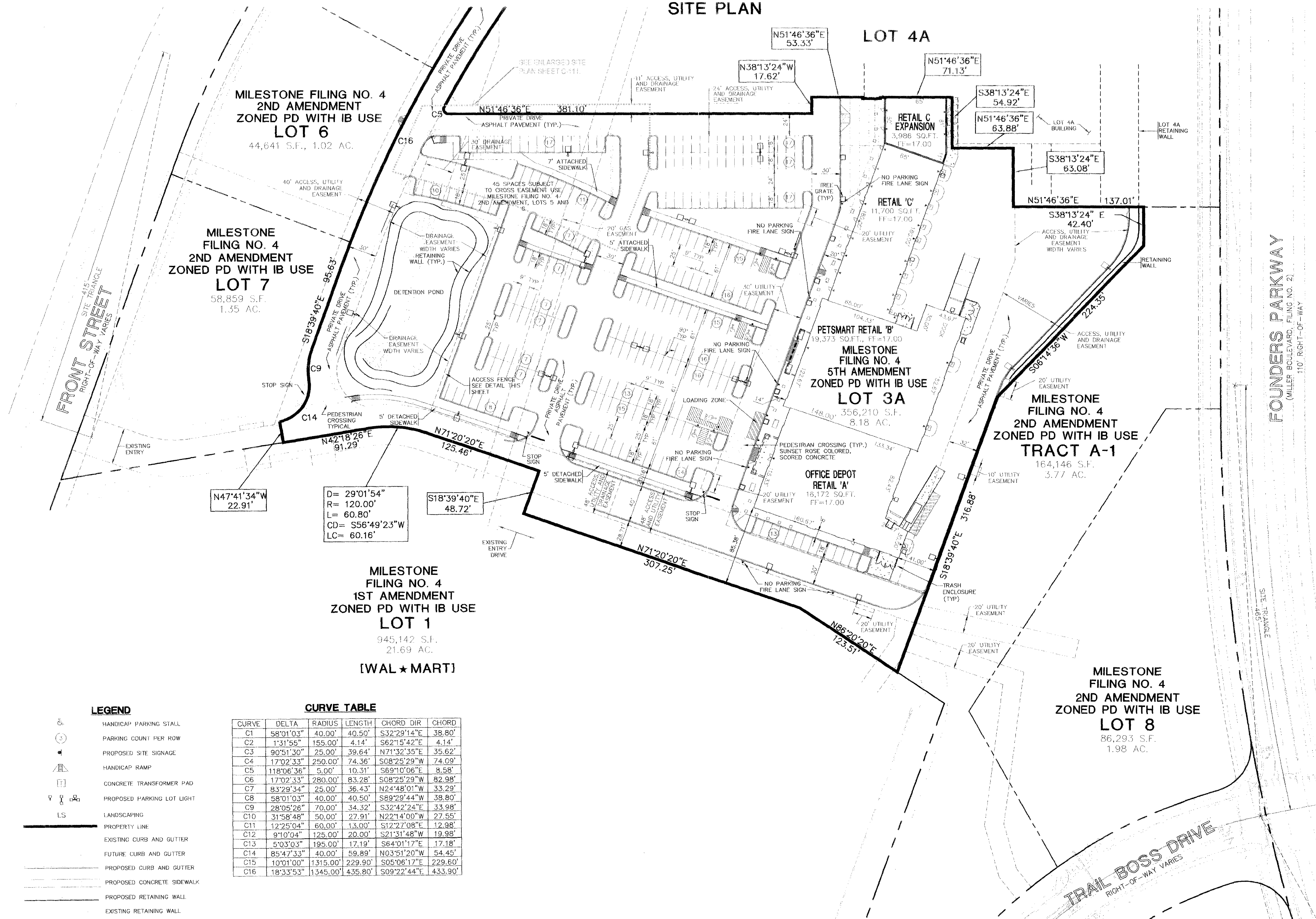
ARCHITECTURE
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE: 07/08/09
DESCRIPTION: INITIAL ACCEPTANCE
PROJECT #: 99.135
DRAWN BY: JLS
DESIGNED BY: JDT
CHECKED BY: JDT

FOR
REFERENCE
ONLY
SP1
OWN OF CASTLE ROCK
PROJECT NUMBER 99.135

SITE PLAN



LEGEND

- HANDICAP PARKING STALL
- PARKING COUNT PER ROW
- PROPOSED SITE SIGNAGE
- HANDICAP RAMP
- CONCRETE TRANSFORMER PAD
- PROPOSED PARKING LOT LIGHT
- LANDSCAPING
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- FUTURE CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD	CHORD
C1	58°01'03"	40.00'	40.50'	S32°29'14"E	38.80'
C2	1°31'55"	155.00'	4.14'	S62°15'42"E	4.14'
C3	90°51'30"	25.00'	39.64'	N71°32'35"E	35.62'
C4	17°02'33"	250.00'	74.36'	S08°22'29"W	74.09'
C5	118°06'36"	5.00'	10.31'	S69°10'06"E	8.58'
C6	17°02'33"	250.00'	74.36'	S08°22'29"W	74.09'
C7	83°29'34"	25.00'	36.43'	N24°48'01"W	33.29'
C8	58°01'03"	40.00'	40.50'	S89°29'44"W	38.80'
C9	28°05'28"	70.00'	34.32'	S32°42'24"E	33.98'
C10	31°58'04"	50.00'	27.91'	N22°14'00"W	27.55'
C11	12°25'04"	60.00'	13.00'	S12°27'08"E	12.98'
C12	9°10'04"	125.00'	20.00'	S21°31'48"W	19.98'
C13	5°03'03"	195.00'	17.19'	S64°01'17"E	17.18'
C14	85°47'33"	40.00'	59.89'	N03°51'20"W	54.45'
C15	10°01'00"	1315.00'	229.90'	S05°06'17"E	229.60'
C16	18°33'53"	1345.00'	435.80'	S09°22'44"E	433.90'

Drawing Name: C:\2025\20250224\149 - TRT 26528 - Castle Rock, CO - Milestone Lndwg\20250224-149 - Castle Rock, CO - Site Development Plan.dwg
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- GENERAL SHEET NOTES**
- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
 - CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING, APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
 - APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.
 - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SLOPES AND GRADES PRIOR TO CONSTRUCTION. FINAL GRADES SHALL BE DETERMINED IN FIELD BY THE CONTRACTOR AND APPROVED BY THE CONSTRUCTION MANAGER.
 - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.
 - CONTRACTOR SHALL ENSURE SLOPES OF PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S) ARE COMPLIANT WITH NATIONAL ADA STANDARDS. NO SLOPE SHALL EXCEED 2% IN ANY DIRECTION WITHIN PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S). CONTRACTOR SHALL REMOVE AND REGRADE AREA(S) AS REQUIRED TO ACHIEVE NECESSARY SLOPES. CONTRACTOR SHALL INSTALL FINAL PAVEMENT MARKINGS IN ACCORDANCE WITH THE CURRENT AHJ'S REGULATIONS.

- PLAN KEYNOTES**
- PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY.
 - PROPOSED UTILITY METER AND CT CABINET MOUNTED IN SWITCHGEAR PER ELECTRIC COMPANY SPECIFICATIONS.
 - PROPOSED SWITCHGEAR ASSEMBLY WITH INTEGRATED TESLA SITE CONTROLLER AND PRIMARY BROADCAST UNIT PER ELECTRICAL DRAWINGS. SEE CIVIL DETAILS FOR ANCHORAGE.
 - PROPOSED TESLA SUPERCHARGER CABINET (TYPICAL OF 4). SEE CIVIL DETAILS.
 - PROPOSED TESLA SUPERCHARGER POST WITH INDIVIDUAL PRECAST CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 15). SEE CIVIL DETAILS.
 - PROPOSED TESLA SUPERCHARGER POST WITH CAST-IN-PLACE CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 1). SEE CIVIL DETAILS.
 - PROPOSED NON-ILLUMINATED PARKING SIGN (TYPICAL OF 1). SEE CIVIL DETAILS. SEE SUPERCHARGER POST SCHEDULE. THIS SHEET. MOUNT SIGN POST IN BOLLARD AS NOTED. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT SIGN TO LIGHT POLE IN LIEU OF POST AND/OR BOLLARD.
 - PROPOSED CONCRETE EQUIPMENT PAD. SEE CIVIL DETAILS.
 - PROPOSED PAINTED 4" WIDE SOLID STRIPE TO MATCH EXISTING STRIPING IN COLOR.
 - PROPOSED PAINTED 4" WIDE TRANSVERSE STRIPING TO MATCH EXISTING STRIPING IN COLOR. STRIPING SHALL BE 3'-0" O.C. SEE CIVIL DETAILS.
 - PROPOSED 6" CONCRETE CURB TO MATCH EXISTING. SEE CIVIL DETAILS.
 - PROPOSED FLUSH CONCRETE CURB WITH GUTTER. SEE CIVIL DETAILS.
 - PROPOSED CRASH CORE DETERRENT BOLLARD (TYPICAL OF 3). SEE CIVIL DETAILS.
 - ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE SHEET L-101.
 - PROPOSED TRASH CAN AND RECYCLING BIN (TYPICAL OF 2 EACH). SEE CIVIL DETAILS.
 - PROPOSED INTEGRATED CONCRETE RAMP (TYPICAL 2). SEE CIVIL DETAILS.
 - PROPOSED FLUSH TO PAVEMENT CONCRETE WALK. SEE CIVIL DETAILS.
 - PROPOSED WIRELESS ACCESS POINT (TYPICAL OF 2) MOUNT PER MANUFACTURER'S SPECIFICATIONS AT MINIMUM 10'-0" ABOVE GRADE. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT TO EXISTING LIGHT POLE.
 - PROPOSED SHRUBS (TYPICAL OF 9). SEE SHEET L-101.
 - PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 3). SEE SHEET L-101.
 - PROPOSED LANDSCAPE STONE. SEE SHEET L-101.
 - PROPOSED AREA LIGHT ON CONCRETE FOUNDATION. SEE CIVIL DETAILS.
 - PROPOSED ORNAMENTAL GRASS (TYPICAL OF 8). SEE SHEET L-101.

LEGEND

PROPOSED EQUIPMENT CLEAR SPACE

PROPOSED CONCRETE PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED.

PROPOSED ASPHALT PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED.

EX. PROPERTY LINE

EX. FENCING

EX. UG ELECTRICAL LINE

EX. OH ELECTRICAL LINE

EX. UG FIBER LINE

EX. UG GAS LINE

EX. UG SANITARY SEWER LINE

EX. UG STORM SEWER LINE

EX. TELEPHONE LINE

EX. UG WATER LINE

P/L

E

F

GAS

SAN

ST

T

0 10 20

1"=10'

Horizontal Scale in Feet

GPD GROUP, INC.

520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
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D	03/20/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW

COLORADO LICENSED PROFESSIONAL

LEONARDO A. SEPRA

54798

04/01/25

SITE DEVELOPMENT PLAN

LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT

4612 MILESTONE LN, CASTLE ROCK, CO 80104

ENLARGED CIVIL SITE PLAN

PROJECT MANAGER	DESIGNER
IM	MAM

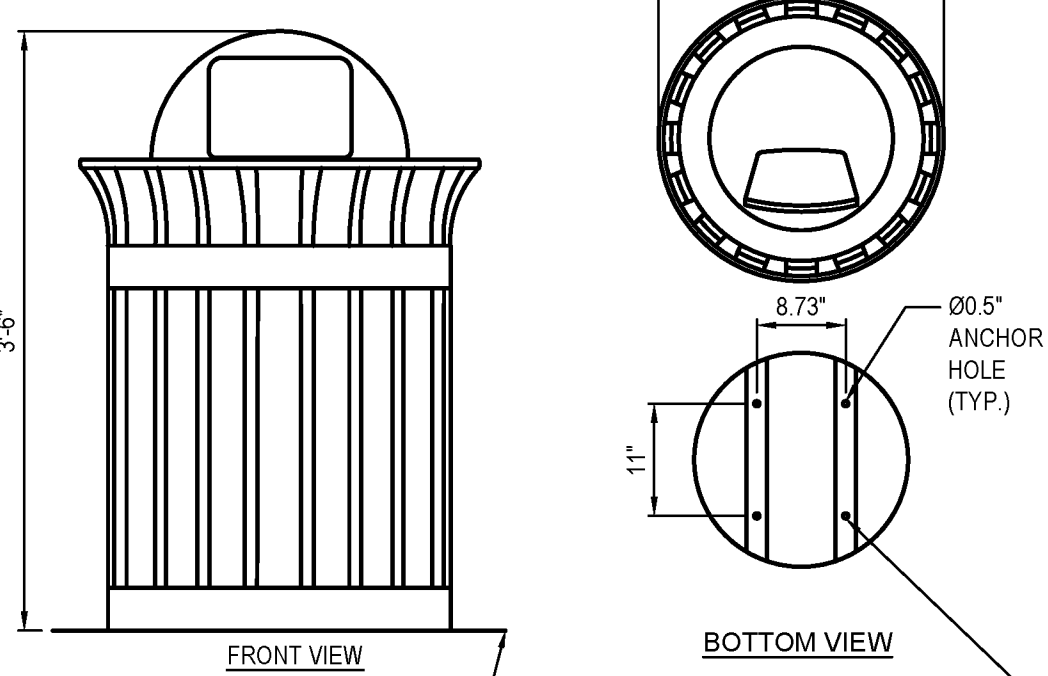
JOB NO.
2023241.49

3 OF 11
C-111

TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

Drawing Name: C:\2023\202324149 - TRT 26528 - Castle Rock, CO - Milestone Lr\dwg\202324149 - Castle Rock, CO - Site Development Plan.dwg
March 27, 2025 9:51 AM - R:\mrsyad

NOTE:
TRASH BIN AND RECYCLING
TO BE PROVIDED BY TESLA.



CONCRETE SLAB OR LANDSCAPE.
REFERENCE EQUIPMENT PAD DETAIL,
THIS SHEET FOR CONCRETE SLAB
INFORMATION.

CONCRETE SURFACES:
ANCHOR WITH (4)
MANUFACTURER PROVIDED
CONCRETE ANCHORS
LANDSCAPE AREAS: ANCHOR
WITH (4) MIN. 12" LONG J-HOOK
REBAR ANCHORS

C-1 TRASH CAN / RECYCLING BIN
NTS.

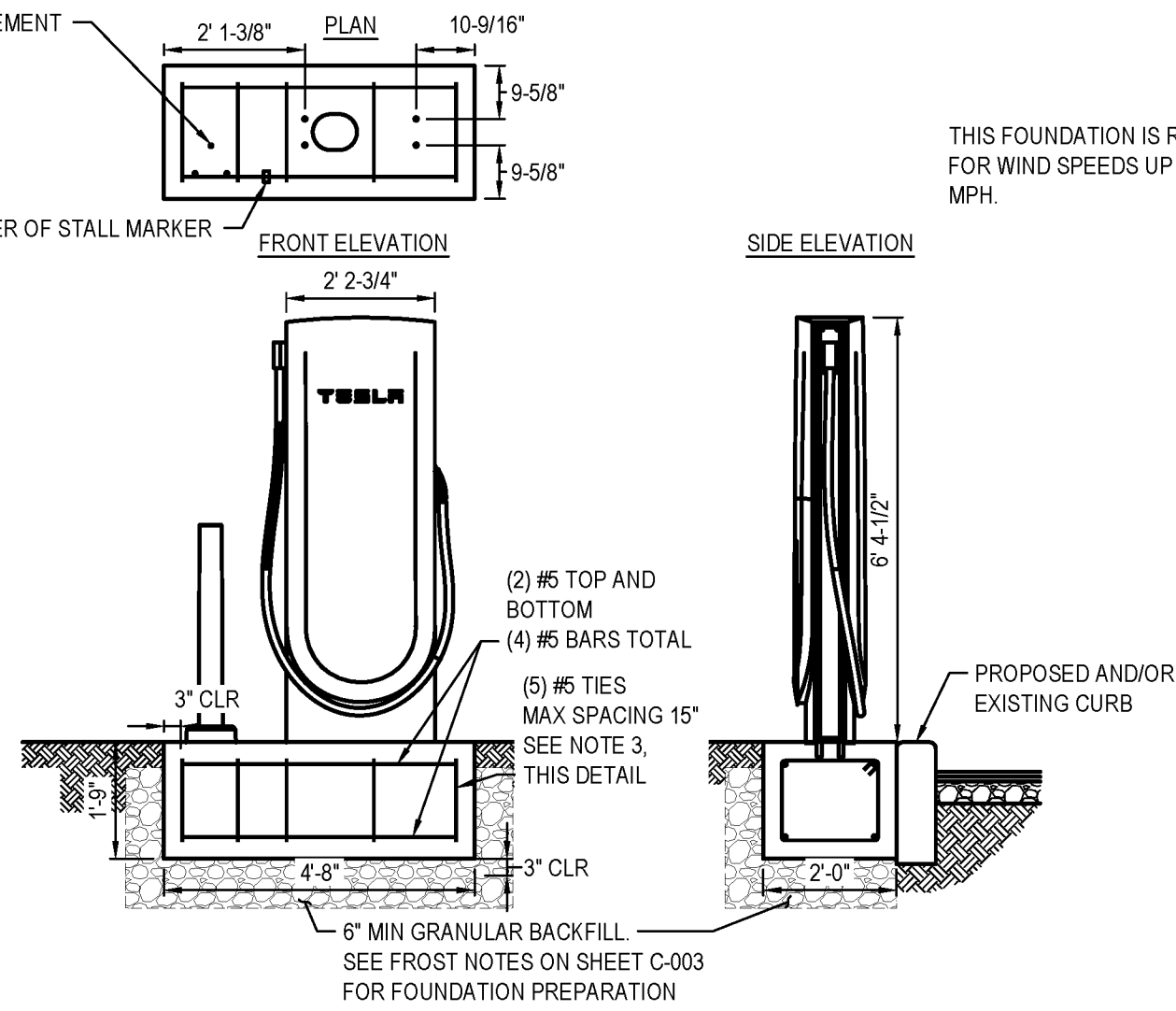
NOTES

1. SEE FROST NOTES ON GENERAL NOTES SHEETS FOR FOUNDATION PREPARATION.
2. CONTRACTOR SHALL PROTECT EXISTING CURB AND PAVEMENT DURING INSTALLATION. REPAIR OR REPLACE AS REQUIRED, MATCHING OR EXCEEDING EXISTING CONDITIONS/SPECIFICATIONS.
3. CONTRACTOR SHALL PLACE REBAR IN A CONFIGURATION THAT DOES NOT CONFLICT WITH ANCHORS AND CONDUIT WINDOW.

ANCHORAGE NOTES

1. 1/2" DIA SS THREADED ROD WITH HILTI HIT-HY 200 V3 ADHESIVE ANCHOR SYSTEM WITH 6" MIN EMBEDMENT PER ESR-4868, OR APPROVED EQUAL.

COORDINATE BOLLARD PLACEMENT
ON FOUNDATION WITH TESLA.

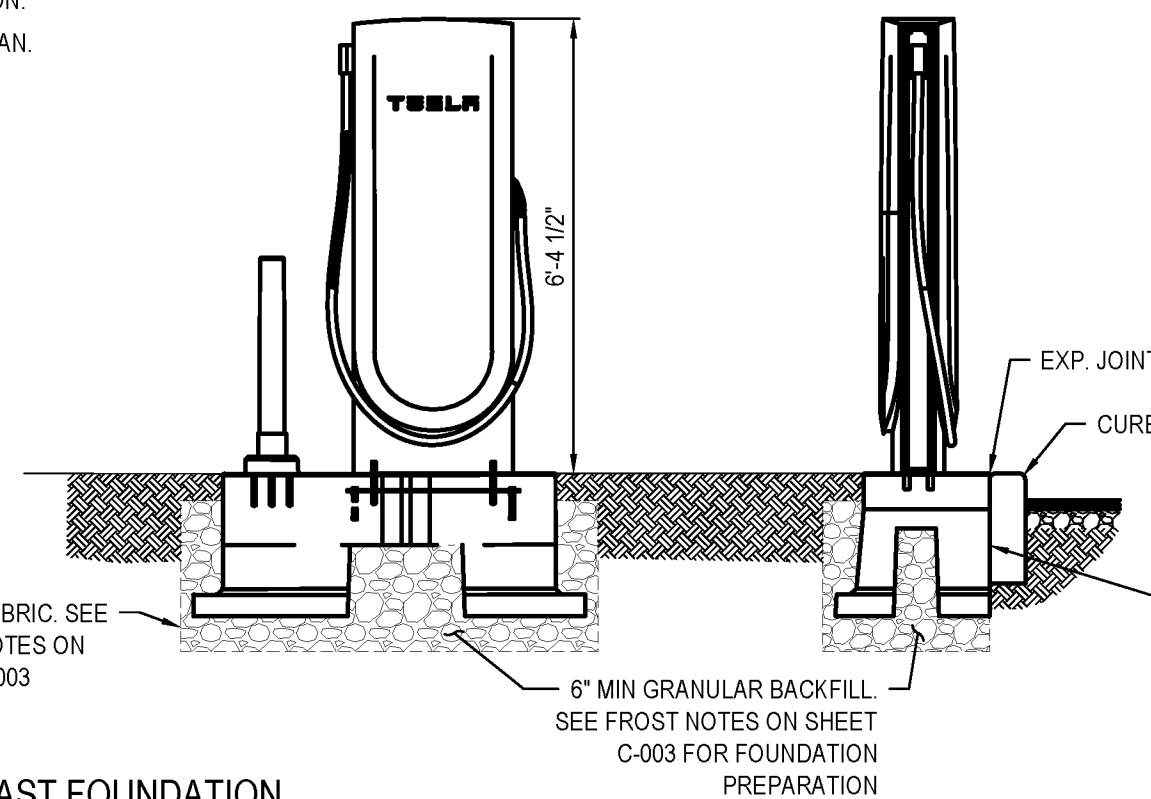
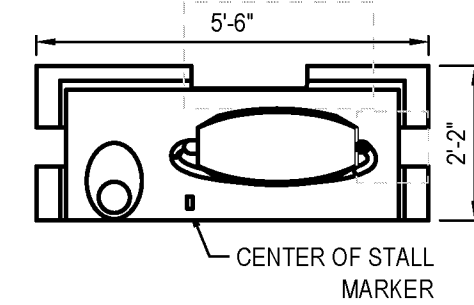


THIS FOUNDATION IS RATED
FOR WIND SPEEDS UP TO 107
MPH.

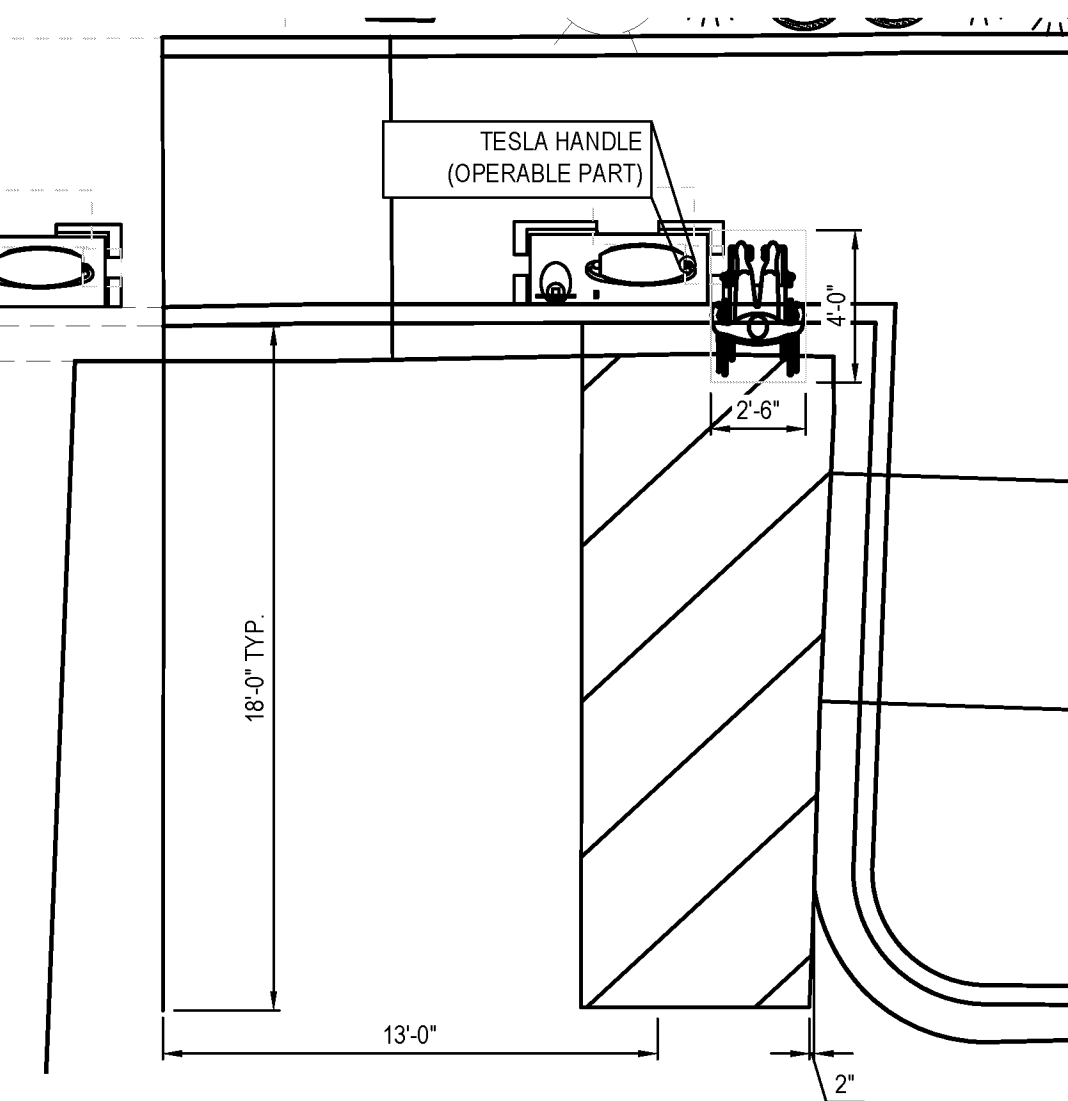
C-2 TESLA SUPERCHARGER CAST-IN-PLACE FOUNDATION
NTS.

NOTES

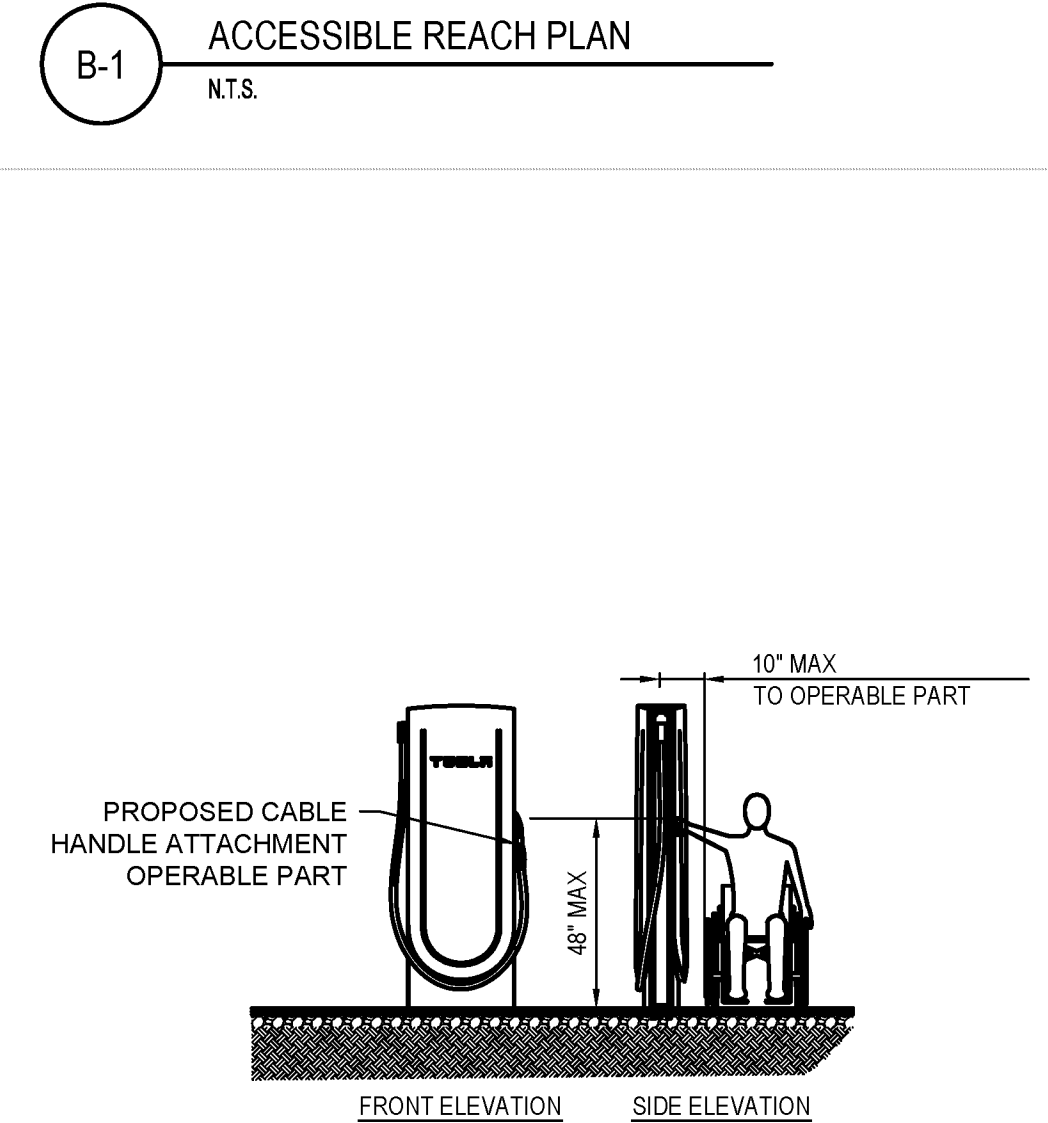
1. PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
2. PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
3. CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
4. SEE FROST NOTES ON C-003 FOR FOUNDATION PREPARATION.
5. PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN.



B-2 TESLA SUPERCHARGER ON PRECAST FOUNDATION
NTS.



B-1 ACCESSIBLE REACH PLAN
NTS.



THIS ELEVATION IS A REFERENCE TO THE 2017 IBC A117.1 STANDARDS FOR ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES. SEE SECTION 308, FIGURE 308.3.1, UNOBSTRUCTED SIDE REACH, 48" MAX REACH HEIGHT.

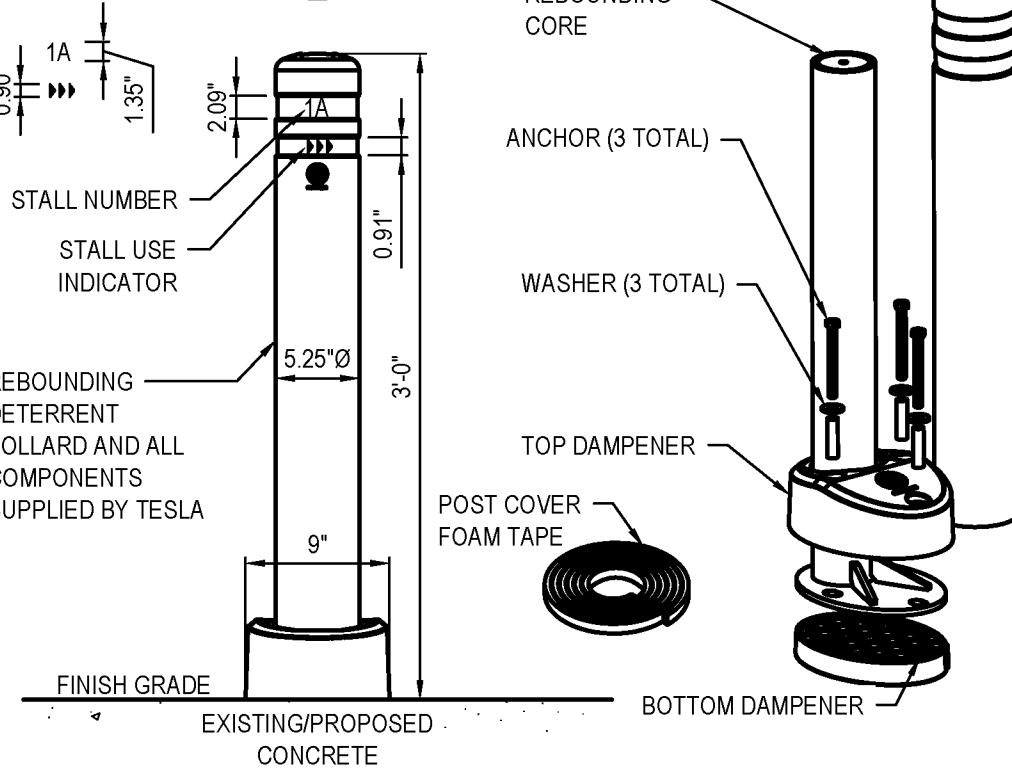
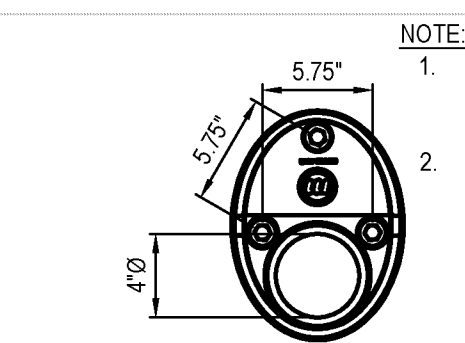
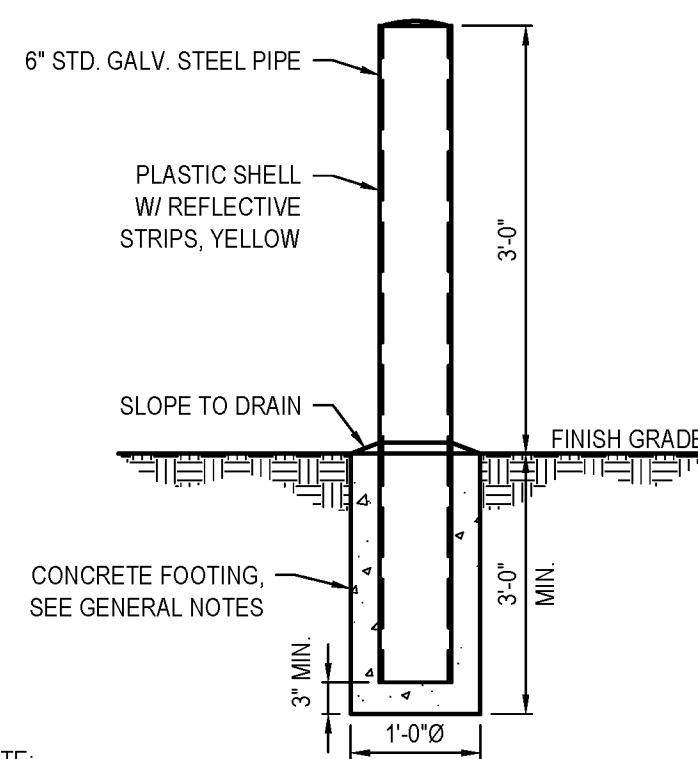
A-1 ACCESSIBLE REACH ELEVATION
NTS.

NOTE:

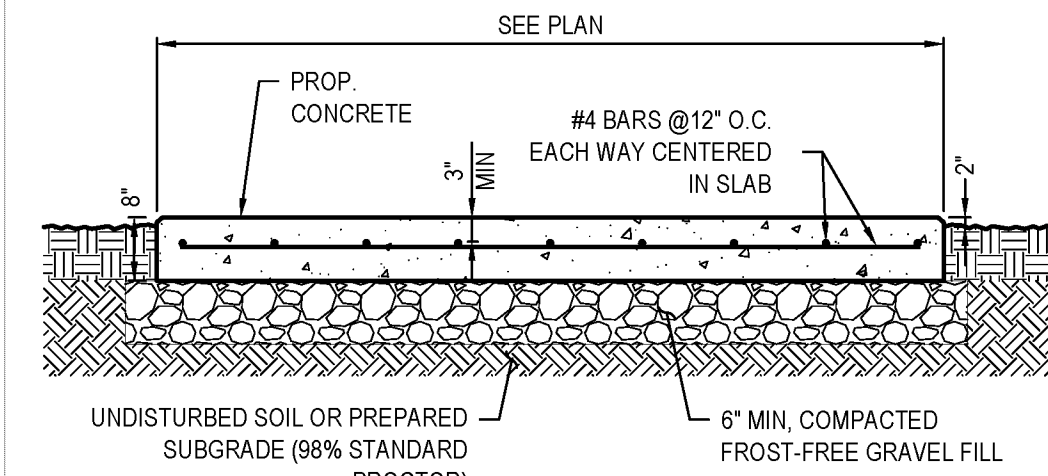
1. DETERRENT BOLLARD IS INTENDED TO PROVIDE A VISUAL DETERRENT AND REDUCE POTENTIAL IMPACT ON EQUIPMENT.

A-2 DEEP MOUNT DETERRENT BOLLARD
NTS.

MCCUE PART #: 1B817307



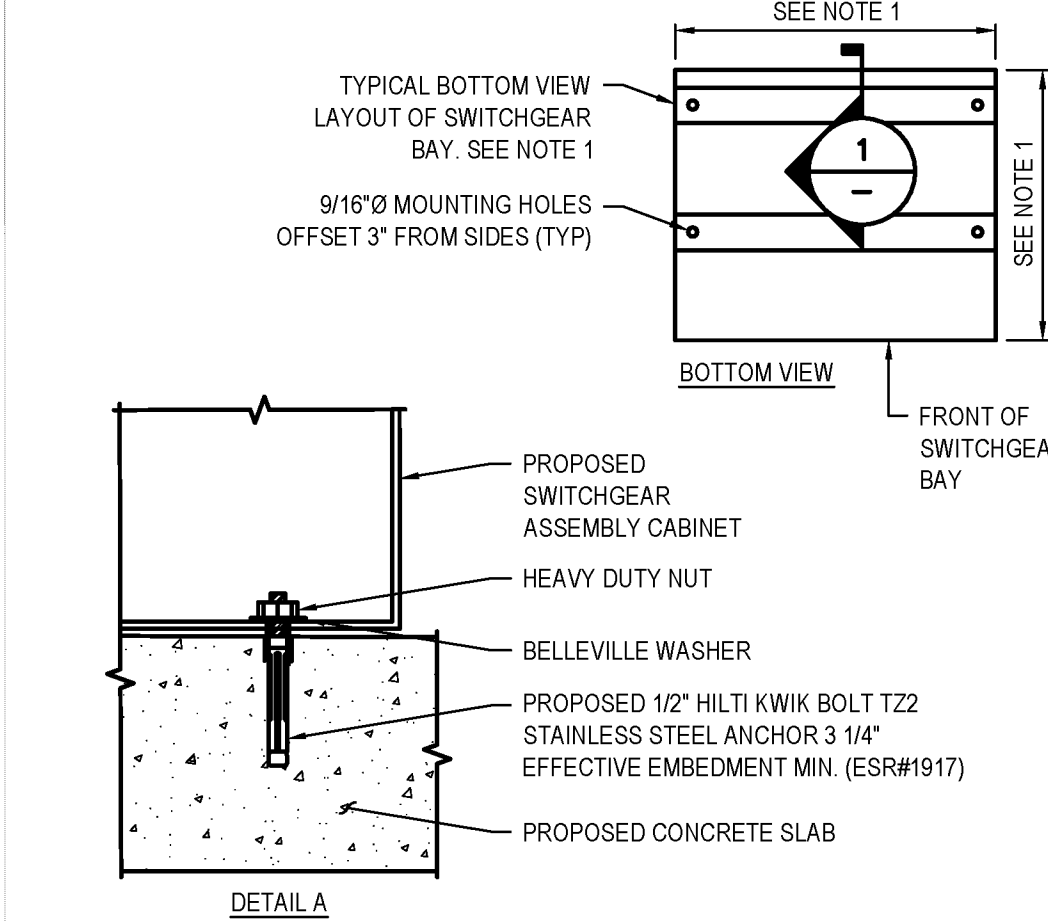
A-3 REBOUNDBING DETERRENT BOLLARD
NTS.



CONCRETE PAD NOTES & CONCRETE SPECIFICATIONS:

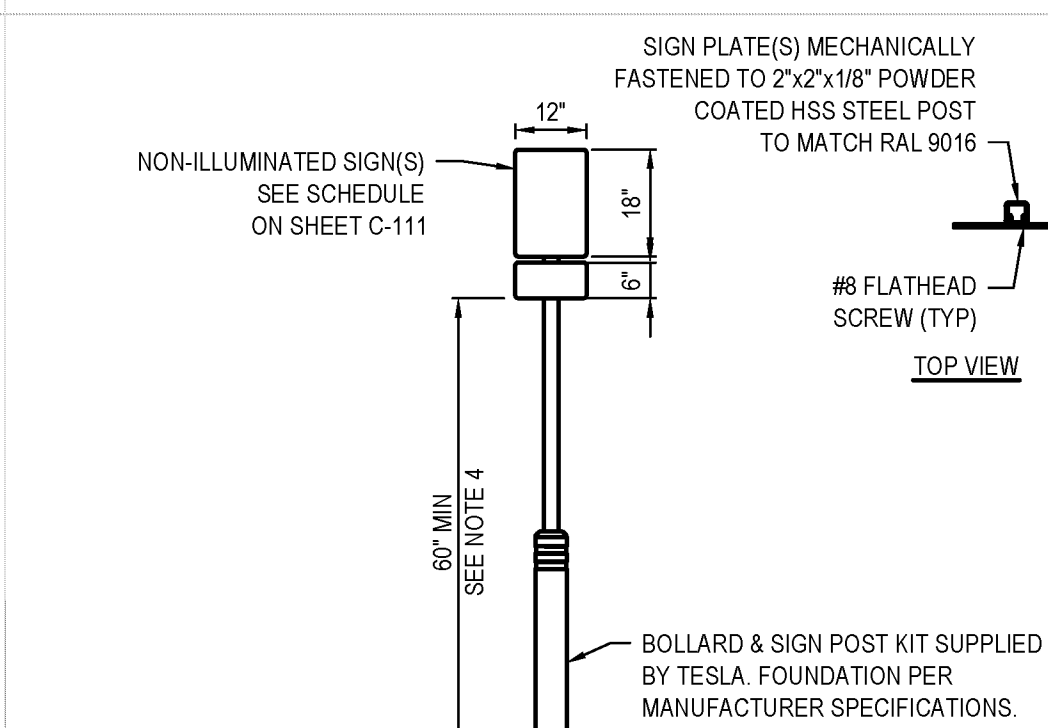
1. FOUNDATION AREA SHALL BE EXCAVATED TO THE DEPTH AND DIMENSIONS SHOWN ON THE PLANS. OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE. THE SUBGRADE SHALL BE ROLLED WITH A 1-TON, VIBRATORY, WALK-BEHIND ROLLER AT A SPEED OF LESS THAN 2 FPS, 6 PASSES MINIMUM, TO PROVIDE UNYIELDING SURFACE.
2. UNDERCUT SOFT OR "WEAVING" AREAS A MINIMUM OF 12 INCHES DEEP. BACKFILL UNDERCUT AREA WITH FILL MEETING THE SPECIFICATIONS OF STRUCTURAL FILL.
3. ALL REINFORCING TO HAVE MINIMUM CONCRETE COVER PER ACI SPECIFICATIONS.
4. ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO ACI 318-14 AND APPLICABLE STATE BUILDING CODE.
5. PAD SHALL BE A MINIMUM OF 8" IN THICKNESS. THICKNESS OF PAD SHALL INCREASE AS THE PERIMETER SOIL SURFACE SLOPES TO MAINTAIN A MINIMUM OF 6" OF SOIL COVER TO THE BOTTOM OF THE PAD.

C-4 EQUIPMENT PAD
NTS.



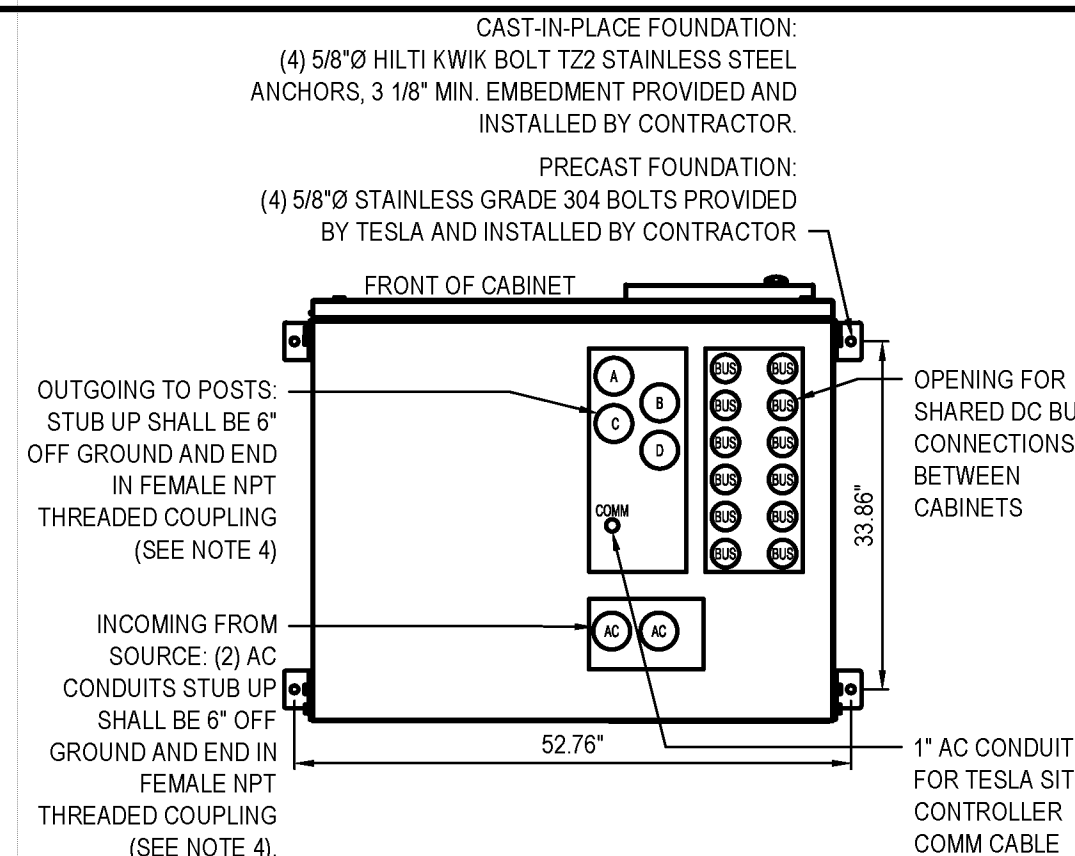
1. REFER TO SWITCHGEAR MANUFACTURER DRAWINGS FOR MOUNTING HOLE LOCATIONS, SWITCHGEAR BAY DIMENSIONS, AND BASE CHANNEL DIMENSIONS.
2. MINIMUM EDGE DISTANCE FOR PROPOSED ANCHORAGE SHALL BE 8".

B-4 MOUNTING FOR Z-POWER SWITCHGEAR
NTS.



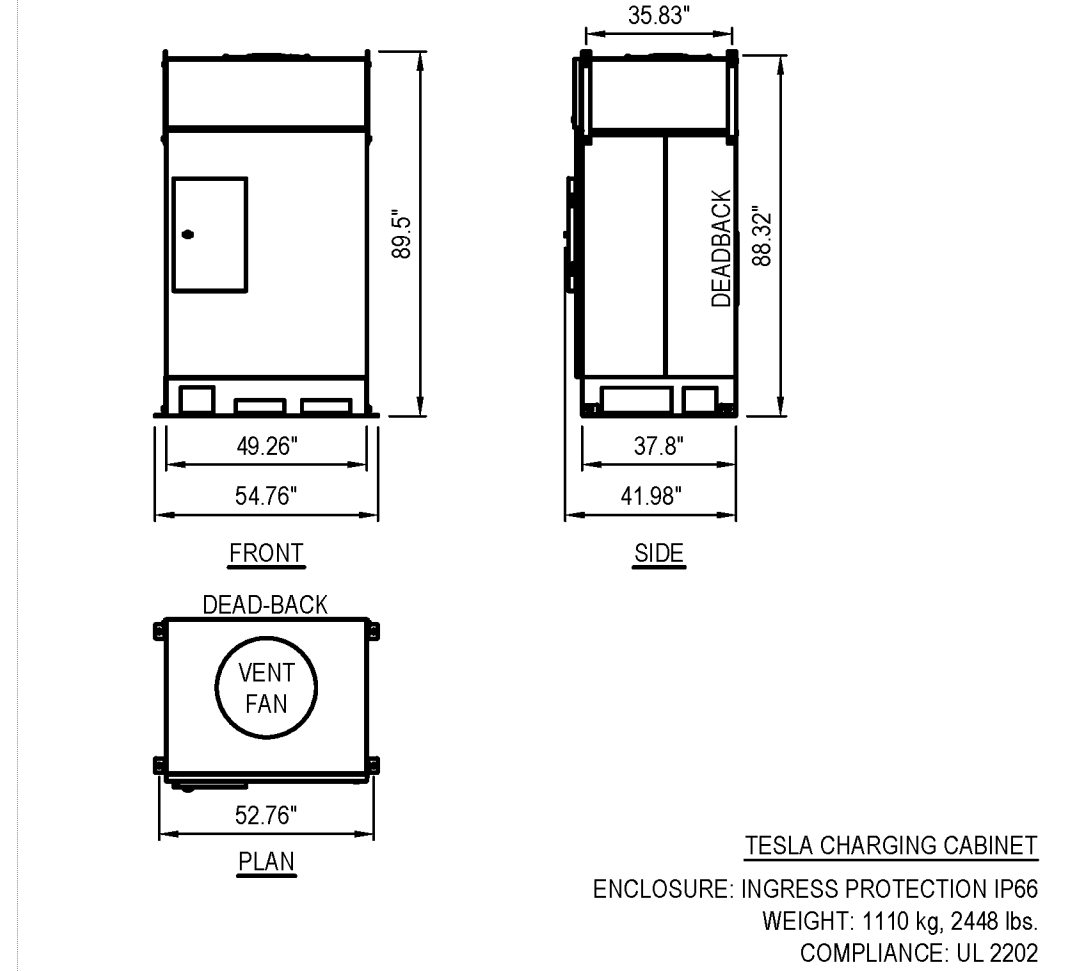
1. GENERAL CONTRACTOR TO SUPPLY HARDWARE & POST.
2. IF PAINT FINISH IS DAMAGED DURING INSTALLATION, CONTRACTOR SHALL REPAINT AS REQUIRED (VERIFY REFLECTIVITY WITH OWNER).
3. SIGN POST SHALL BE PLUGGED & CAPPED TO PREVENT WATER INTRUSION FROM TOP.
4. VERIFY SIGNAGE FOR EACH DISPENSER WITH SCHEDULE ON SHEET C-111. LOWEST MOUNTED SIGN SHALL HAVE A 60" MINIMUM CLEARANCE. WHEN INSTALLED IN PEDESTRIAN WALKWAY, CLEARANCE SHALL BE 80".

A-4 NON-ILLUMINATED SIGN
NTS.



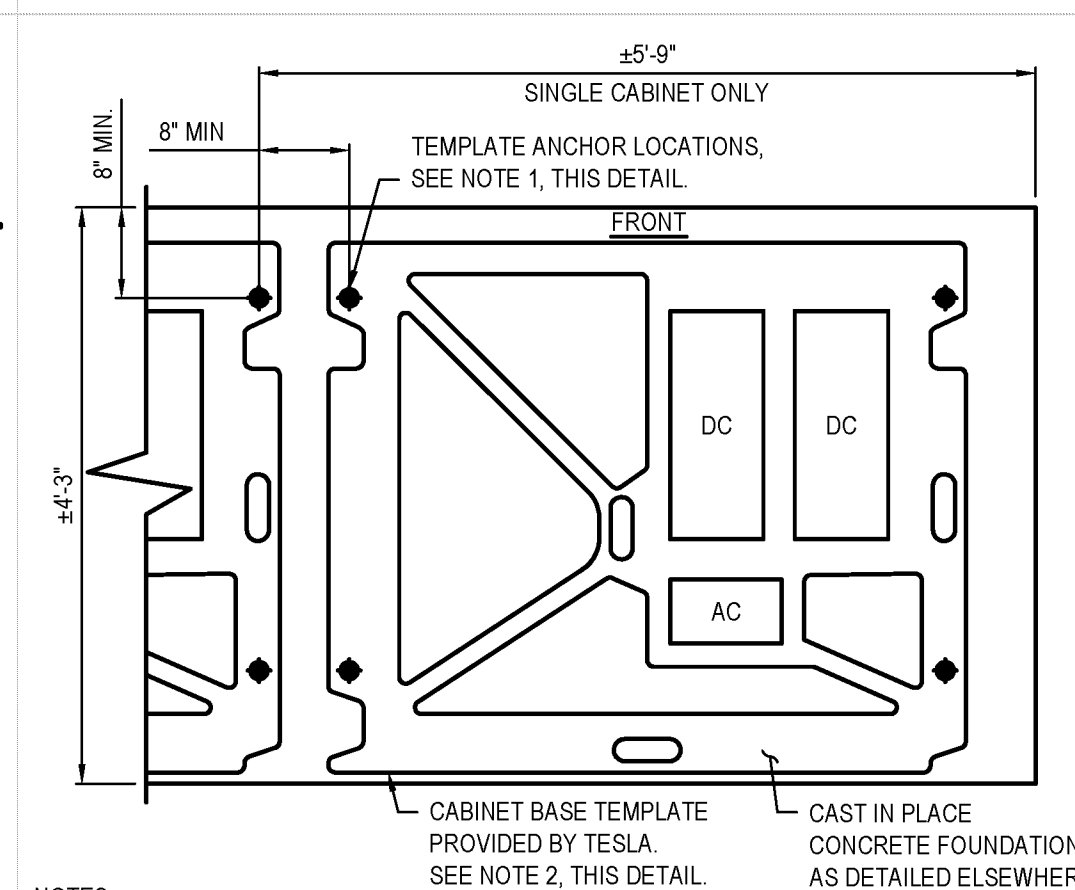
1. TESLA PROVIDED TEMPLATE PLATE TO BE USED TO LAYOUT CHARGING CABINET ANCHORING BOLT LOCATIONS AND CONDUIT STUB UP LOCATIONS.
2. BOLT HOLES FOR REFERENCE ONLY.
3. USE DOTIE DUCT SEAL COMPOUND PC 6130 (CAT NO LHD1) TO SEAL ENDS OF CONDUIT (TYP. ALL CONDUITS FOR CHARGING CABINETS AND CHARGE POSTS).
4. USE BELL FITTINGS ON ALL AC AND DC CONDUIT STUBS.
5. SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL IF APPLICABLE.

C-5 TESLA SUPERCHARGER CABINET ANCHOR BOLT PLAN
NTS.



1. CABINET SHOULD BE LIFTED USING ROOF MOUNTED EYE HOOKS. A FORKLIFT OR PALLET JACK CAN ALSO BE USED TO MOVE CABINET IF DONE PROPERLY.
2. VERIFY CABINET PART# AND ASSOCIATED DIMENSIONS PRIOR TO CONSTRUCTION.

B-5 TESLA SUPERCHARGER CABINET DIMENSIONS
NTS.



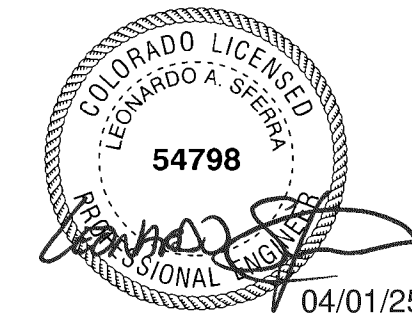
1. CHARGING CABINET SHALL BE ANCHORED TO CAST-IN-PLACE FOUNDATION WITH ANCHORS AS DENOTED IN DETAIL C-5, THIS SHEET. PROVIDED AND INSTALLED BY CONTRACTOR. PROVIDE 8" MIN. EDGE DISTANCE AND 8" MIN. BOLT SPACING.
2. CHARGING CABINET BASE TEMPLATE. SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH TESLA FOR EXACT DIMENSIONS AND SPECIFICATIONS.
3. SEE SITE PLAN FOR OVERALL PAD SIZE AND CABINET QUANTITIES.

A-5 TESLA SUPERCHARGER CABINET BASE TEMPLATE
NTS.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

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D	03/20/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

4 OF 11
C-201
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

CIVIL DETAILS



1. PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
2. PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
3. CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
4. SEE Frost Notes ON C-003 FOR FOUNDATION PREPARATION.
5. PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN.

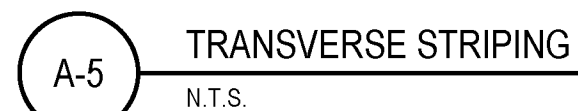
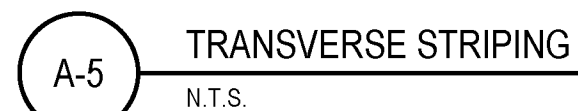


C-3 STANDARD ASPHALT PAVEMENT SECTION
N.T.S.



- B-4 TYPICAL WEDGE MILL
N.T.S.

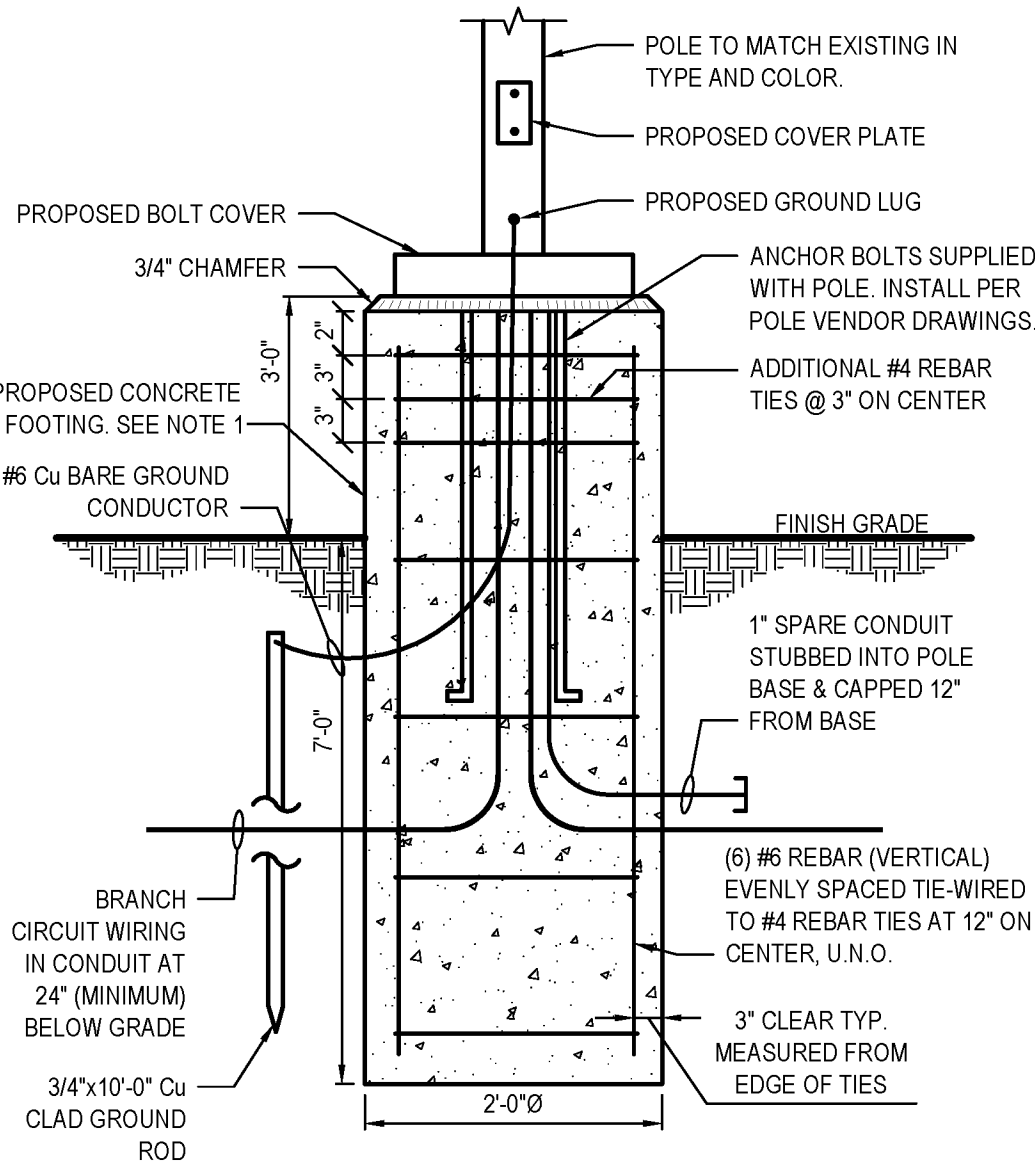
- C-5 FLUSH CURB AND REVERSE PITCH GUTTER



5 OF 11
C-202
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0

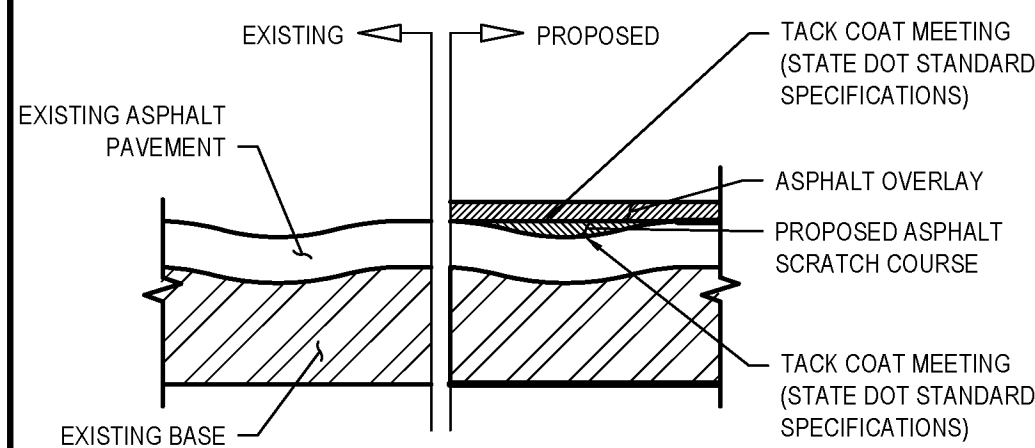
CIVIL DETAILS

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March 27, 2025 9:51 AM - R:\mrsay

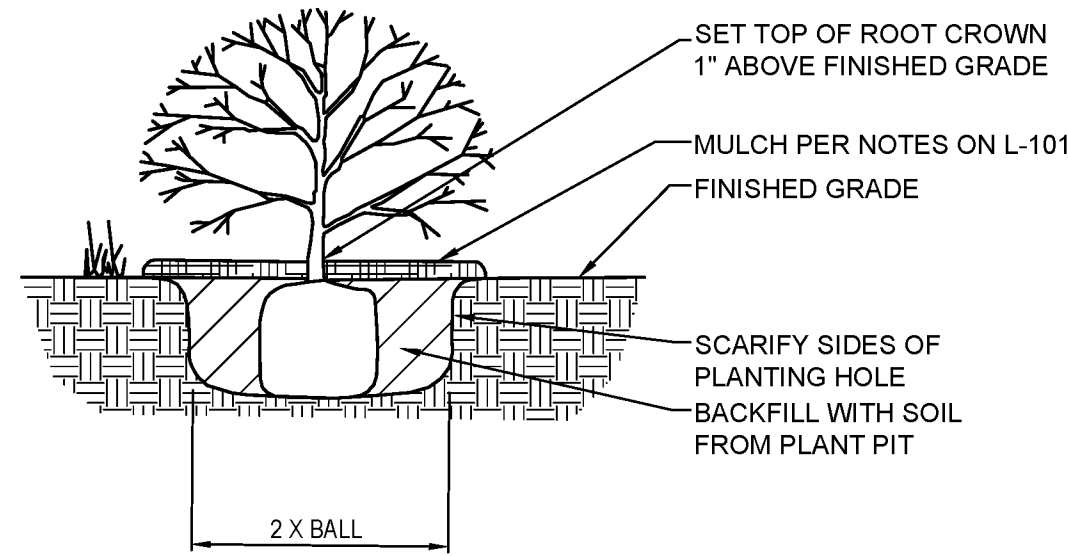


- NOTE:
1. RUB CONCRETE TO REMOVE SONOTUBE FORM LINES AND FILL ALL HOLES FOR SMOOTH FINISH. WEATHERSEAL ALL EXPOSED CONCRETE.
 2. SEE CIVIL GENERAL NOTES FOR CONCRETE SPECIFICATIONS.
 3. CONTRACTOR SHALL FIELD VERIFY EXISTING LIGHT POLE MOUNTING CONDITION AND CONFIGURATION. PROPOSED NEW FOUNDATION SHALL BE ADAPTED TO BE COMPATIBLE WITH EXISTING POLE / MOUNTING REQUIREMENTS.

B-1 LIGHT POLE FOUNDATION
N.T.S.



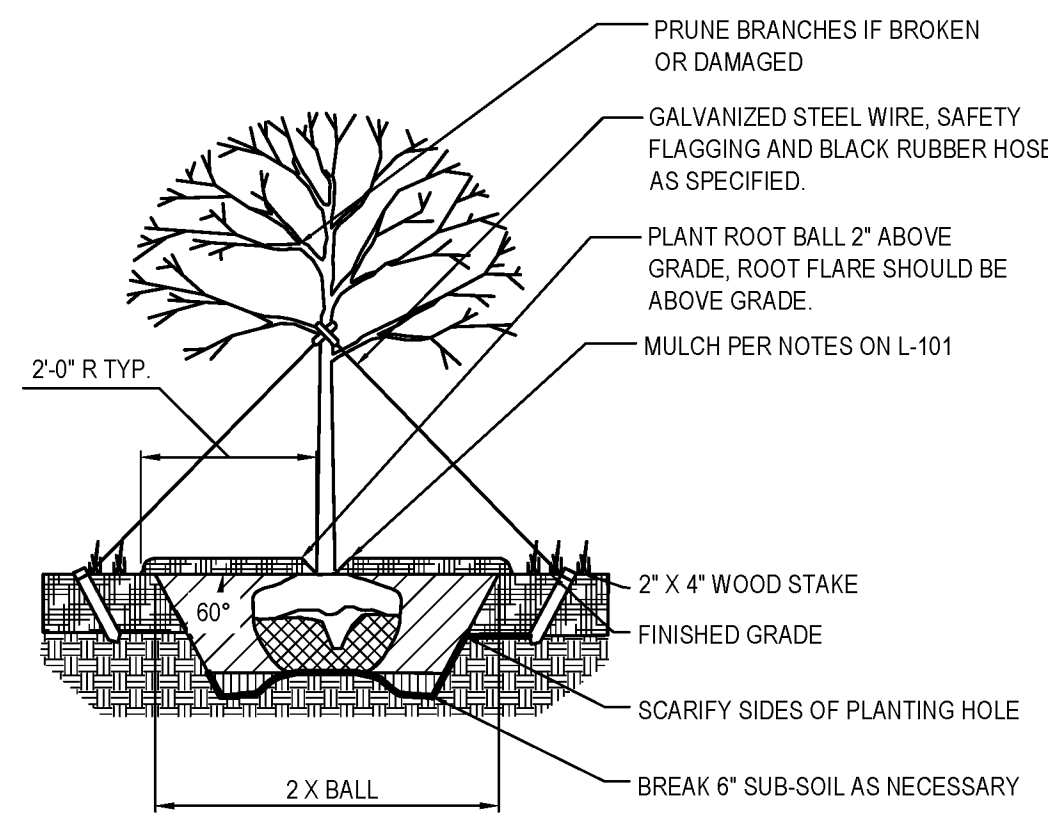
A-1 PRE-OVERLAY ASPHALT TREATMENT
N.T.S.



GENERAL NOTES:

1. PRUNE ROOTS IF BALL IS ROOTBOUND. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
2. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

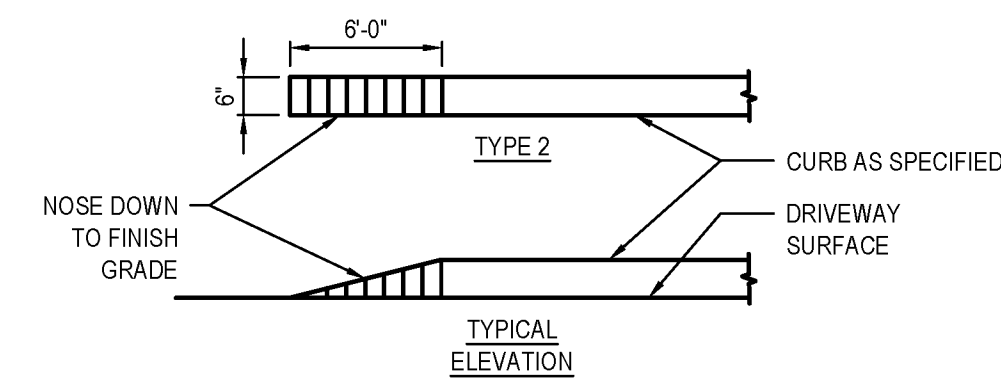
C-2 SHRUB PLANTING
N.T.S.



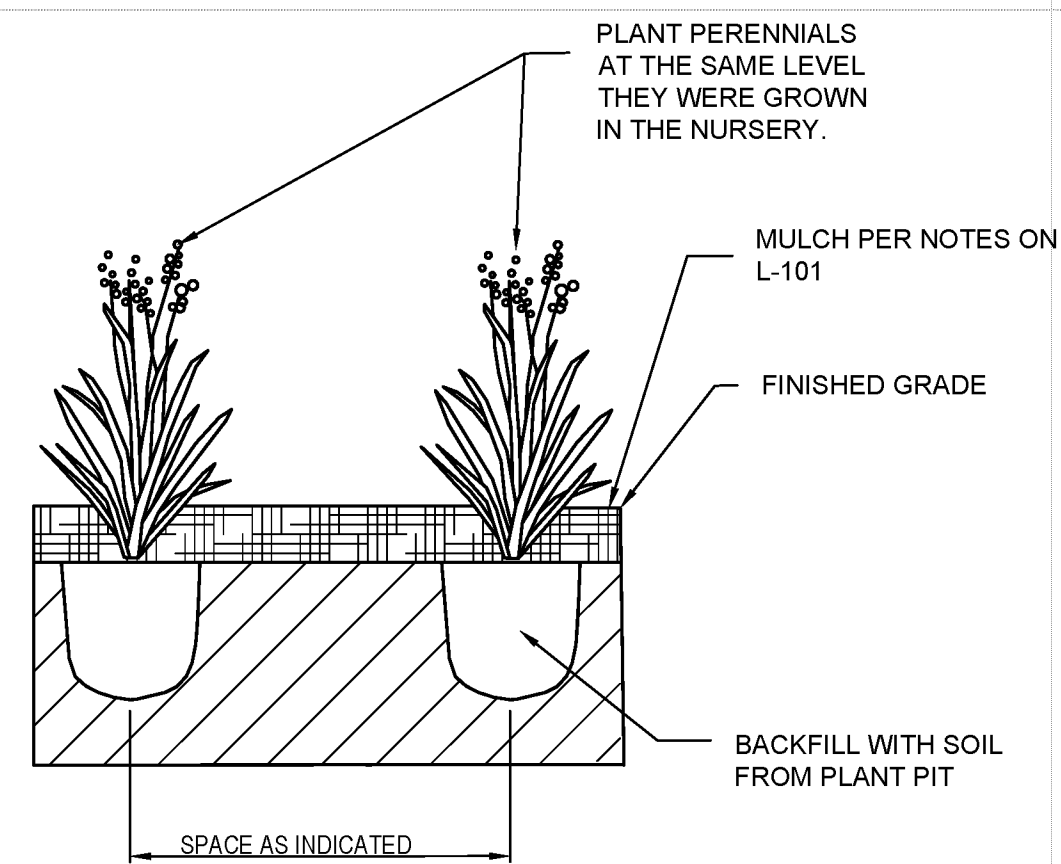
GENERAL NOTES:

- WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.

B-2 ORNAMENTAL TREE PLANTING
N.T.S.



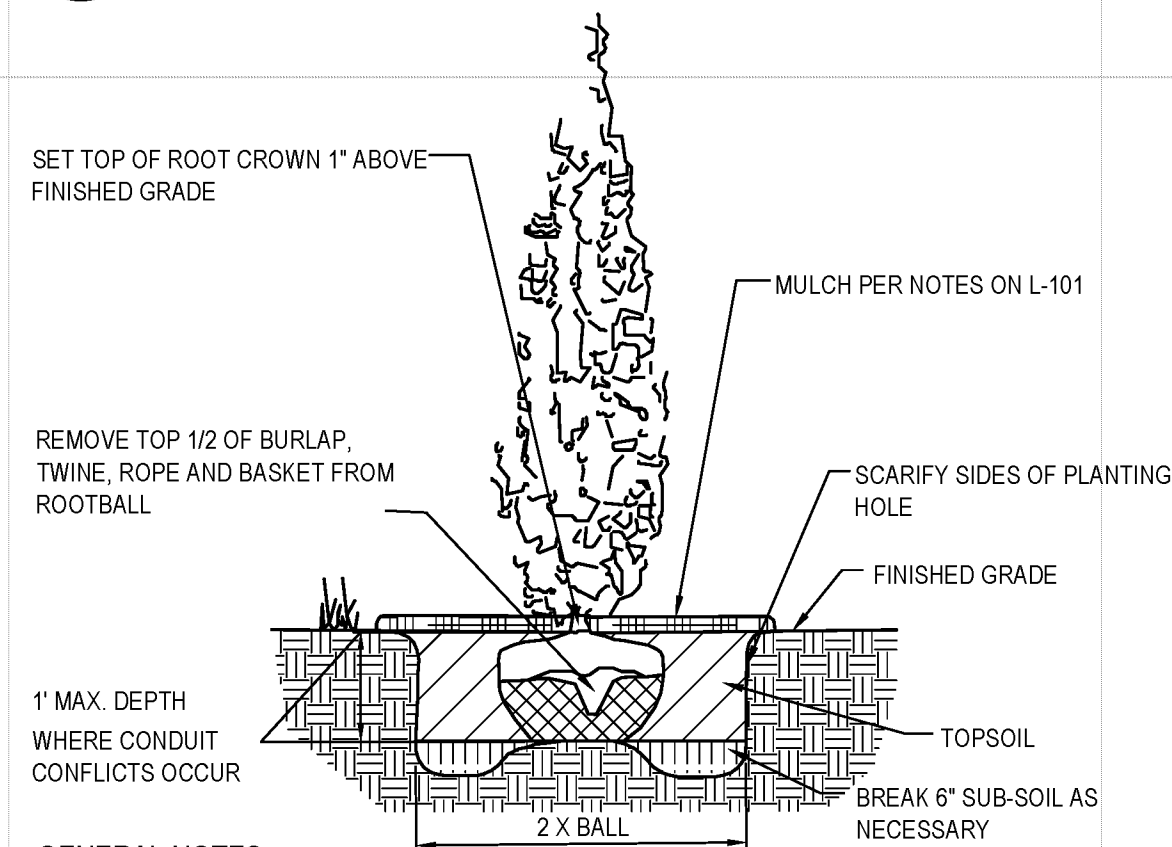
A-2 CONCRETE CURB TAPER
N.T.S.



GENERAL NOTES:

1. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

B-3 ORNAMENTAL GRASS PLANTING
N.T.S.



GENERAL NOTES:

1. PRUNE ROOTS IF BALL IS ROOTBOUND. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
2. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

A-3 EVERGREEN SHRUB PLANTING
N.T.S.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

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E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

CIVIL DETAILS

PROJECT MANAGER	DESIGNER
IM	MAM

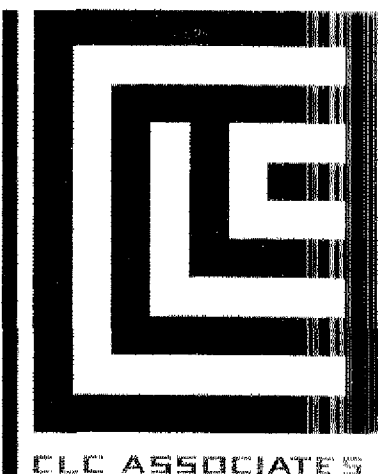
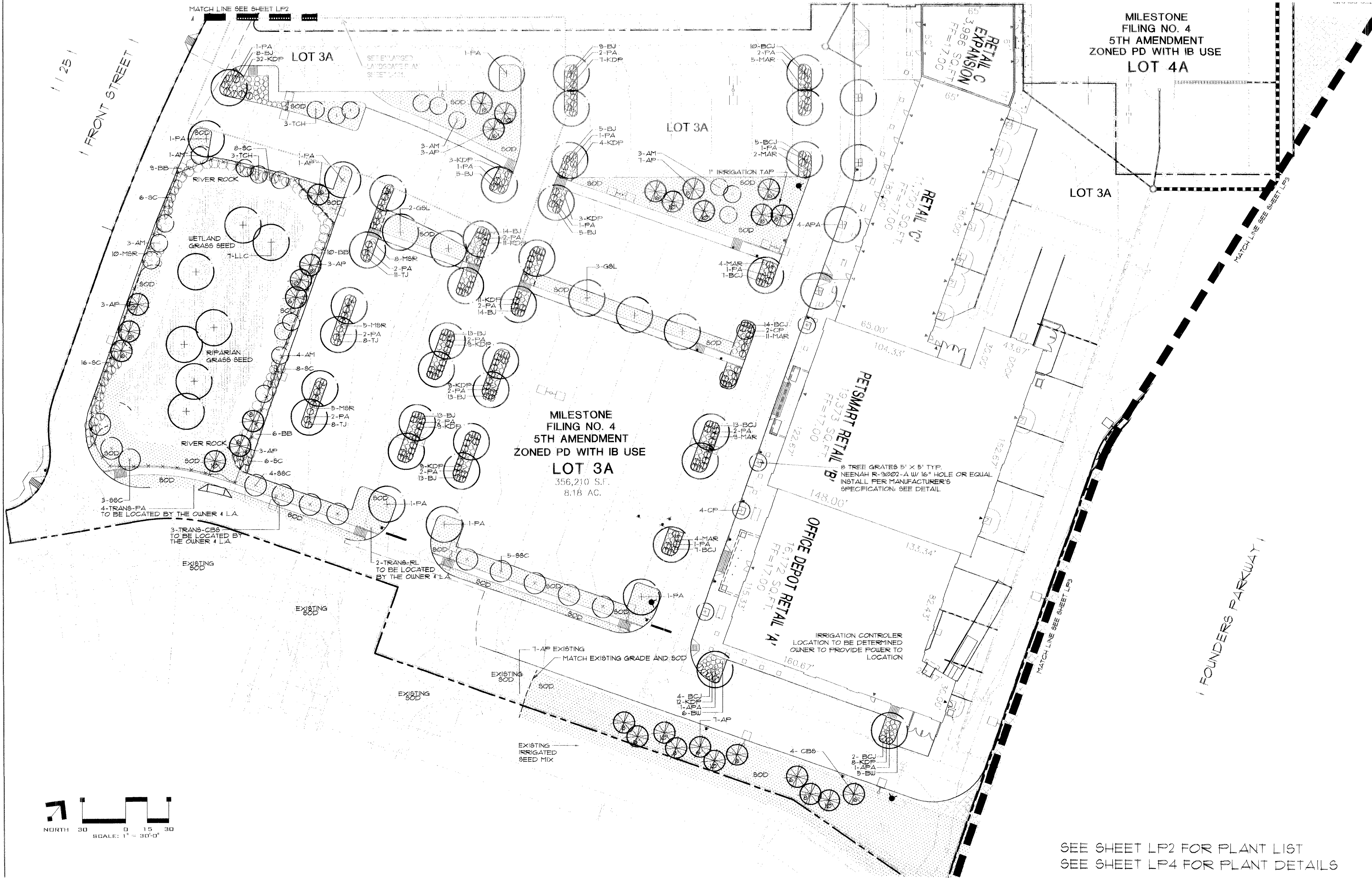
JOB NO.
2023241.49

6 OF 11

C-203

TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

FINAL PD SITE PLAN
MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A
A MINOR SITE PLAN AMENDMENT TO THE
MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



CLC ASSOCIATES
8400 E. DORLAND RD.
SUITE 2000
GREENWOOD VILLAGE
COLORADO 80121
P 303.770.9600
F 303.770.9599
CLCASSOCIATES.COM

ARCHITECTURE
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE	DESCRIPTION
07/08/03	INITIAL ACCEPTANCE

PROJECT #: 99.135
DRAWN BY: SEW
DESIGNED BY: SEW
CHECKED BY: KDP

FOR
REFERENCE
ONLY
70'11"
LP1

TOWN OF CASTLE ROCK
COUNTY OF DOUGLAS, COLORADO

SEE SHEET LP2 FOR PLANT LIST
SEE SHEET LP4 FOR PLANT DETAILS

FESCUE LAWN SOD MIX

(FULLY IRRIGATED)
(TO BE MOVED)
PERCENTAGES BY SEED COUNT

90% TURF-TYPE OR FINE BLADE TALL FESCUE
(3 IMPROVED VARIETIES)

10% CANADIAN OR KENTUCKY BLUEGRASS
(2 IMPROVED VARIETIES)

DRYLAND SEED MIX

(SUPPLEMENTAL IRRIGATION)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 21.7 LBS. PLG/ACRE; DRILL SEED
ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

0.5 LBS ALKALI SACATON

5.6 LBS STREAMBANK WHEATGRASS

1.7 LBS INLAND SALT GRASS

7.9 LBS WESTERN WHEATGRASS

4.0 LBS BLUE GRAMA

2.0 LBS BUFFALOGRASS

FINAL PD SITE PLAN

MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN

LANDSCAPE NOTES

1. PLANT MATERIALS:
ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES AND THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT AND ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT PER SPECIFICATIONS. ALL TREES TO BE STAKED OR GUYED AS DERIVED IN THE DETAILS AND SPECIFICATIONS. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS. ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND.

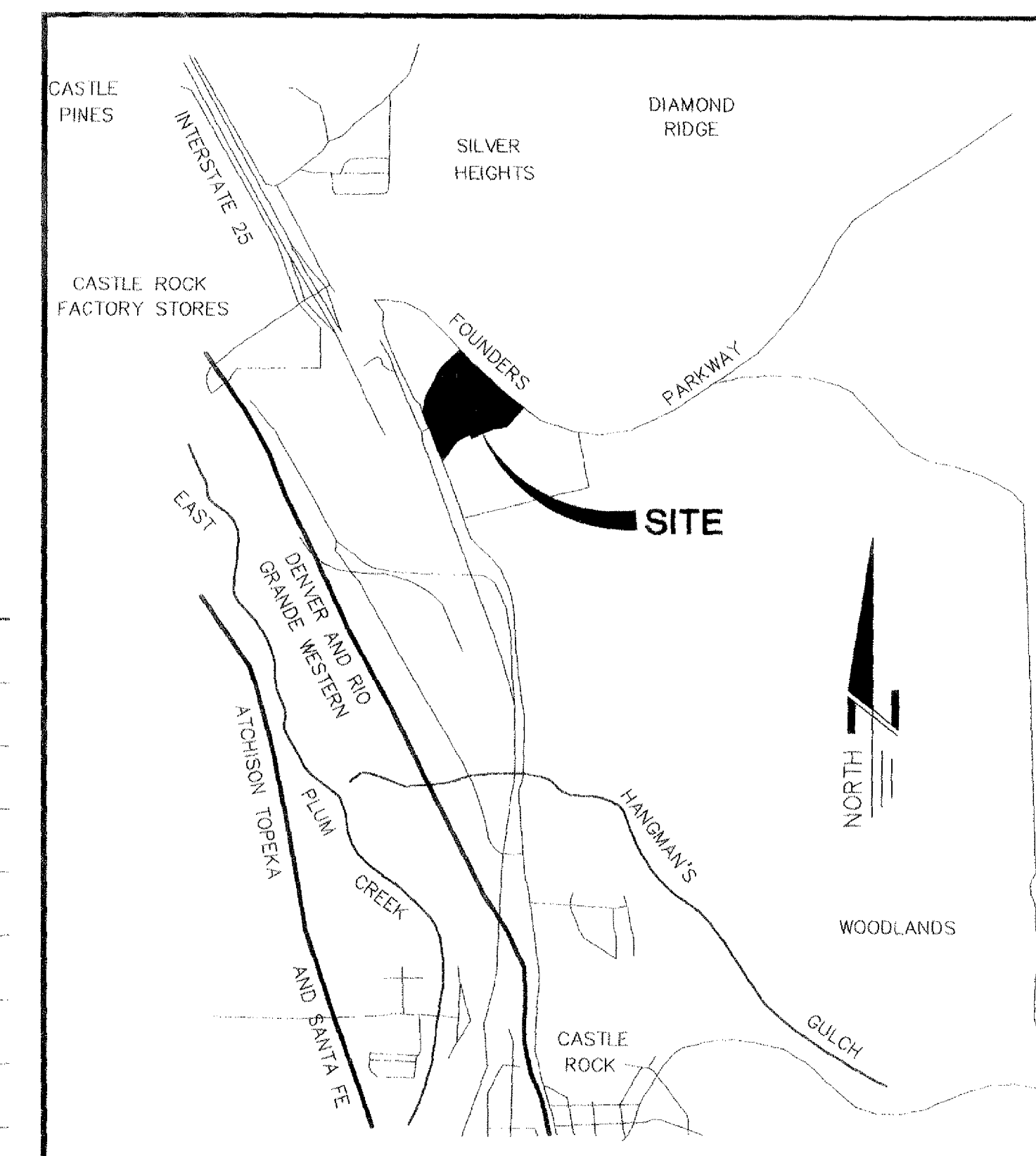
3. MULCH:
MULCH FOR SHRUB, ORNAMENTAL GRASS AND PERENNIAL BEDS IS TO BE 1 1/2" ROUNDED RIVER ROCK, UNLESS OTHERWISE NOTED ON THE PLAN. MULCH FOR TREE BEDS IS TO BE BARK MULCH. PLACE SPECIFIED WEED BARRIER FABRIC UNDER ROCK MULCH. APPLY SPECIFIED PRE-EMERGENT HERBICIDE UNDER THE FABRIC AND ROCK MULCH. PLACE ROCK MULCH A MINIMUM OF THREE INCHES (3") DEEP. PLACE BARK MULCH A MINIMUM OF THREE INCHES (3") DEEP IN ALL AREAS.

4. IRRIGATION:
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL TURF AREAS LESS THAN 25' IN WIDTH SHALL HAVE A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP SYSTEM PROVIDING HEAD TO HEAD COVERAGE. POP-UP HEADS, ALL TURF AND SHRUB BEDS SHALL BE ZONED SEPARATELY. OPERATION AND MAINTENANCE OF THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS FOUND IN THE TOWN OF CASTLE ROCK WATER CONSERVATION REGULATIONS.

5. MAINTENANCE:
LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN, AND HEALTHY CONDITION. THIS SHALL INCLUDE PROPER PRUNING, MOWING OF LAWNS, WEEDING, REMOVAL OF LITTER, AND THE REGULAR WATERING OF ALL PLANT MATERIAL. SHOULD ANY PLANT MATERIALS DIE IT IS THE RESPONSIBILITY OF THE OWNERS REPRESENTATIVE TO REPLACE IT WITHIN ONE PLANTING SEASON AND IN CONFORMANCE WITH THE LANDSCAPE REQUIREMENTS SET FORTH BY THIS PLAN OR ALTERNATIVE MATERIAL ACCEPTABLE TO THE OWNERS REPRESENTATIVE.

LEGEND

STEEL EDGER		RIPARIAN GRASS SEED with supplemental irrigation
FESCUE TURF SOD fully irrigated		WETLAND GRASS SEED non-irrigated
DRYLAND GRASS SEED with supplemental irrigation		WITH see plant list

**VICINITY MAP**

1" = 2000'

PLANT LIST

QUAN.	SYL.	COMMON/BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES				
6	APA	AUTUMN PURPLE ASH <i>Fraxinus americana</i> 'Autumn Purple'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
42	PA	PATMORE ASH <i>Fraxinus pennsylvanica</i> 'Patmore'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
5	GSL	GREENSPIRE LINDEN <i>Tilia cordata</i> 'Greenspire'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
7	LLC	LANCELEAF COTONWOOD <i>Populus x acuminata</i>	2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
ORNAMENTAL TREES				
14	AM	AMUR MAPLE <i>Acer ginnala</i>	6' CLUMP	3 STEM MIN, B4B SPECIMEN QUALITY
0	SB5	SHADBLow SERVICEBERRY <i>Amelanchier canadensis</i>	6' CLUMP	3 STEM MIN, B4B SPECIMEN QUALITY
6	TCH	THORNLESS COCKSPUR <i>Crataegus crus-galli</i> 'Inermis'	1 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
12	SSC	SPRING SNOW CRABAPPLE <i>Malus</i> 'Spring Snow'	1 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
6	CP	CHANTICLEER FEAR <i>Pyrus calleryana</i> 'Chanticleer'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
EVERGREEN TREES				
27	AP	AUSTRIAN PINE <i>Pinus nigra</i>	6'-10' HT. SEE PLAN	FULL FORM, B4B, GUYED SPECIMEN QUALITY
4	CB5	COLORADO BLUE SPRUCE <i>Picea pungens</i>	6'-10' HT. SEE PLAN	FULL FORM, B4B, GUYED SPECIMEN QUALITY
SHRUBS				
21	TJ	TAMMY JUNIPER <i>Juniperus sabina</i> 'Tamariscifolia'	5 GAL. 18"-24" SPRD.	SPACING 48" O.C.
18	BJ	BUFFALO JUNIPER <i>Juniperus sabina</i> 'Buffalo'	5 GAL. 18"-24" SPRD.	SPACING 48" O.C.
62	BCJ	BLUE CHIP JUNIPER <i>Juniperus horizontalis</i> 'Blue Chip'	5 GAL. 18"-24" SPRD.	SPACING 6' O.C.
25	BB	BURNING BUSH <i>Euonymus alata</i>	5 GAL. 18"-24" HT.	SPACING 8' O.C. 5 CANES MIN.
11	BW	DWARF ARCTIC BLUE WILLOW <i>Salix purpurea</i> 'Nana'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES MIN.
44	SC	SPREADING COTONEASTER <i>Cotoneaster divaricatus</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C.
35	MAR	MEIDLAND ALBA ROSE <i>Rosa x Meiland Alba</i>	5 GAL. 18"-24" HT.	5 CANES MIN. SPACING 48" O.C.
28	MSR	MEIDLAND SCARLET ROSE <i>Rosa x Meiland Scarlet</i>	5 GAL. 18"-24" HT.	5 CANES MIN. SPACING 48" O.C.
23	KDP	KATHRYN DYKES POTENTILLA <i>Potentilla</i> 'Kathryn Dykes'	5 GAL. 18"-24" SPRD.	SPACING 36" O.C. 5 CANES MIN.
10	AJ	ARMSTRONG JUNIPER <i>Juniperus chinensis</i> 'Armstrong'	5 GAL. 18"-24" SPRD.	SPACING 60" O.C.
5	WSC	WESTERN SAND CHERRY <i>Prunus besseyi</i>	5 GAL. 18"-24" HT.	SPACING 60" O.C. 5 CANES MIN.
5	SJ	SKYROCKET JUNIPER <i>Juniperus scopulorum</i> 'Skyrocket'	5 GAL. 30" HT.	SPACING 60" O.C. 5 CANES MIN.
SPREADING GROUND COVER				
18	WTH	WOOLLY THYME <i>Thymus praecox</i> 'Pseudolanuginosus'	1 GAL. ESTABLISHED	SPACING 14" O.C. 5 CANES MIN.

NOTE: IF QUANTITIES LISTED IN SCHEDULE DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.

RIPARIAN SEED MIX

(SUPPLEMENTAL IRRIGATION)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 16.8 LBS. PLG/ACRE; DRILL SEED
ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

1.3 LBS SHEEP FESCUE

7.9 LBS STREAMBANK WHEATGRASS

0.5 LBS ALKALI SACATON

5.5 LBS SLENDER WHEATGRASS

0.3 LBS CANADIAN BLUEGRASS

1.3 LBS SWITCH GRASS

WETLAND SEED MIX

(NON-IRRIGATED)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 12.4 LBS. PLG/ACRE; DRILL SEED
ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

0.1 LBS REDTOP

2.2 LBS SWITCHGRASS

7.9 LBS WESTERN OR STREAMBANK WHEATGRASS

1.0 LBS INLAND SALTGRASS

0.1 LBS WOOLY SEDGE

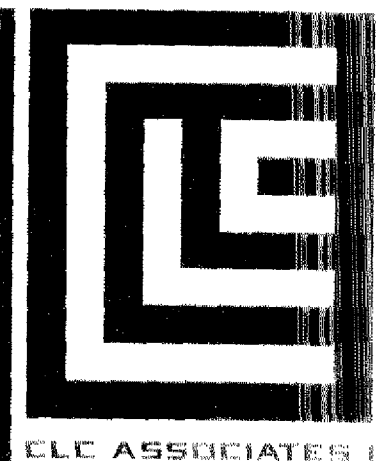
0.1 LBS BAL TIC BUSH

1.0 PRAIRIE CORDGRASS

LANDSCAPE CALCULATIONS

AREAS	REQUIRED SQUARE FOOTAGE	PROPOSED SQUARE FOOTAGE	FORMULA	QUANTITY REQUIRED ON SITE	QUANTITY PROVIDED ON SITE	QUANTITY PROVIDED OFF SITE
LOT 3 GROSS SITE	N/A	356,210 SF.	N/A	N/A	N/A	N/A
PARKING AREA	N/A	110,451 SF.	N/A	N/A	N/A	N/A
PARKING LANDSCAPE	12,480 SF. 10%	18,910 SF. 17%	2 TREES/1,000 SF. 4 SHRUBS/1,000 SF.	20 TREES 16 SHRUBS	24 TREES 357 SHRUBS	N/A
TOTAL LANDSCAPE	31,060 SF. 10%	64,482 SF. 18%	2 TREES/1,000 SF. 4 SHRUBS/1,000 SF.	120 TREES 293 SHRUBS	129 TREES 497 SHRUBS	9 TREES 22 SHRUBS
ROCK MULCH	N/A	15,500 SF. 25%	N/A	N/A	N/A	N/A
IRRIGATED SOD	N/A	33,610 SF. 53%	N/A	N/A	N/A	N/A
DRYLAND SEED	N/A	2,750 SF. 4%	N/A	N/A	N/A	N/A
RIPARIAN SEED	N/A	10,000 SF. 16%	N/A	N/A	N/A	N/A
WETLAND SEED	N/A	1200 SF. 2%	N/A	N/A	N/A	N/A

SEE SHEET LP4 FOR PLANT DETAILS



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ARCHITECTURAL
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE: 07/08/03
DESCRIPTION: INITIAL ACCEPTANCE

PROJECT #: 99.135
DRAWN BY: SEW
DESIGNED BY: SEW
CHECKED BY: KDP

FOR
REFERENCE
ONLY
8 OF 11
LP2
TOWN OF CASTLE ROCK
PROJECT NUMBER: 03.00.00

LANDSCAPE PLAN

Drawing Name: C:\2023\202324149 - TRT 26528 - Castle Rock, CO - Milestone Lndwg\202324149 - Castle Rock, CO - Site Development Plan.dwg
March 27, 2025 9:51 AM - R:\margad

GENERAL SHEET NOTES

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.

PLAN KEYNOTES

- ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE LANDSCAPE NOTES THIS PAGE FOR SODDING SPECIFICATIONS.
- PROPOSED EVERGREEN SHRUBS (TYPICAL OF 6) JUNIPERUS SCOPULORUM 'SKYROCKET' SHRUB SPECIES. MINIMUM PLANT SIZE TO BE 36" HEIGHT, NO. 5 CONTAINER.
- PROPOSED SHRUBS (TYPICAL OF 3) POTENTILLA 'KATHRYN DYKES' SHRUB SPECIES TO MATCH EXISTING ON-SITE. CONTRACTOR TO COORDINATE PLANT SPECIES WITH OWNER. MINIMUM PLANT SIZE TO BE 24" HEIGHT, NO. 5 CONTAINER.
- PROPOSED ORNAMENTAL GRASSES (TYPICAL OF 8) CALAMAGROSTIS X ACUTIFOLIUS 'KARL FOERSTER' GRASS SPECIES. MINIMUM PLANT SIZE TO BE NO. 2 CONTAINER.
- PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 3) CRATAEGUS CRUS-GALLI 'INERMIS' MINIMUM PLANT SIZE TO BE 1.5" TRUNK DBH, FULL CROWN, B&B CONDITION.
- PROPOSED LANDSCAPE STONE.

LEGEND

PROPOSED EQUIPMENT CLEAR SPACE

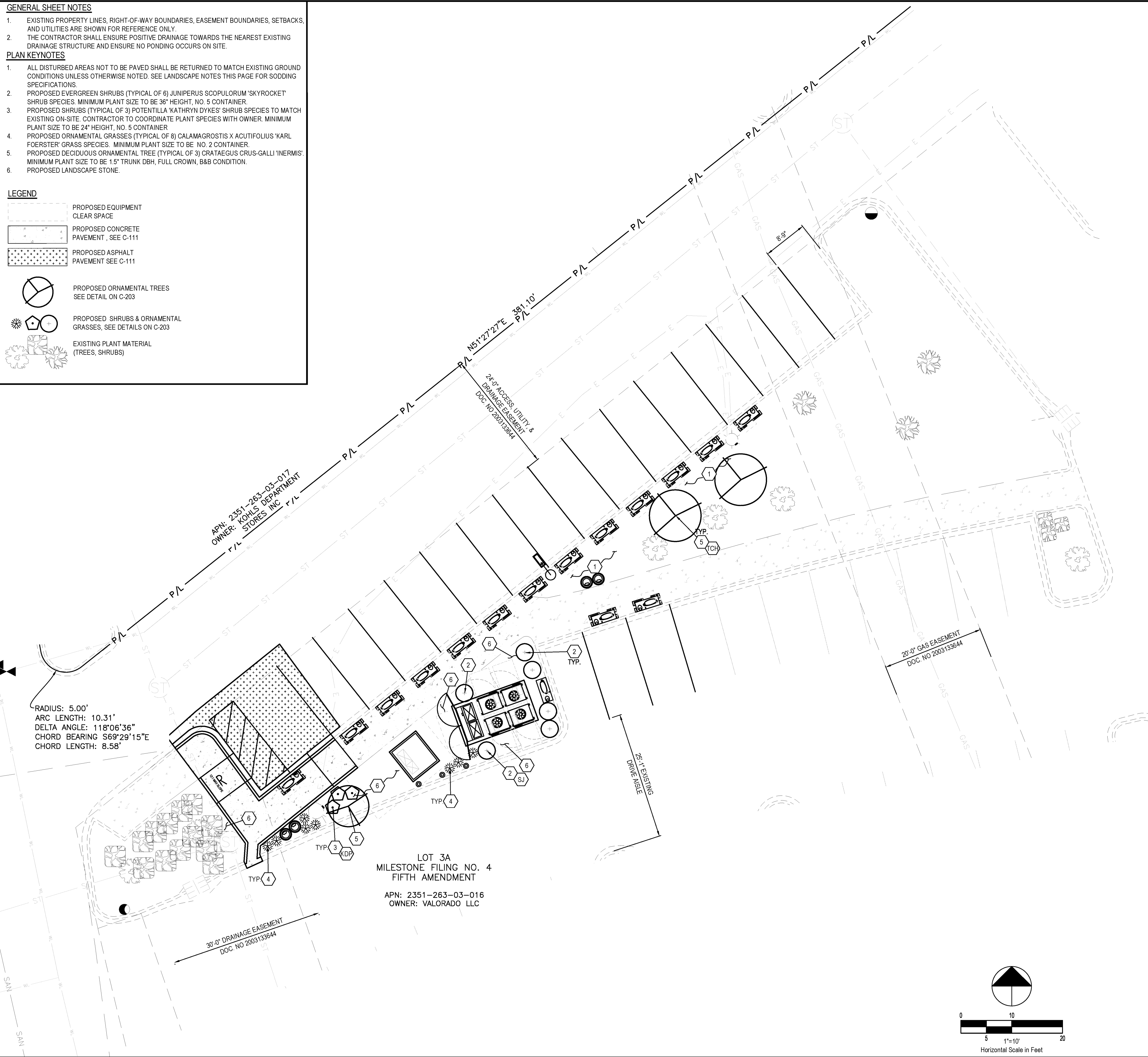
PROPOSED CONCRETE PAVEMENT, SEE C-111

PROPOSED ASPHALT PAVEMENT SEE C-111

PROPOSED ORNAMENTAL TREES SEE DETAIL ON C-203

PROPOSED SHRUBS & ORNAMENTAL GRASSES, SEE DETAILS ON C-203

EXISTING PLANT MATERIAL (TREES, SHRUBS)



LANDSCAPE NOTES

GENERAL

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANNING IN THE STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCE.
- PLANT GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.
- ALL DISTURBED AND PROPOSED LANDSCAPE PLANTING BED AREAS SHALL MATCH EXISTING GROUND CONDITIONS IN TYPE AND DEPTH UNLESS OTHERWISE STATED ON PLANS.
- IF NECESSARY, CONTRACTOR SHALL PRUNE EXISTING TREES TO MAINTAIN NECESSARY CLEARANCES, EQUIPMENT MANUFACTURER CLEARANCES, AND UTILITY REQUIRED CLEARANCES. CONTRACTOR SHALL MAKE TREE SHAPELY AND TYPICAL OF SPECIES PER ANSI A300 AND HORTICULTURAL STANDARDS.

MATERIALS

- LANDSCAPE STONE - CONTRACTOR SHALL MATCH EXISTING LANDSCAPE STONE IN TYPE, SIZE, COLOR, AND DEPTH PER PLAN.
- WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS UNDER LANDSCAPE STONE.
- PLANTING SOIL MIX - SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.
- TREES AND SHRUBS - CONTRACTOR TO SELECT TREE AND SHRUB SPECIES FROM THE TOWN OF CASTLE ROCK RECOMMENDED PLANT SPECIES LIST. PLANT SPECIES SHOULD BE DESIGNATED HYDROZONE 1-3, AND SELECTED TO MATCH EXISTING PLANT MATERIAL ON SITE. PLANT SPECIES TO BE COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.

SODDING

- SOD SHALL BE SELECTED PER HARDINESS ZONE AND MATCHED TO EXISTING SITE. SOD SHALL BE A FIRST GRADE CERTIFIED BLEND CONTAINING NO MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
- CONTRACTOR SHALL INSTALL APPROVED FESCUE BLEND, SELECTED TO MATCH EXISTING SOD ON SITE.
- CONTRACTOR SHALL INSTALL SOD PER INDUSTRY STANDARDS. ALL SODDED AREAS INCLUDING SUBGRADE, SHALL BE KEPT THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

MAINTENANCE

(MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. PLANTS SHALL BE KEPT DISEASE FREE. RESTORE PLANTING SAUCERS. RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND RESODDING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- REPLACE ANY REQUIRED PLANTING(S), WHICH ARE MORE 25% OR MORE DEAD AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

IRRIGATION

- IRRIGATION RELOCATION: CONTRACTOR SHALL VERIFY IF EXISTING IRRIGATION IS PRESENT, DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FIXTURE TYPES, AND POTENTIAL FOR EXPANSION. IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE THEN IT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA. IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPARATUS NEEDED FOR A COMPLETE IRRIGATION SYSTEM. IRRIGATED AREAS SHALL BE IRRIGATED BY SIMILAR EXISTING FIXTURES BY THE SAME SUPPLIER. CONTRACTOR SHALL ENSURE PAVEMENT AND PROPOSED EQUIPMENT WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES. SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE. PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO OWNER FOR APPROVAL. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

TOWN OF CASTLE ROCK LANDSCAPING NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATERUSE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WUMP.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ONSITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

GPD GROUP, INC.

520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
B	10/22/2024	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
C	01/29/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
D	03/20/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW

IVAN VALENTIC
1590
05/17/22
Original Date of License
LICENSED LANDSCAPE ARCHITECT
STATE OF COLORADO
04/01/25

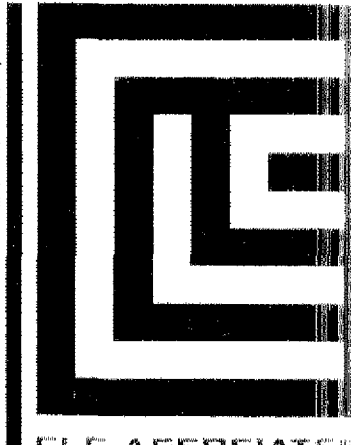
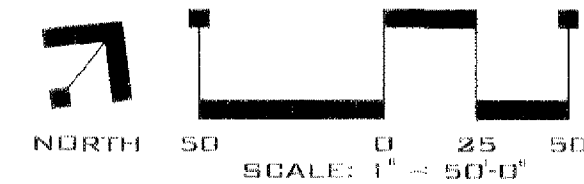
SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 FIFTH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

PROJECT MANAGER	DESIGNER
IM	JLC

JOB NO.
2023241.49

9 OF 11
L-101
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

FINAL PD SITE PLAN
MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A
A MINOR SITE PLAN AMENDMENT TO THE
MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN
PHOTOMETRIC PLAN



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ARCHITECTURE
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE: 07/26/23
DESCRIPTION: INITIAL ACCEPTANCE

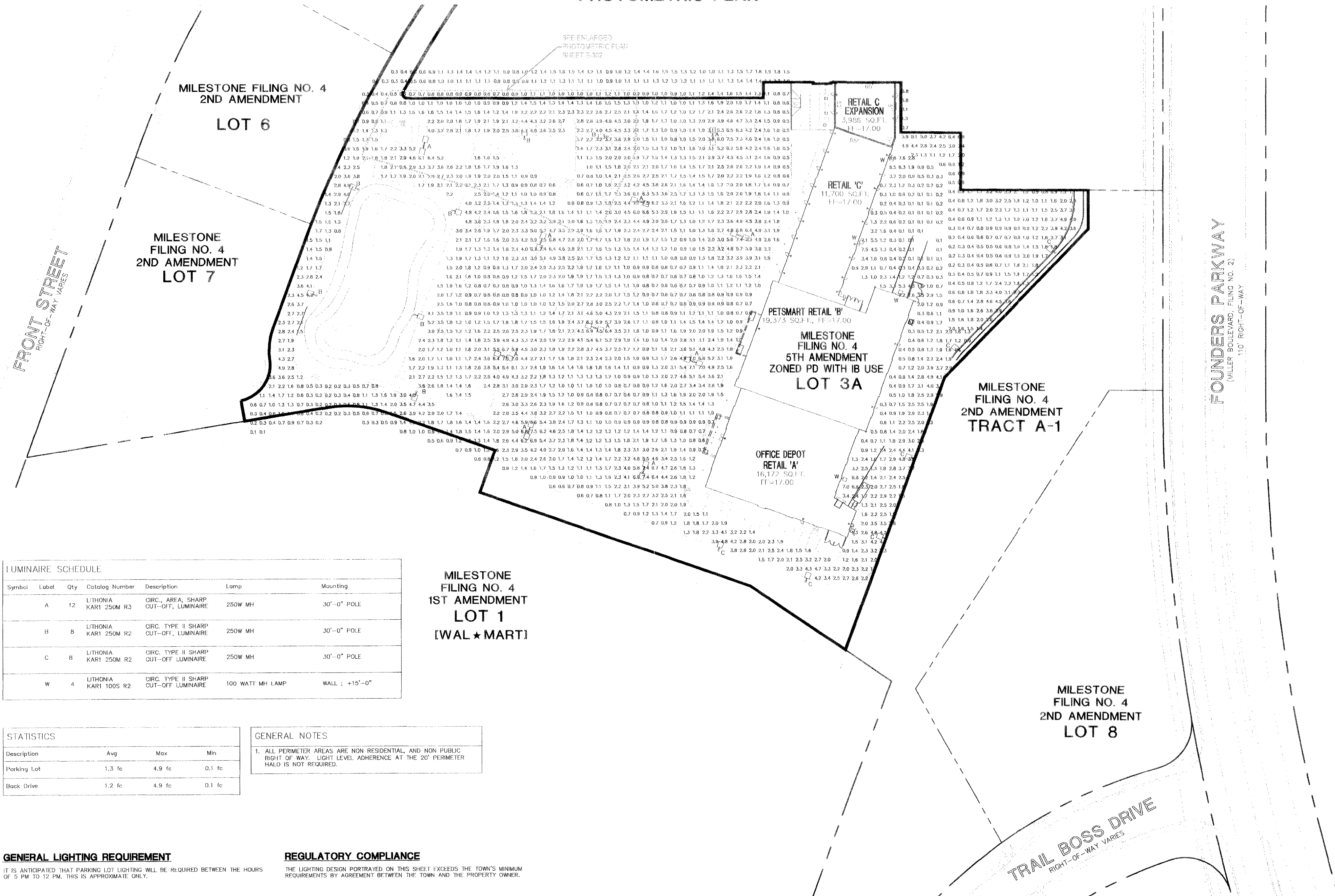
PROJECT #: 99.135
DRAWN BY: JLS
DESIGNED BY: JDT
CHECKED BY: JDT

FOR
REFERENCE
ONLY

16 OF 11

PH1

TOWN OF CASTLE ROCK
PROJECT NUMBER: E212-005



LUMINAIRE SCHEDULE					
Symbol	Label	Qty	Catalog Number	Description	Mounting
A	12	LITHONIA KAR1 250M R3	CIRC. AREA, SHARP CUT-OFF, LUMINAIRE	250W MH	30'-0" POLE
B	8	LITHONIA KAR1 250M R2	CIRC. TYPE II SHARP CUT-OFF, LUMINAIRE	250W MH	30'-0" POLE
C	8	LITHONIA KAR1 250M R2	CIRC. TYPE II SHARP CUT-OFF LUMINAIRE	250W MH	30'-0" POLE
W	4	LITHONIA KAR1 100S R2	CIRC. TYPE II SHARP CUT-OFF LUMINAIRE	100 WATT MH LAMP	WALL : +15'-0"

STATISTICS			
Description	Avg	Max	Min
Parking Lot	1.3 fc	4.9 fc	0.1 fc
Back Drive	1.2 fc	4.9 fc	0.1 fc

GENERAL NOTES
1. ALL PERIMETER AREAS ARE NON RESIDENTIAL, AND NON PUBLIC
RIGHT OF WAY. LIGHT LEVEL ADHERENCE AT THE 20' PERIMETER
HALO IS NOT REQUIRED.

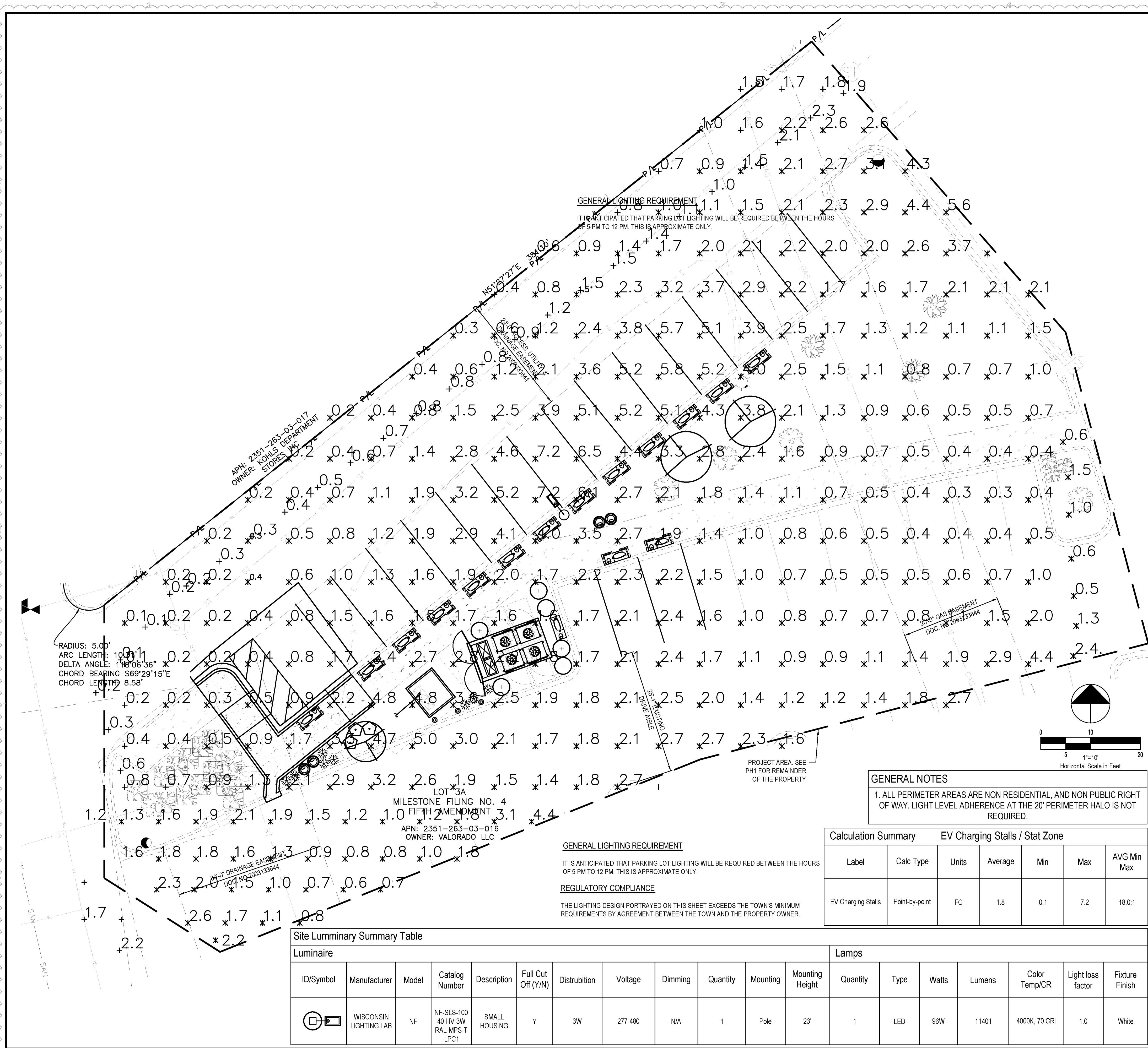
GENERAL LIGHTING REQUIREMENT

IT IS ANTICIPATED THAT PARKING LOT LIGHTING WILL BE REQUIRED BETWEEN THE HOURS
OF 5 PM TO 12 PM. THIS IS APPROXIMATE ONLY.

REGULATORY COMPLIANCE

THE LIGHTING DESIGN PORTRAYED ON THIS SHEET EXCEEDS THE TOWN'S MINIMUM
REQUIREMENTS BY AGREEMENT BETWEEN THE TOWN AND THE PROPERTY OWNER.

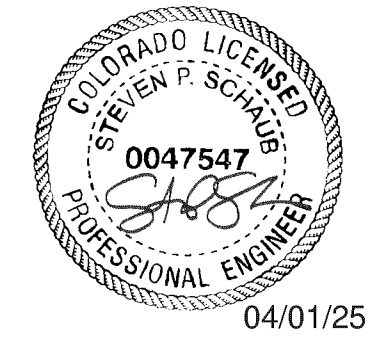
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- LIGHTING NOTES**
1. LIGHT LOSS FACTOR IS 1 (MUST BE SHOWN ON THE LUMINARY SUMMARY TABLE)
 2. LIST THE HOURS OF LIGHT OPERATION AND HOW THIS WILL BE ACHIEVED. CONTROL DESCRIPTIONS INCLUDING TYPE OF CONTROLS, THE LUMINARIES TO BE CONTROLLED BY EACH TYPE, AND CONTROL SCHEDULE. POST CURFEW CONTROL METHOD AND SCHEDULE MUST BE ADDRESSED IN THE PLAN. TESLA SITE WILL BE OPEN 24 HOURS A DAY. LIGHTING ACTIVATED VIA PHOTOCELL AND MOTION SENSORS FROM DUSK TO DAWN.
 3. DESCRIBE THE OBJECTIVE OF EACH AREA OF THE SITE FOR LIGHTING (DESCRIBE HOW THIS WILL BE ACCOMPLISHED.) LIGHTING TO ALLOW FOR OPERATION OF CHARGING EQUIPMENT WHEN THEIR IS NOT SUFFICIENT SUNLIGHT AND TO PROVIDE SECURITY & SAFETY AT NIGHT WHILE CHARGING OR IN THE AREA FOR CHARGING RELATED ACTIVITIES.
 4. DESCRIBE THE MITIGATION EFFORTS FOR NEIGHBORING PROPERTIES (DESCRIBE HOW THIS WILL BE ACCOMPLISHED.) LIGHT POLLUTION ON NEIGHBORING PROPERTIES WILL BE MITIGATED BY THE SELECTION OF THE LIGHT FIXTURE DISTRIBUTION.
 5. EXTERIOR LIGHTING FOR EGRESS TRAVEL (TO THE PUBLIC WAY OR EGRESS COURT) SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.
 6. FORWARD THROW LUMINARIES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS ARE PROHIBITED.



REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
B	10/22/2024	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
C	01/29/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
D	03/20/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW

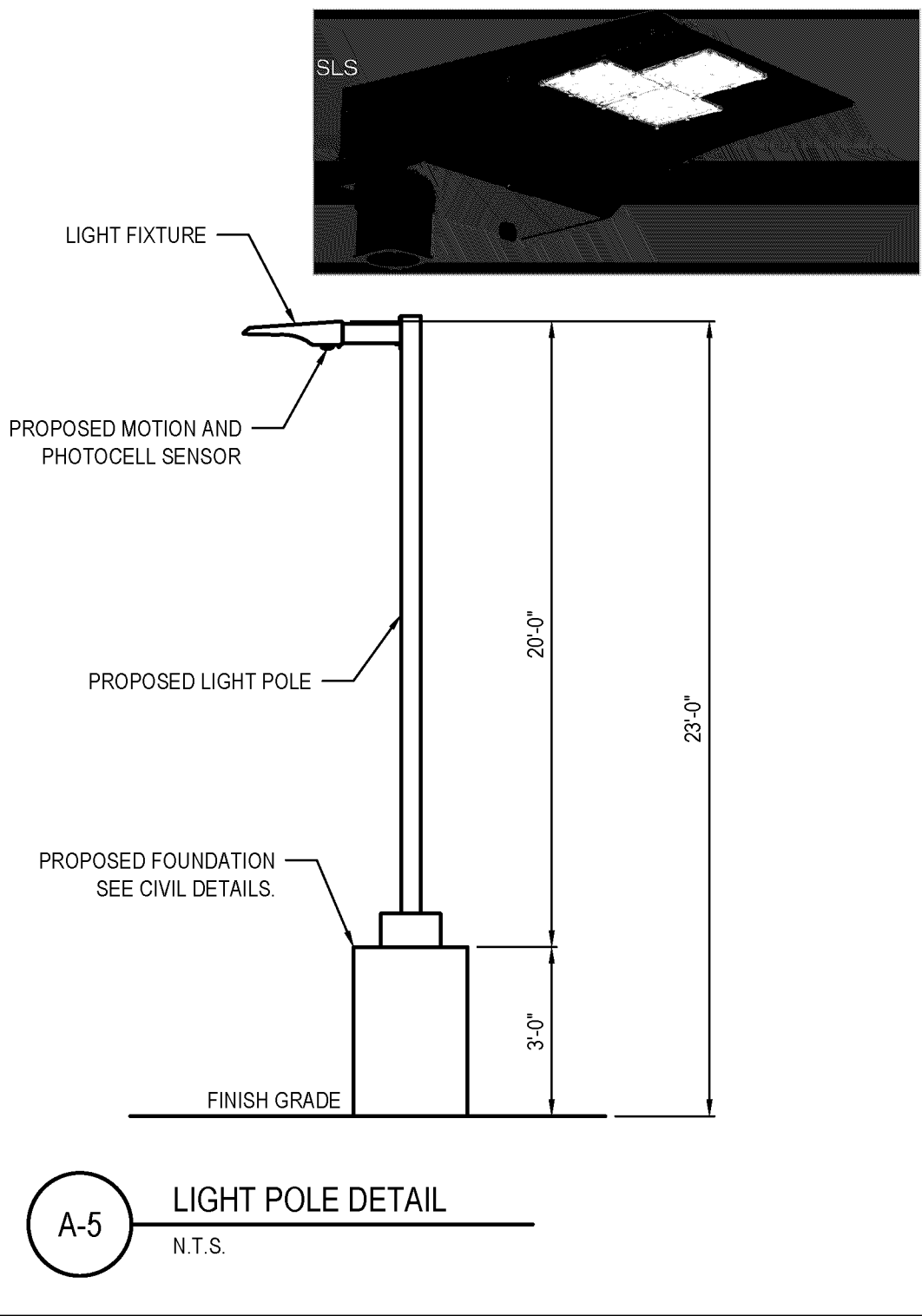


GENERAL NOTES

1. ALL PERIMETER AREAS ARE NON RESIDENTIAL, AND NON PUBLIC RIGHT OF WAY. LIGHT LEVEL ADHERENCE AT THE 20' PERIMETER HALO IS NOT REQUIRED.

Calculation Summary		EV Charging Stalls / Stat Zone					
Label	Calc Type	Units	Average	Min	Max	AVG Min	Max
EV Charging Stalls	Point-by-point	FC	1.8	0.1	7.2	18.0:1	

Site Luminary Summary Table												Lamps							
Luminaire																			
ID/Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp/CR	Light loss factor	Fixture Finish	
⊕	WISCONSIN LIGHTING LAB	NF	NF-SLS-100-40-HV-3W-RAL-MFS-T-LPC1	SMALL HOUSING	Y	3W	277-480	N/A	1	Pole	23'	1	LED	96W	11401	4000K, 70 CRI	1.0	White	



SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 FIFTH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

ENLARGED PHOTOMETRIC PLAN

PROJECT MANAGER	DESIGNER
IM	JLC

JOB NO.
202324149
11 OF 11
E-302
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045