

# SITE DEVELOPMENT PLAN

## MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3 FINAL PD SITE PLAN TOWN OF CASTLE ROCK PROJECT NUMBER SDP23-0045

### LEGAL DESCRIPTION

LOT 3A, MILESTONE FILING NO. 4, FIFTH AMENDMENT, RECORDED SEPTEMBER 5, 2023, UNDER RECEPTION NO. 2003133644, IN THE OFFICIAL RECORDS OF DOUGLAS COUNTY, COLORADO.

### SURVEYOR'S STATEMENT

(SPENCER J. BARRON), A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

SPENCER J. BARRON PLS 38141

### BENCHMARK

NAIL IN CONCRETE, AS SHOWN, IN THE SOUTH WEST CORNER ALONG MILESTONE LN. ELEV. 6203.72' (NAVD 88).

### BASICS OF BEARINGS

BEARINGS ARE BASED ON THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SECTION 26 ASSUMED TO BEAR NORTH 00°23'28" EAST BETWEEN THE MONUMENTS REFER TO THE FINAL PLAT.

### GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.3E AND 8.2.3A OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE LANDSCAPE AND IRRIGATION PLANS CONTAINED IN THE SITE DEVELOPMENT PLAN ARE CONCEPTUAL ONLY AND SUBJECT TO CHANGE WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- A NOTE REGARDING THE EXISTENCE OF ANY FEMA REGULATED FLOODPLAINS AND WETLANDS ON THE SITE [MODIFY AS APPROPRIATE].
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS CONCEPTUAL SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- THE PURPOSE AND USE OF ALL TRACTS, TO WHOM THE TRACTS WILL BE DEDICATED WITH THE PLAT AND WHO WILL BE RESPONSIBLE FOR MAINTENANCE IS SHOWN IN A TABLE ON THE SITE DEVELOPMENT PLAN.
- ALL UTILITY, DRAINAGE, EMERGENCY ACCESS, SIGHT DISTANCE AND PUBLIC ACCESS/TRAIL EASEMENTS AS SHOWN ON THE SITE DEVELOPMENT PLAN SHALL BE GRANTED TO THE TOWN OF CASTLE ROCK WITH THE PLAT.
- THE ZONING RECORDDATION INFORMATION, INCLUDING DATE AND RECEPTION NUMBER OR "THIS SITE IS ZONED PD WITH IB USE."
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.

### FLOOD PLAIN NOTES

THE SITE IS LOCATED IN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE MAP NUMBER 08035C0186G, EFFECTIVE DATE - 03/16/2016.

### LAND USE SUMMARY

ZONING PD WITH IB USE  
LOT 3A AREA 356,210 S.F. (8.18 AC.)  
BUILDING AREA COVERAGE 51,231 S.F.

### DEVELOPMENT STANDARDS - LOT 3A

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
LANDSCAPE AREA	37,069 S.F.	64,482 S.F.
BUILDING FOOTPRINTS	N/A	N/A
PARKING LOT AREA	N/A	N/A
SIDEWALK, STREETS, ETC	N/A	N/A
TOTAL PKG./HARDSCAPE AREA	N/A	N/A
MIN. BUILDING SETBACKS		
BUILDING FRONT (WEST)	N/A	485 FT (APPROX.)
BUILDING SIDE (NORTH)	N/A	0 FT (APPROX.)
BUILDING SIDE (SOUTH)	N/A	85 FT (APPROX.)
BUILDING REAR (EAST)	N/A	38 FT (APPROX.)
MAX. BUILDING HEIGHT	50 FEET - PERMITTED	30 FEET
OFF-STREET PARKING	4.0 SP/100 SF GFA	4.70 SP/100 SF GFA
STANDARD SPACES	205	224
ACCESSIBLE SPACES	7	7
EV SPACES	N/A	15
EV ACCESSIBLE SPACES	N/A	1
CROSS ACCESS SPACES	N/A	N/A
(NOT INCLUDED IN LOT 4 RATIO CALCULATION)		

### VICINITY MAP



### PROPERTY OWNER

VALORDO LLC  
CONTACT: TBD

### CIVIL, ELECTRICAL, ENGINEER

GPD GROUP, INC.  
520 SOUTH MAIN STREET, SUITE 2531  
AKRON, OH 44311

### UTILITY PROVIDERS

WATER	TOWN OF CASTLE ROCK
SEWER	TOWN OF CASTLE ROCK
GAS	AQUILA
ELECTRICITY	CORE ELECTRIC
TELEPHONE	QWEST COMMUNICATIONS
CATV	AT&T BROADBAND

### SHEET INDEX

CS1	1 OF 6	COVER SHEET
C-111	2 OF 6	ENLARGED CIVIL SITE PLAN
C-201-C-203	3-5 OF 6	CIVIL DETAILS
L-101	6 OF 6	ENLARGED LANDSCAPE PLAN

### TOWN APPROVAL

THIS WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES FOR THE TOWN OF CASTLE ROCK, COLORADO, ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

DIRECTOR OF DEVELOPMENT SERVICES \_\_\_\_\_ DATE \_\_\_\_\_

### TITLE CERTIFICATION

\_\_\_\_\_, (NAME-TBD), AN AUTHORIZED REPRESENTATIVE OF \_\_\_\_\_ (LAND TITLE GUARANTEE COMPANY) A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNER'S MORTGAGERS AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP.

AUTHORIZED REPRESENTATIVE \_\_\_\_\_

LAND TITLE GUARANTEE COMPANY \_\_\_\_\_

SIGNED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

### NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY \_\_\_\_\_ AS AUTHORIZED REPRESENTATIVE OF \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

### OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

VALORDO LLC

BY: \_\_\_\_\_

### NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

BY \_\_\_\_\_

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC \_\_\_\_\_

MY COMMISSION EXPIRES: \_\_\_\_\_

### CIVIL ENGINEER'S STATEMENT

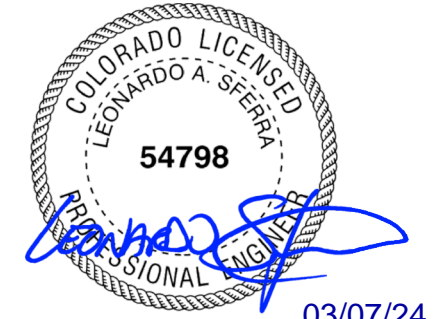
I, \_\_\_\_\_ (LEONARDO SFERRA), BEING A REGISTERED LICENSED ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS WITHIN OUR SCOPE OF WORK IDENTIFIED ON THIS MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A HAVE BEEN DESIGNED AND ENGINEERED IN GENERAL CONFORMANCE WITH ALL APPLICABLE TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

LEONARDO SFERRA \_\_\_\_\_ DATE \_\_\_\_\_



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



03/07/24

SITE DEVELOPMENT PLAN  
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT 3A  
4612 MILESTONE LN, CASTLE ROCK, CO 80104

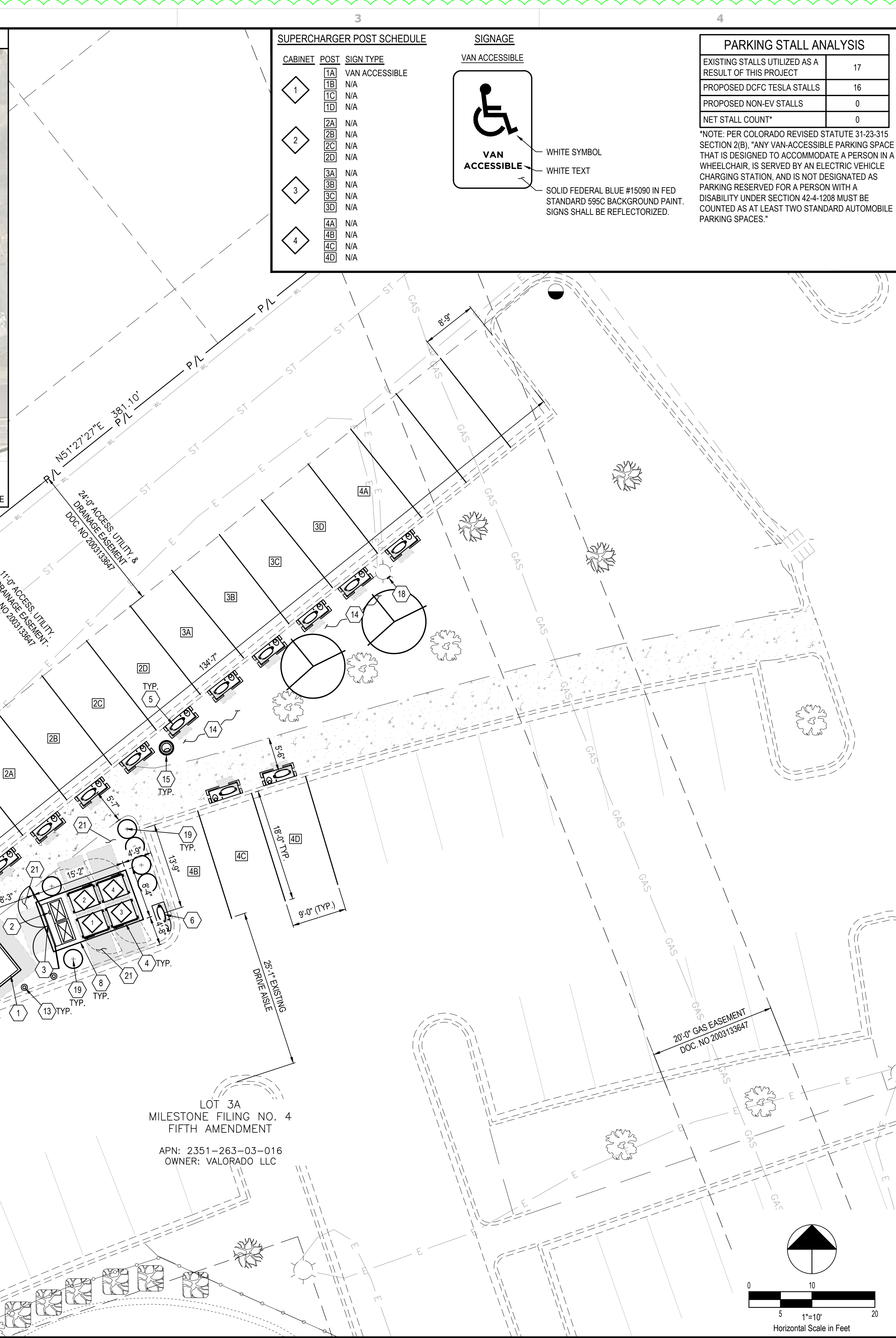
SDP COVER SHEET

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.  
**2023241.49**

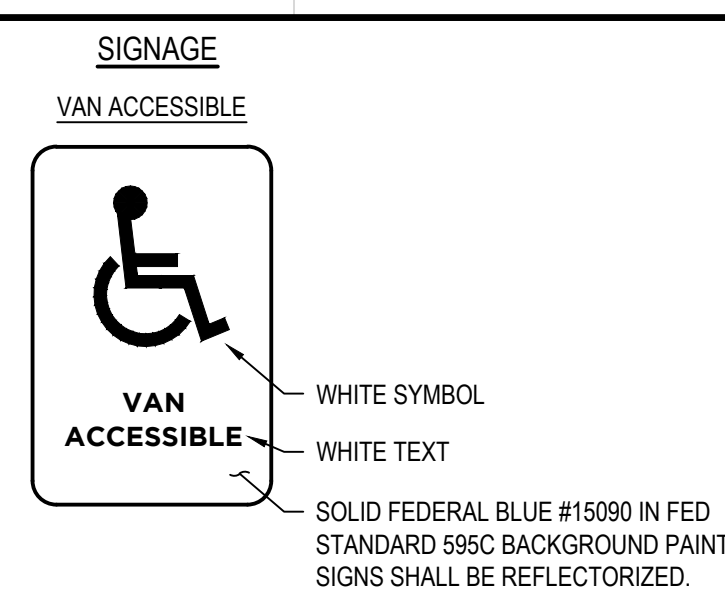
1 OF 6  
**CS1**

TOWN OF CASTLE ROCK  
PROJECT NUMBER SDP23-0045



**SUPERCHARGER POST SCHEDULE**

CABINET	POST	SIGN TYPE
1	1A	VAN ACCESSIBLE
	1B	N/A
	1C	N/A
	1D	N/A
2	2A	N/A
	2B	N/A
	2C	N/A
	2D	N/A
3	3A	N/A
	3B	N/A
	3C	N/A
	3D	N/A
4	4A	N/A
	4B	N/A
	4C	N/A
	4D	N/A



**PARKING STALL ANALYSIS**

EXISTING STALLS UTILIZED AS A RESULT OF THIS PROJECT	17
PROPOSED DCFC TESLA STALLS	16
PROPOSED NON-EV STALLS	0
NET STALL COUNT*	0

\*NOTE: PER COLORADO REVISED STATUTE 31-23-315 SECTION 2(B), "ANY VAN-ACCESSIBLE PARKING SPACE THAT IS DESIGNED TO ACCOMMODATE A PERSON IN A WHEELCHAIR, IS SERVED BY AN ELECTRIC VEHICLE CHARGING STATION, AND IS NOT DESIGNATED AS PARKING RESERVED FOR A PERSON WITH A DISABILITY UNDER SECTION 42-4-1208 MUST BE COUNTED AS AT LEAST TWO STANDARD AUTOMOBILE PARKING SPACES."

- GENERAL SHEET NOTES**
- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
  - CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING, APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
  - APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.
  - CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SLOPES AND GRADES PRIOR TO CONSTRUCTION. FINAL GRADES SHALL BE DETERMINED IN FIELD BY THE CONTRACTOR AND APPROVED BY THE CONSTRUCTION MANAGER.
  - THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.
  - CONTRACTOR SHALL ENSURE SLOPES OF PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S) ARE COMPLIANT WITH NATIONAL ADA STANDARDS. NO SLOPE SHALL EXCEED 2% IN ANY DIRECTION WITHIN PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S). CONTRACTOR SHALL REMOVE AND REGRADE AREA(S) AS REQUIRED TO ACHIEVE NECESSARY SLOPES. CONTRACTOR SHALL INSTALL FINAL PAVEMENT MARKINGS IN ACCORDANCE WITH THE CURRENT AHJ'S REGULATIONS.

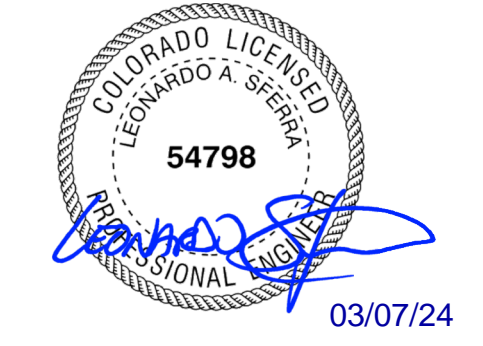
- PLAN KEYNOTES**
- PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY.
  - PROPOSED UTILITY METER AND CT CABINET MOUNTED IN SWITCHGEAR PER ELECTRIC COMPANY SPECIFICATIONS.
  - PROPOSED SWITCHGEAR ASSEMBLY WITH INTEGRATED TESLA SITE CONTROLLER AND PRIMARY BROADCAST UNIT PER ELECTRICAL DRAWINGS. SEE CIVIL DETAILS FOR ANCHORAGE.
  - PROPOSED TESLA SUPERCHARGER CABINET (TYPICAL OF 4). SEE CIVIL DETAILS.
  - PROPOSED TESLA SUPERCHARGER POST WITH INDIVIDUAL PRECAST CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 15). SEE CIVIL DETAILS.
  - PROPOSED TESLA SUPERCHARGER POST WITH CAST-IN-PLACE CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 1). SEE CIVIL DETAILS.
  - PROPOSED NON-ILLUMINATED PARKING SIGN (TYPICAL OF 1). SEE CIVIL DETAILS. SEE SUPERCHARGER POST SCHEDULE. THIS SHEET. MOUNT SIGN POST IN BOLLARD AS NOTED. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT SIGN TO LIGHT POLE IN LIEU OF POST AND/OR BOLLARD.
  - PROPOSED CONCRETE EQUIPMENT PAD. SEE CIVIL DETAILS.
  - PROPOSED PAINTED 4" WIDE SOLID STRIPE TO MATCH EXISTING STRIPING IN COLOR.
  - PROPOSED PAINTED 4" WIDE TRANSVERSE STRIPING TO MATCH EXISTING STRIPING IN COLOR. STRIPING SHALL BE 3'-0" O.C. SEE CIVIL DETAILS.
  - PROPOSED 6" CONCRETE CURB TO MATCH EXISTING. SEE CIVIL DETAILS.
  - PROPOSED FLUSH CONCRETE CURB WITH GUTTER. SEE CIVIL DETAILS.
  - PROPOSED CRASH CORE DETERRENT BOLLARD (TYPICAL OF 3). SEE CIVIL DETAILS.
  - ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE SHEET L-101.
  - PROPOSED TRASH CAN (TYPICAL OF 2). SEE CIVIL DETAILS.
  - PROPOSED INTEGRATED CONCRETE RAMP (TYPICAL 2). SEE CIVIL DETAILS.
  - PROPOSED FLUSH TO PAVEMENT CONCRETE WALK. SEE CIVIL DETAILS.
  - PROPOSED WIRELESS ACCESS POINT (TYPICAL OF 2). MOUNT PER MANUFACTURER'S SPECIFICATIONS AT MINIMUM 10'-0" ABOVE GRADE. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT TO EXISTING LIGHT POLE.
  - PROPOSED SHRUBS (TYPICAL OF 6). SEE SHEET L-101.
  - PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 3). SEE SHEET L-101.
  - PROPOSED LANDSCAPE STONE. SEE SHEET L-101.

**LEGEND**

	PROPOSED EQUIPMENT CLEAR SPACE
	PROPOSED CONCRETE PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED.
	PROPOSED ASPHALT PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED.
	EX. PROPERTY LINE
	EX. FENCING
	EX. UG ELECTRICAL LINE
	EX. OH ELECTRICAL LINE
	EX. UG FIBER LINE
	EX. UG GAS LINE
	EX. UG SANITARY SEWER LINE
	EX. UG STORM SEWER LINE
	EX. TELEPHONE LINE
	EX. UG WATER LINE



REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



**SITE DEVELOPMENT PLAN**  
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT 3A  
4612 MILESTONE LN, CASTLE ROCK, CO 80104

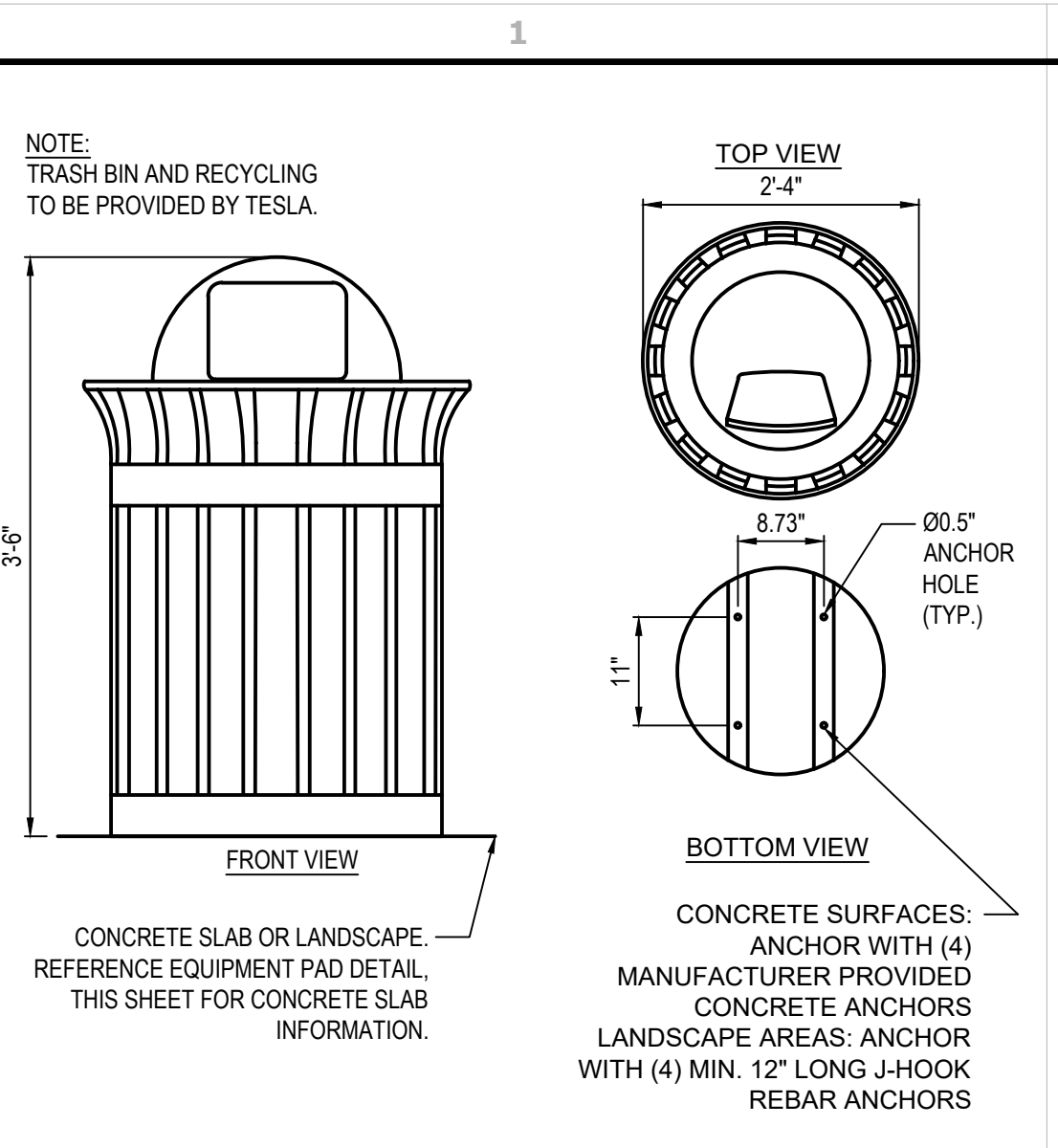
**ENLARGED CIVIL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	MAM

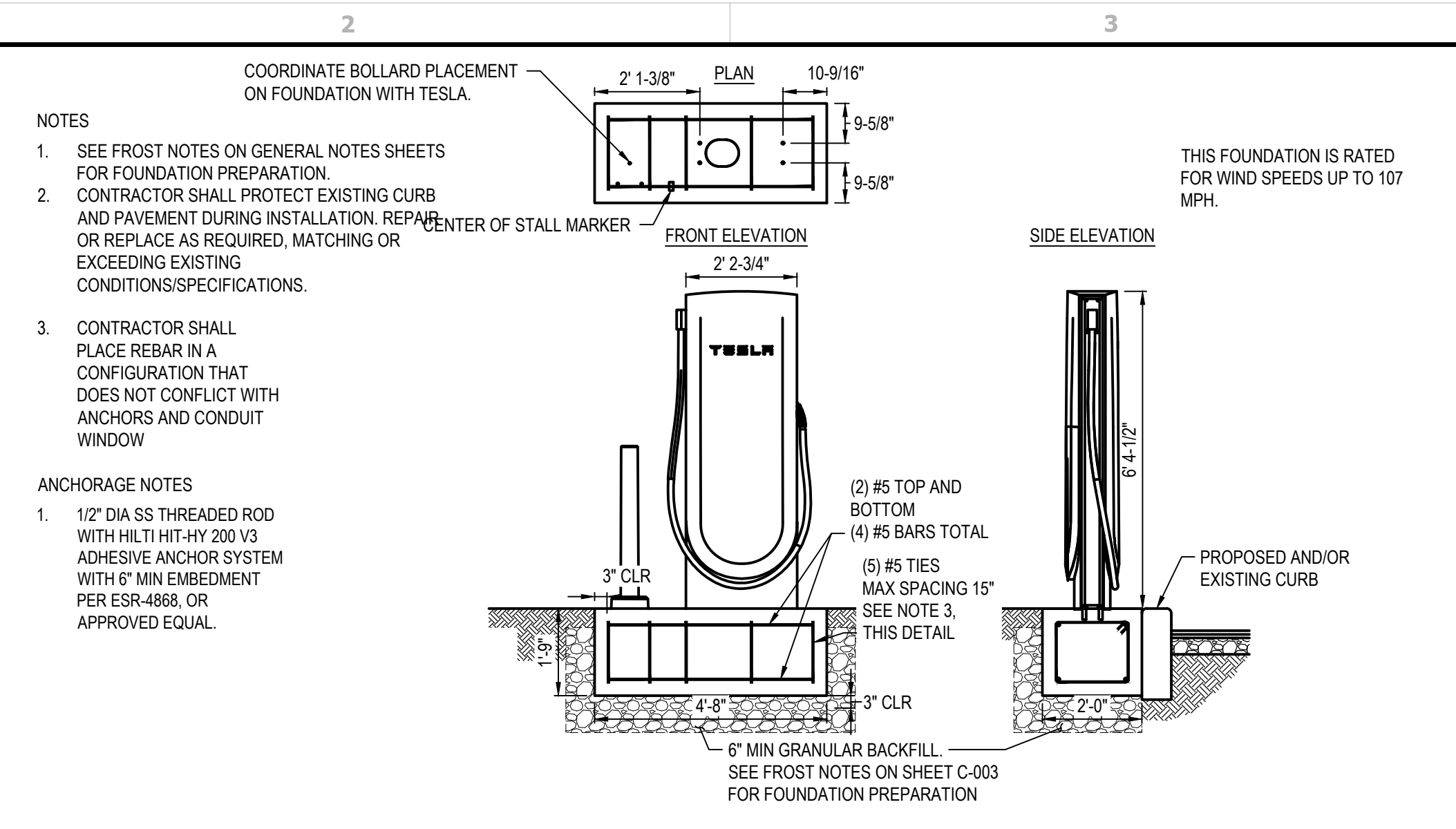
JOB NO.  
**2023241.49**

2 OF 6  
**C-111**  
TOWN OF CASTLE ROCK  
PROJECT NUMBER SDP23-0045

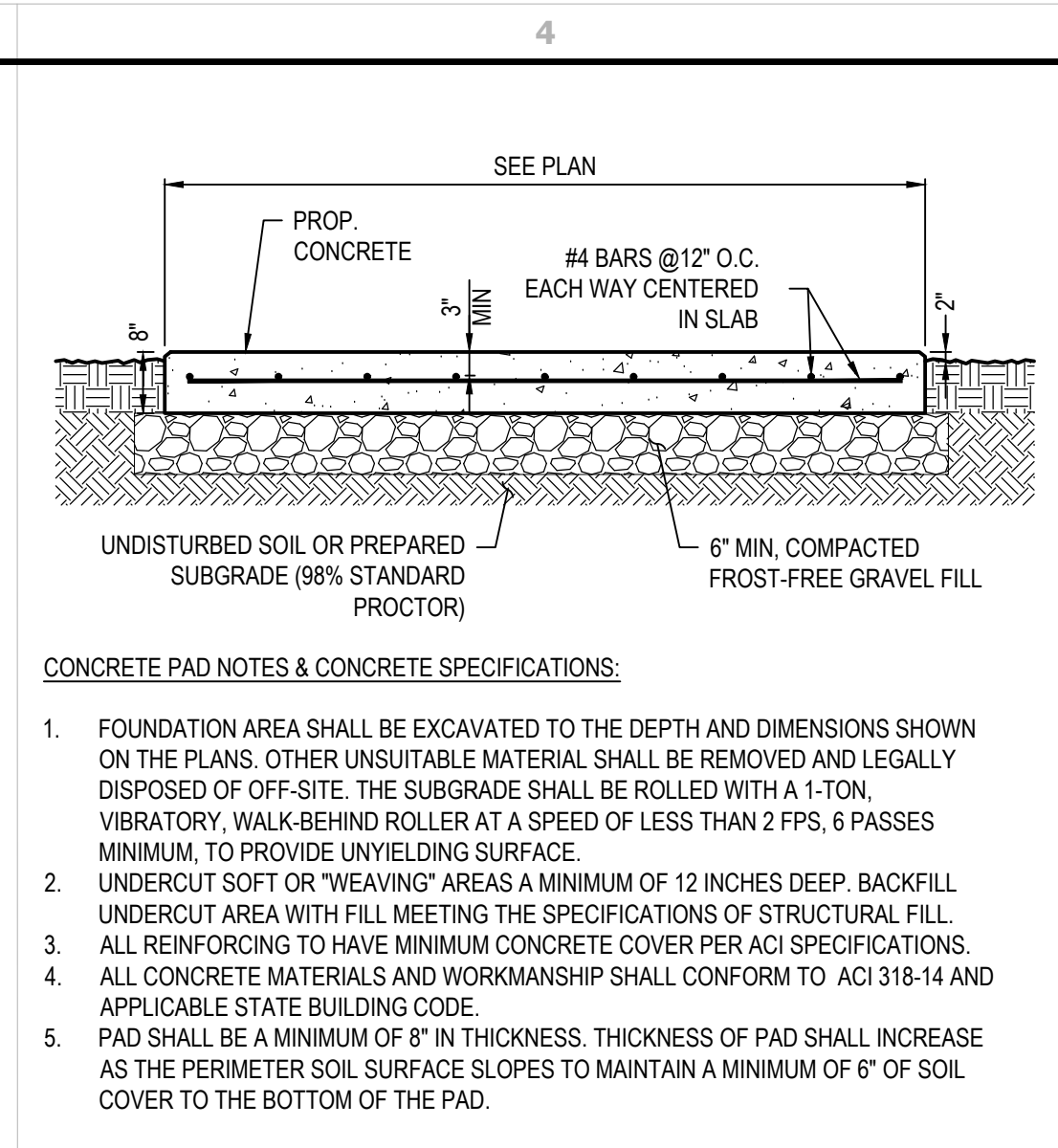
Drawing Name: C:\2023\202324149 - TRT 26628 - Castle Rock, CO - Milestone Filing\202324149 - Castle Rock, CO - Site Development Planning March 17, 2024 2:19 PM - D:\m...



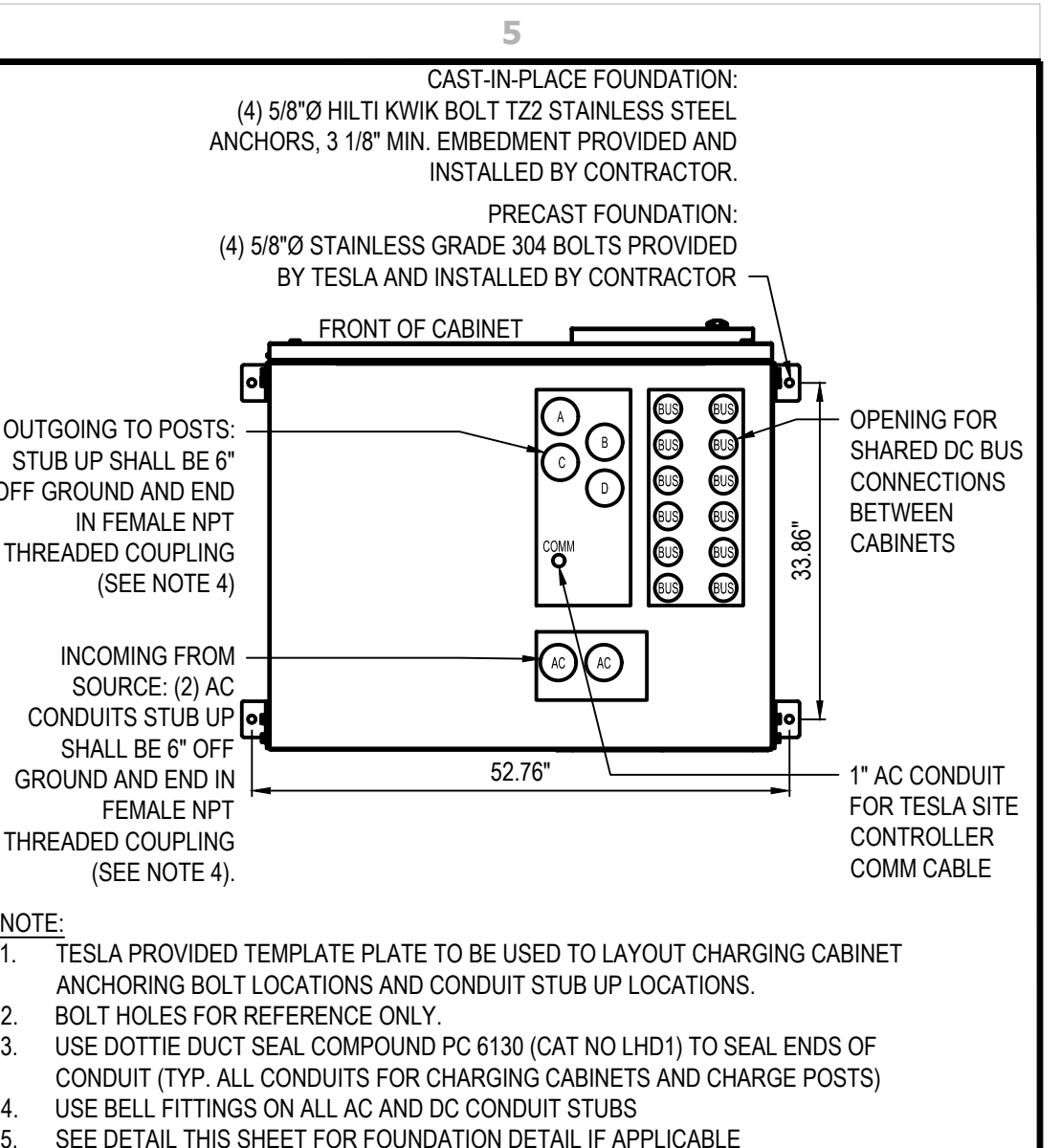
**C-1 TRASH CAN**  
N.T.S.



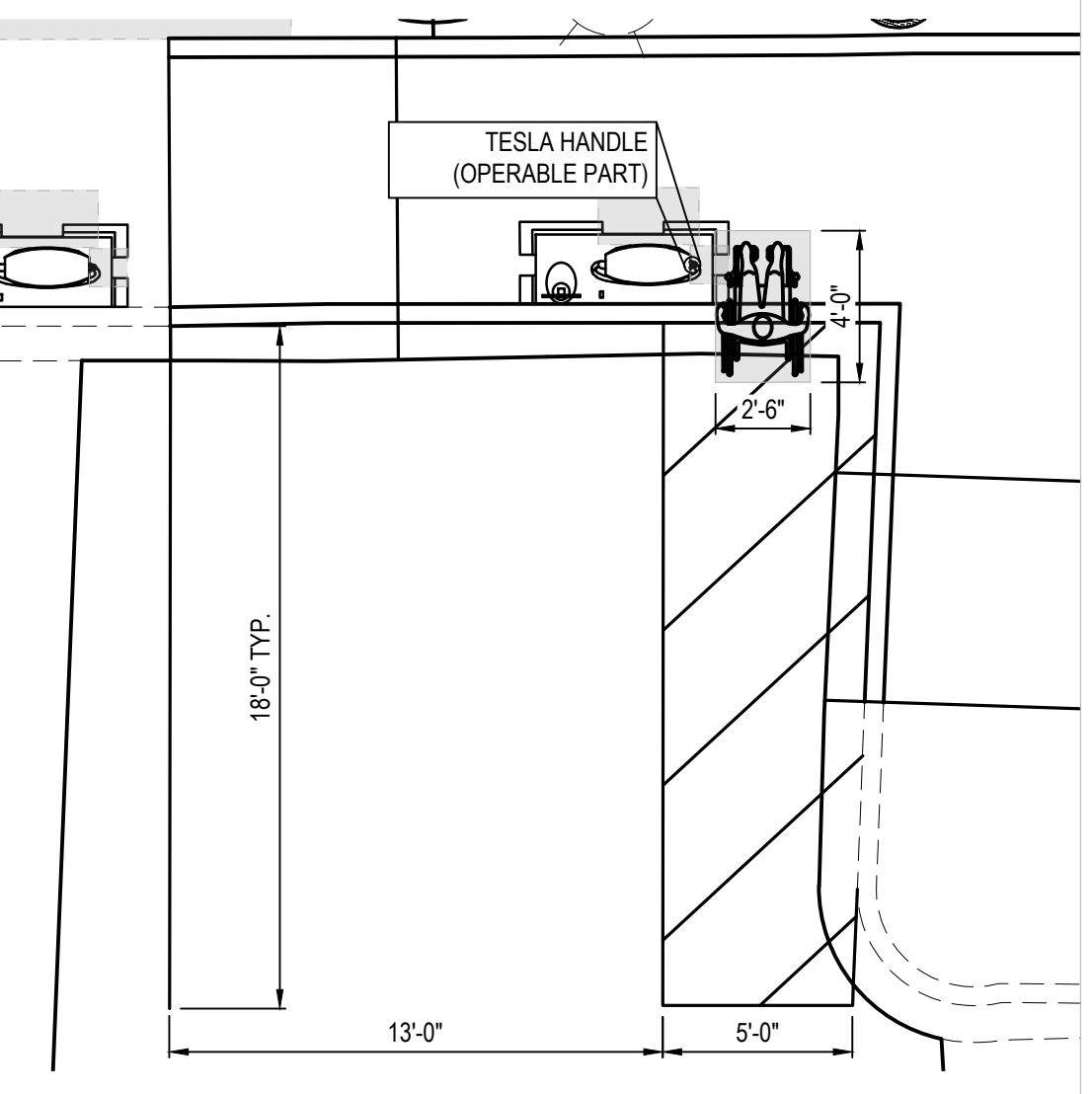
**C-2 TESLA SUPERCHARGER CAST-IN-PLACE FOUNDATION**  
N.T.S.



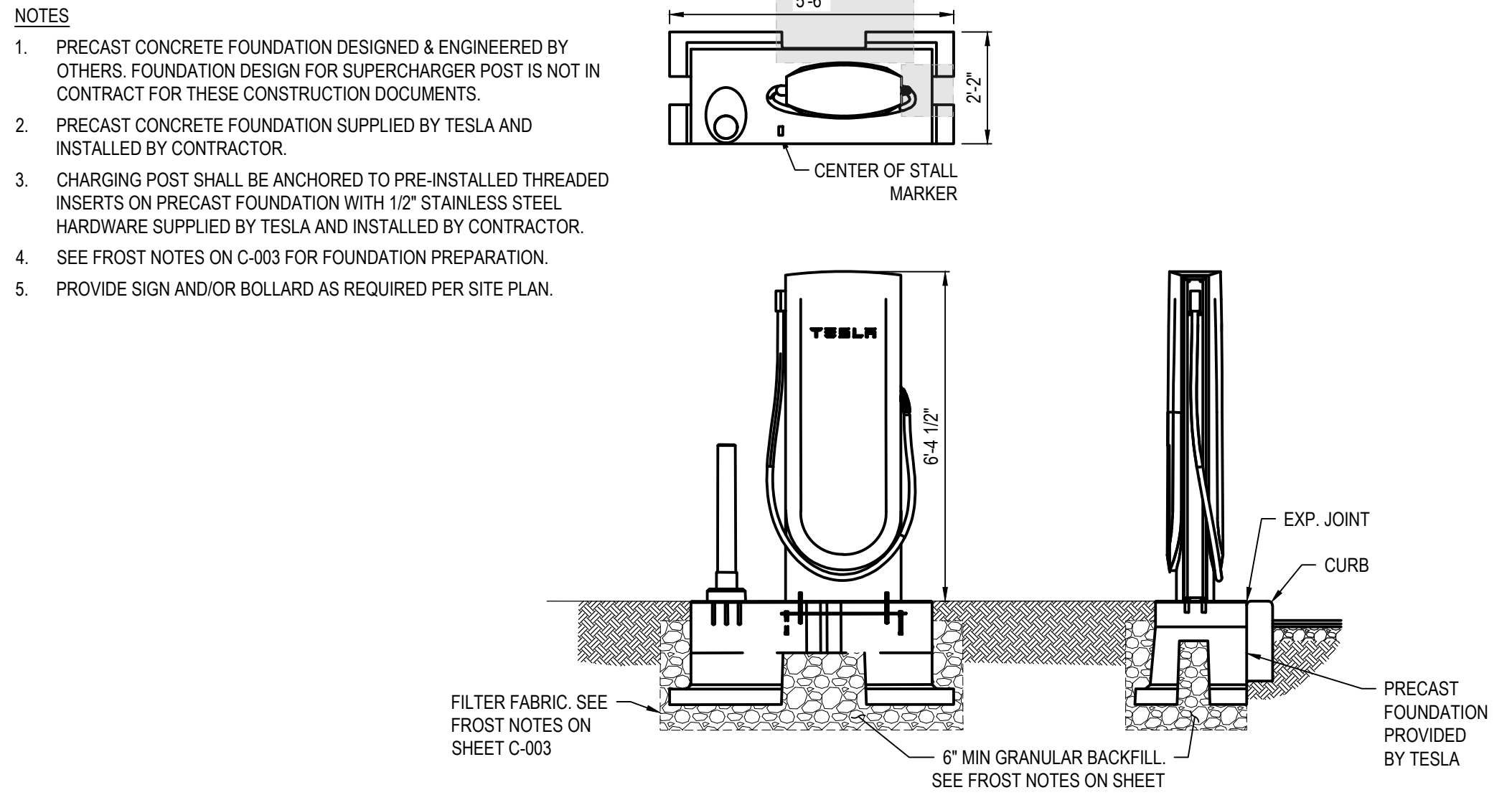
**C-4 EQUIPMENT PAD**  
N.T.S.



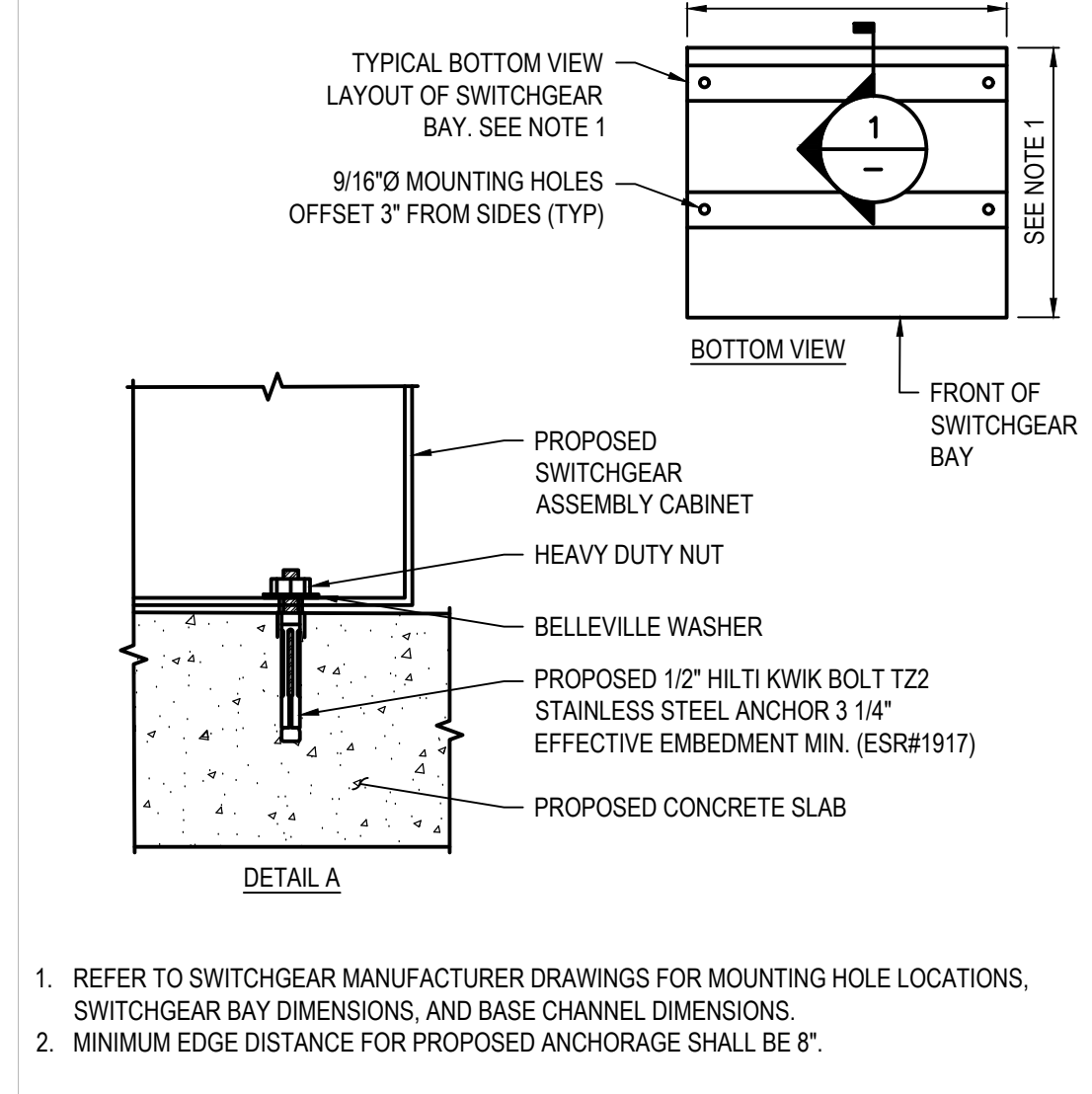
**C-5 TESLA SUPERCHARGER CABINET ANCHOR BOLT PLAN**  
N.T.S.



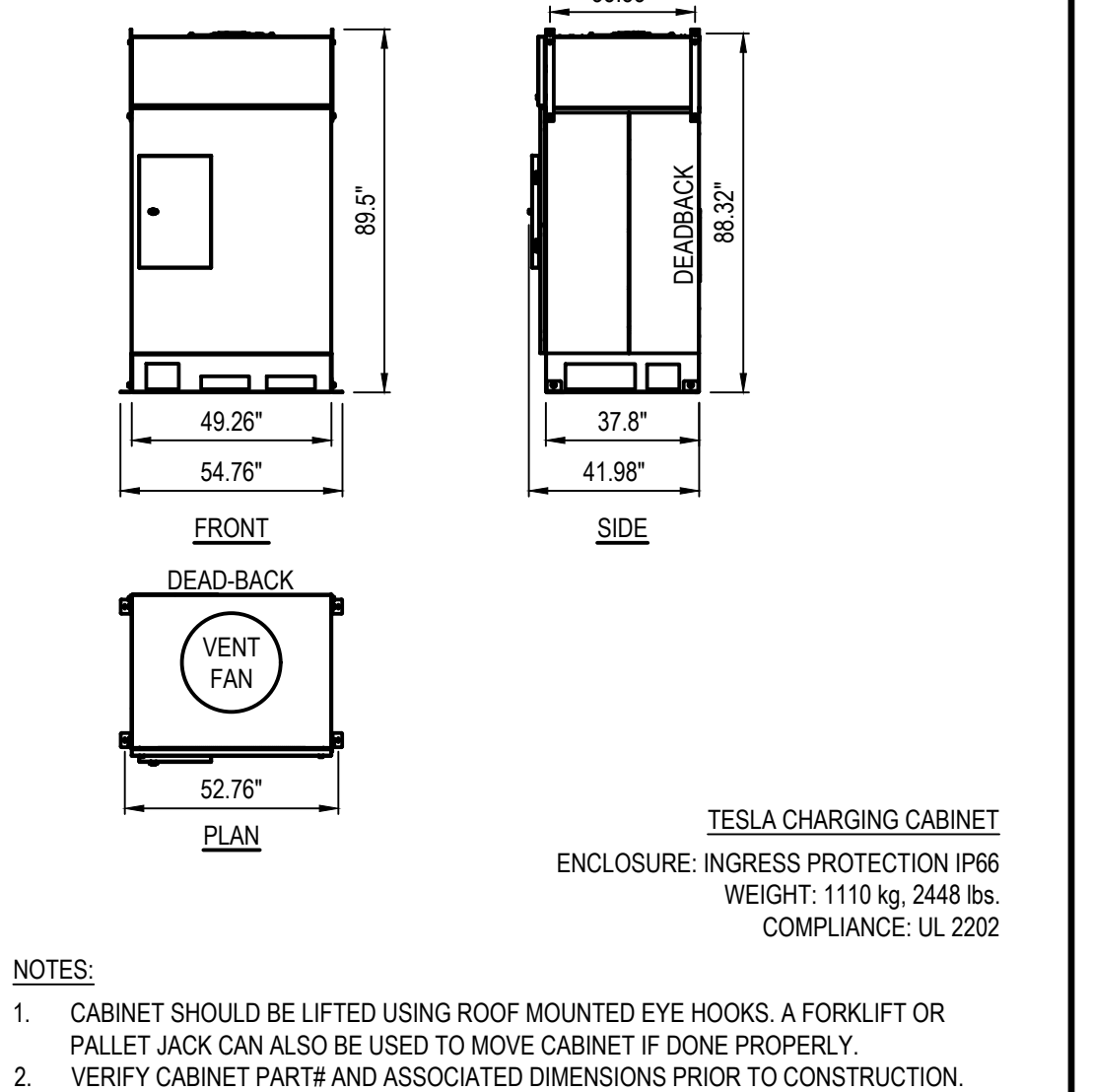
**B-1 ACCESSIBLE REACH PLAN**  
N.T.S.



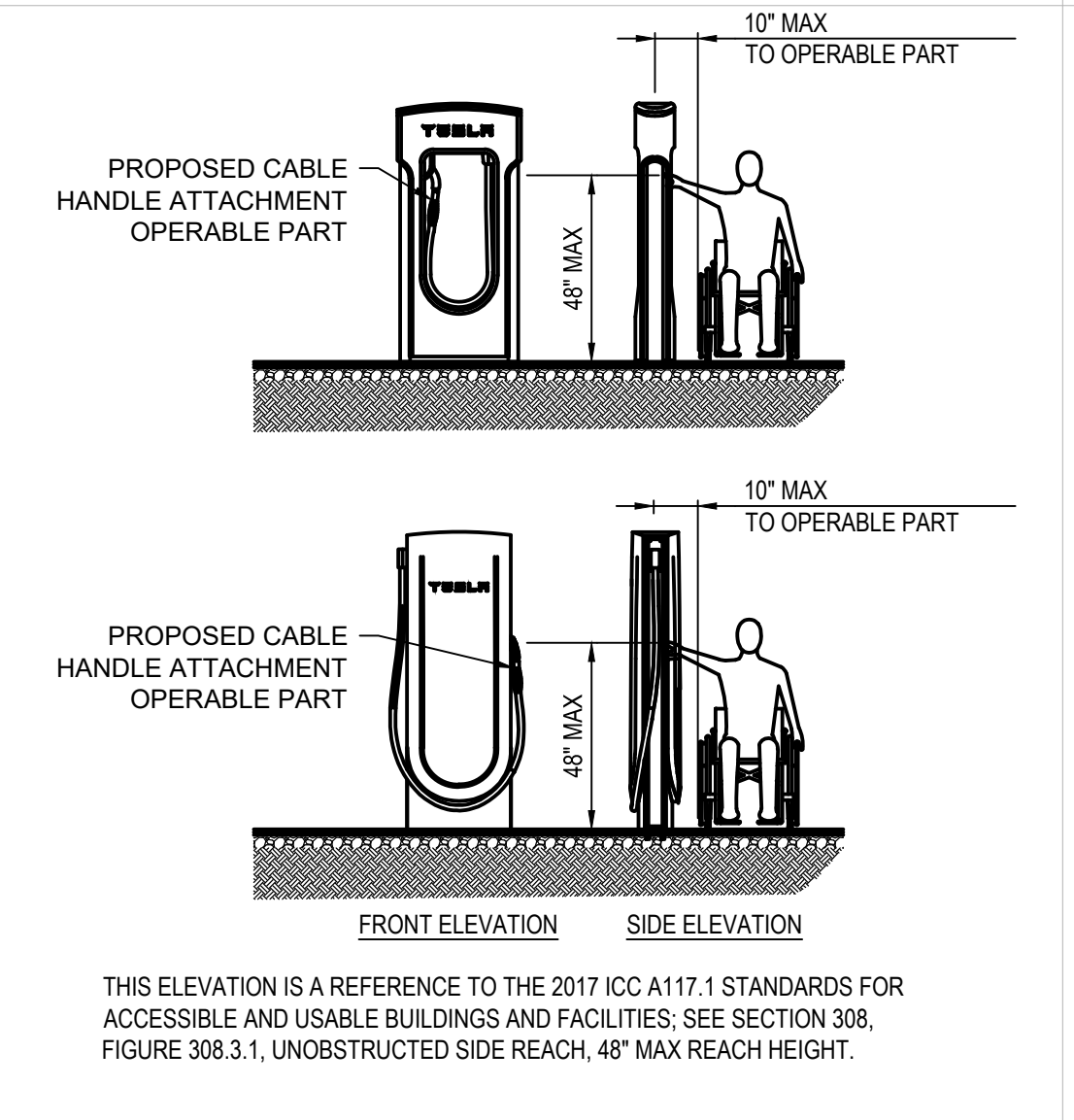
**B-2 TESLA SUPERCHARGER ON PRECAST FOUNDATION**  
N.T.S.



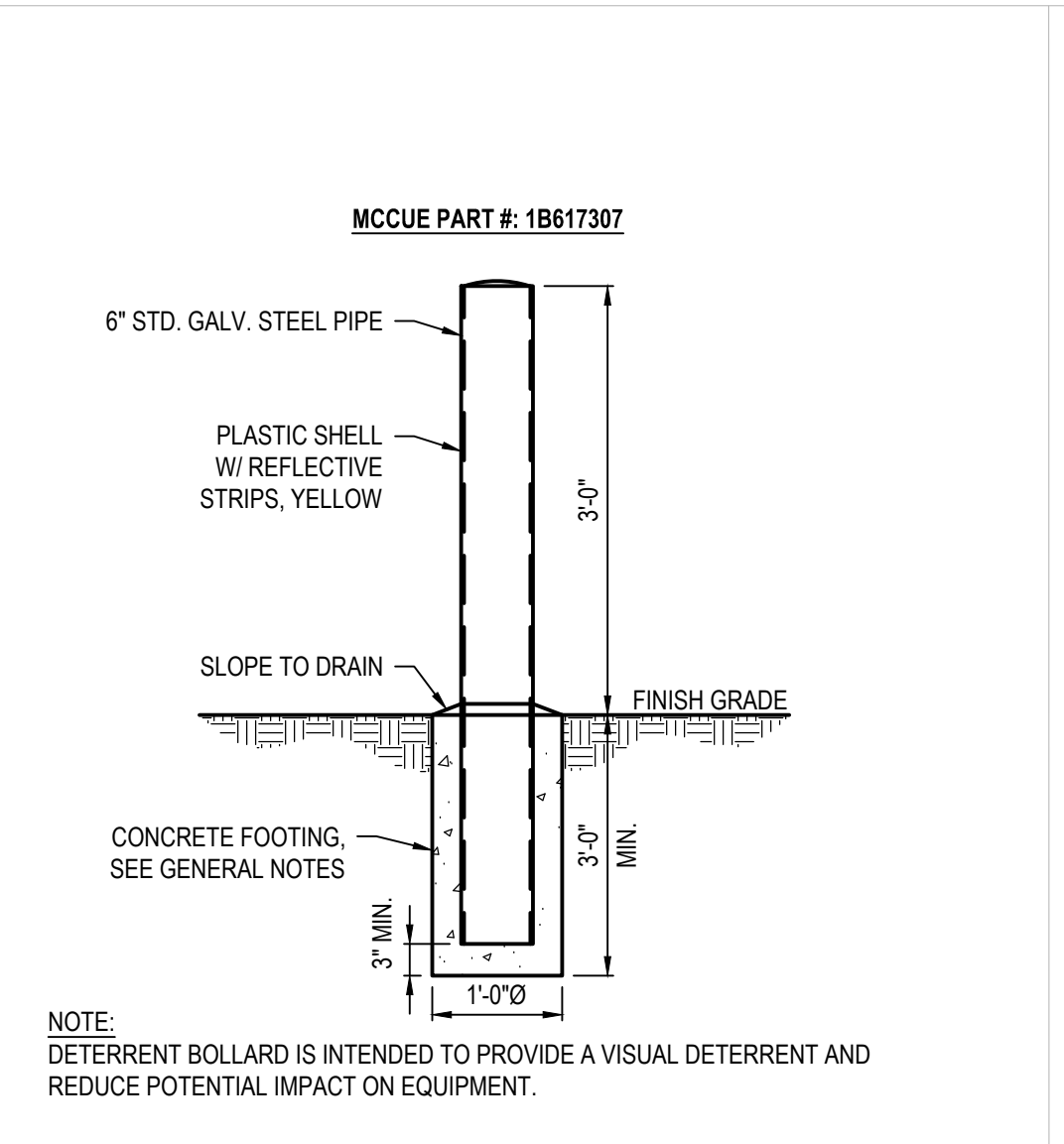
**B-4 MOUNTING FOR Z-POWER SWITCHGEAR**  
N.T.S.



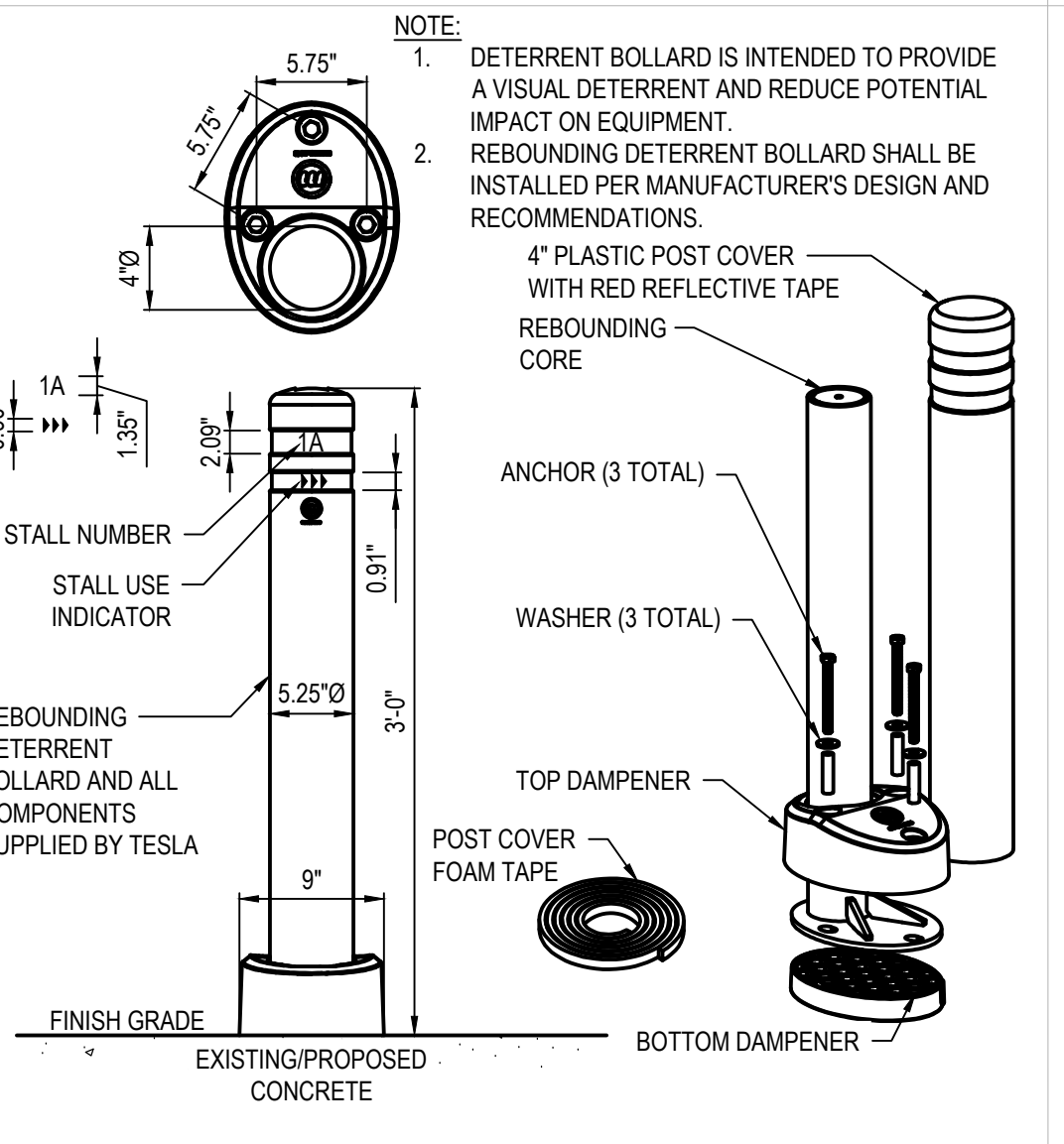
**B-5 TESLA SUPERCHARGER CABINET DIMENSIONS**  
N.T.S.



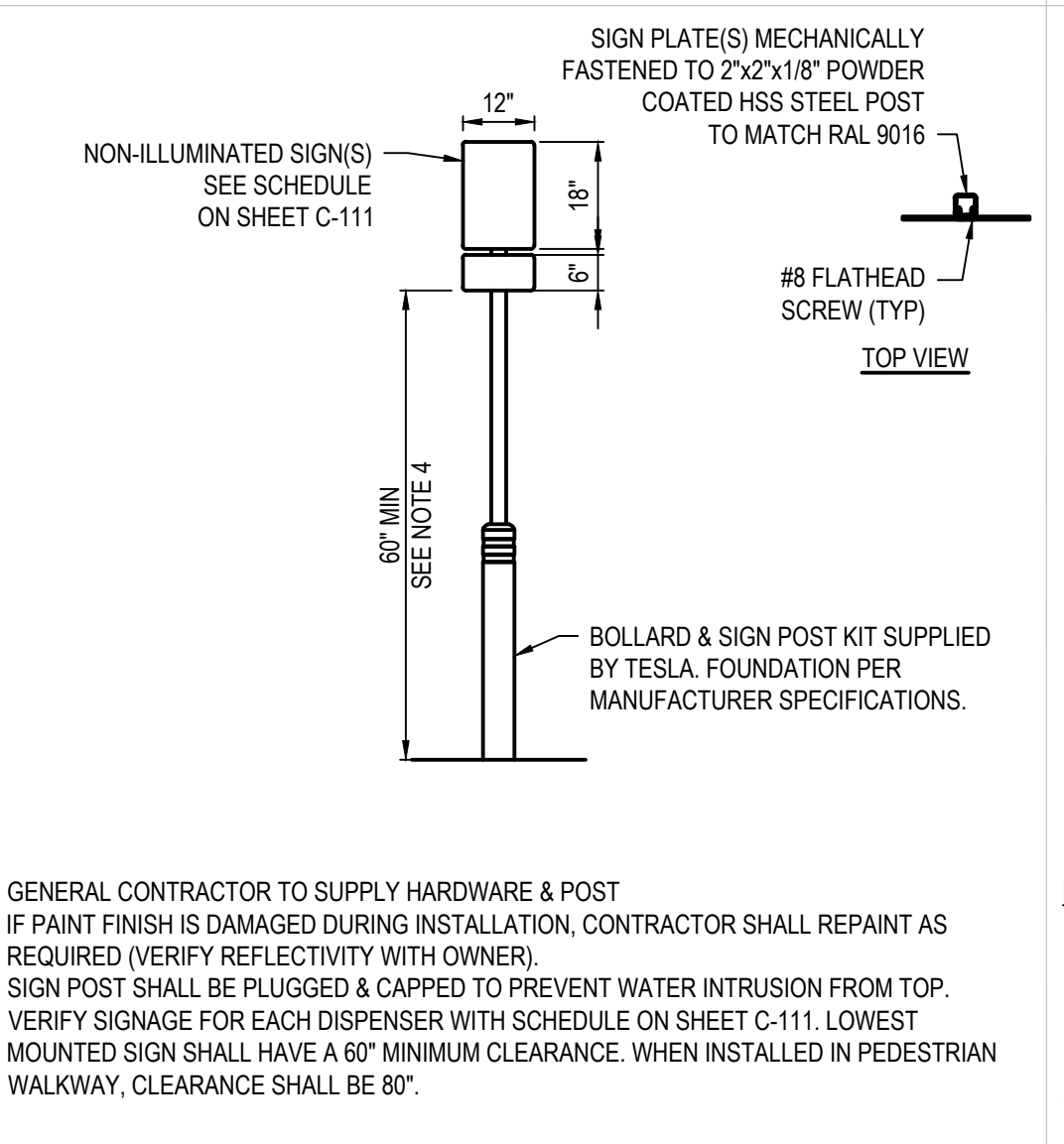
**A-1 ACCESSIBLE REACH ELEVATION**  
N.T.S.



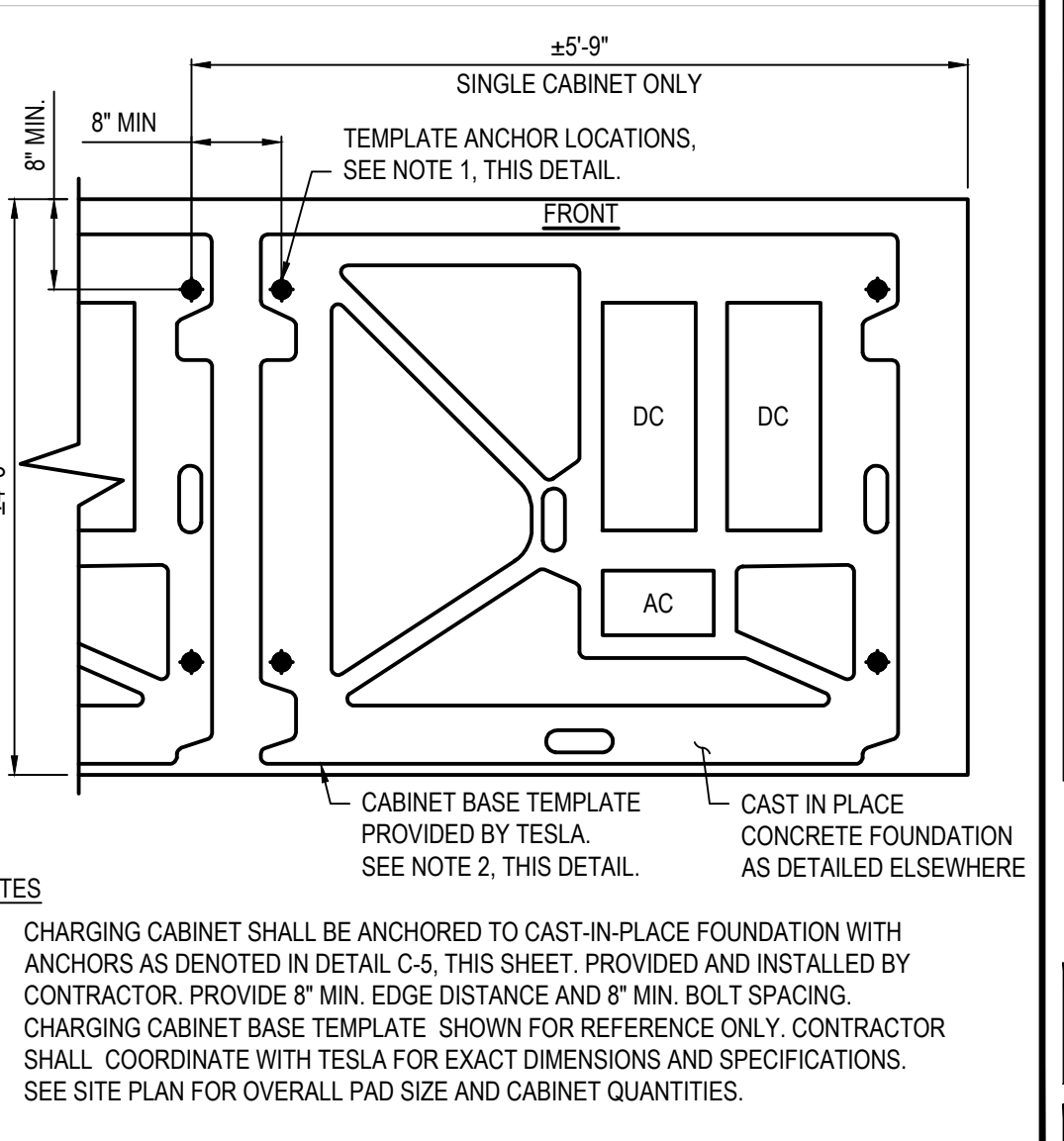
**A-2 DEEP MOUNT DETERRENT BOLLARD**  
N.T.S.



**A-3 REBOUNDED DETERRENT BOLLARD**  
N.T.S.



**A-4 NON-ILLUMINATED SIGN**  
N.T.S.

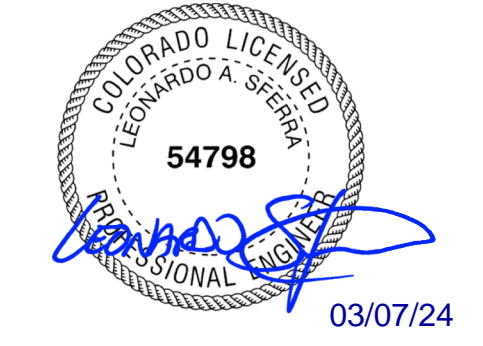


**A-5 TESLA SUPERCHARGER CABINET BASE TEMPLATE**  
N.T.S.



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



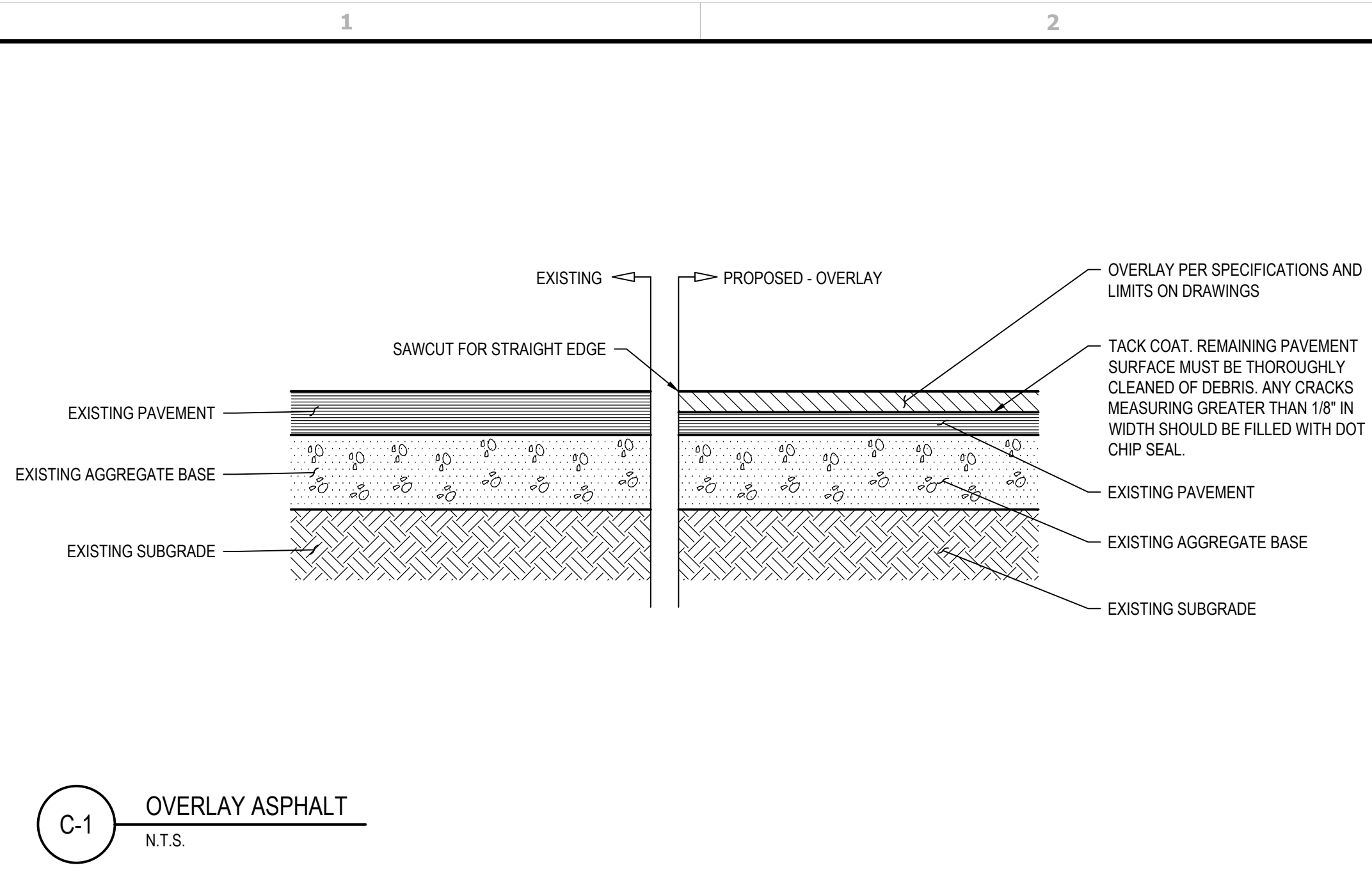
**SITE DEVELOPMENT PLAN**  
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A  
4612 MILESTONE LN, CASTLE ROCK, CO 80104

PROJECT MANAGER	DESIGNER
IM	MAM

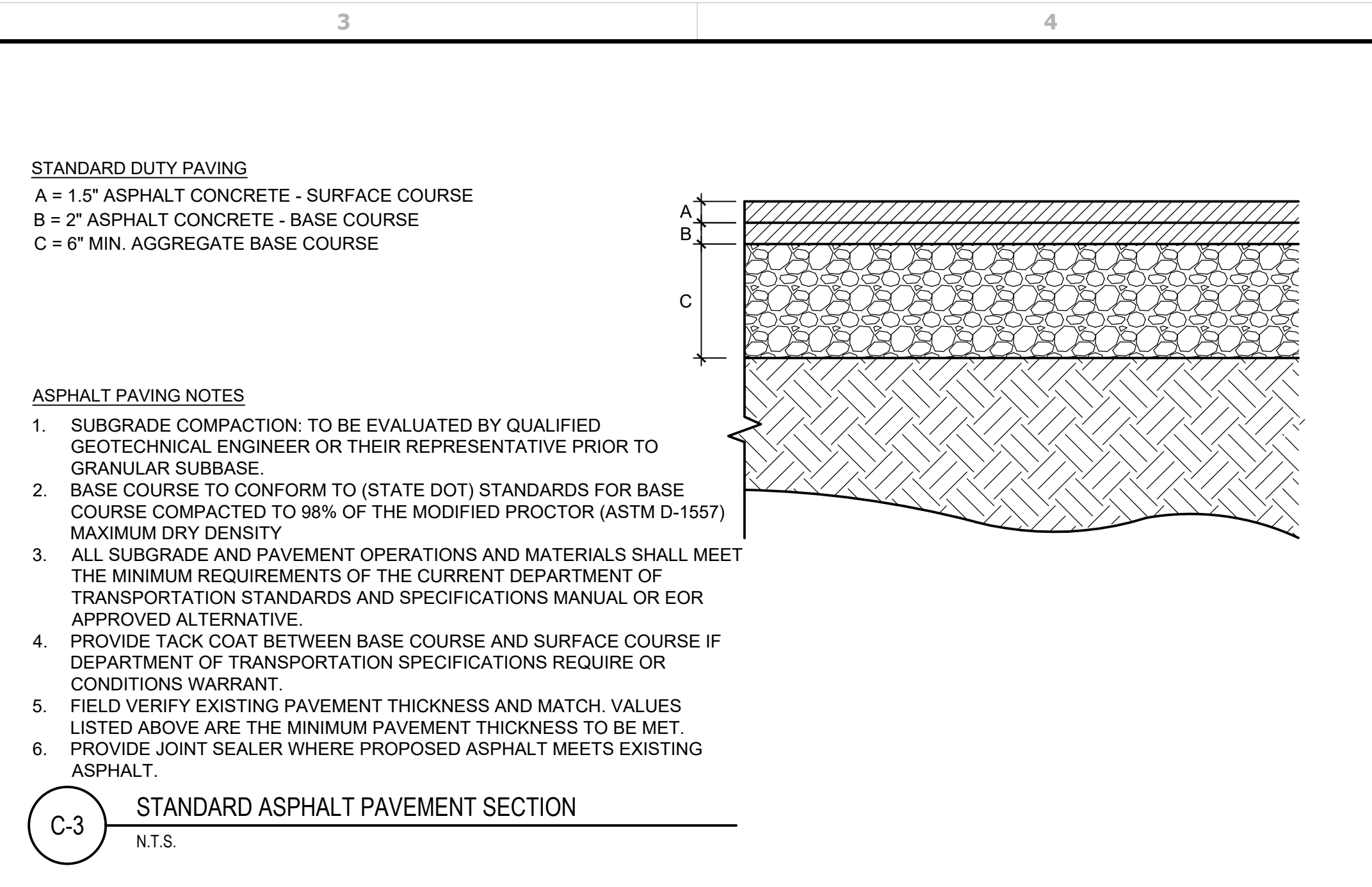
JOB NO.  
**2023241.49**

3 OF 6  
**C-201**  
TOWN OF CASTLE ROCK  
PROJECT NUMBER SDP23-0045

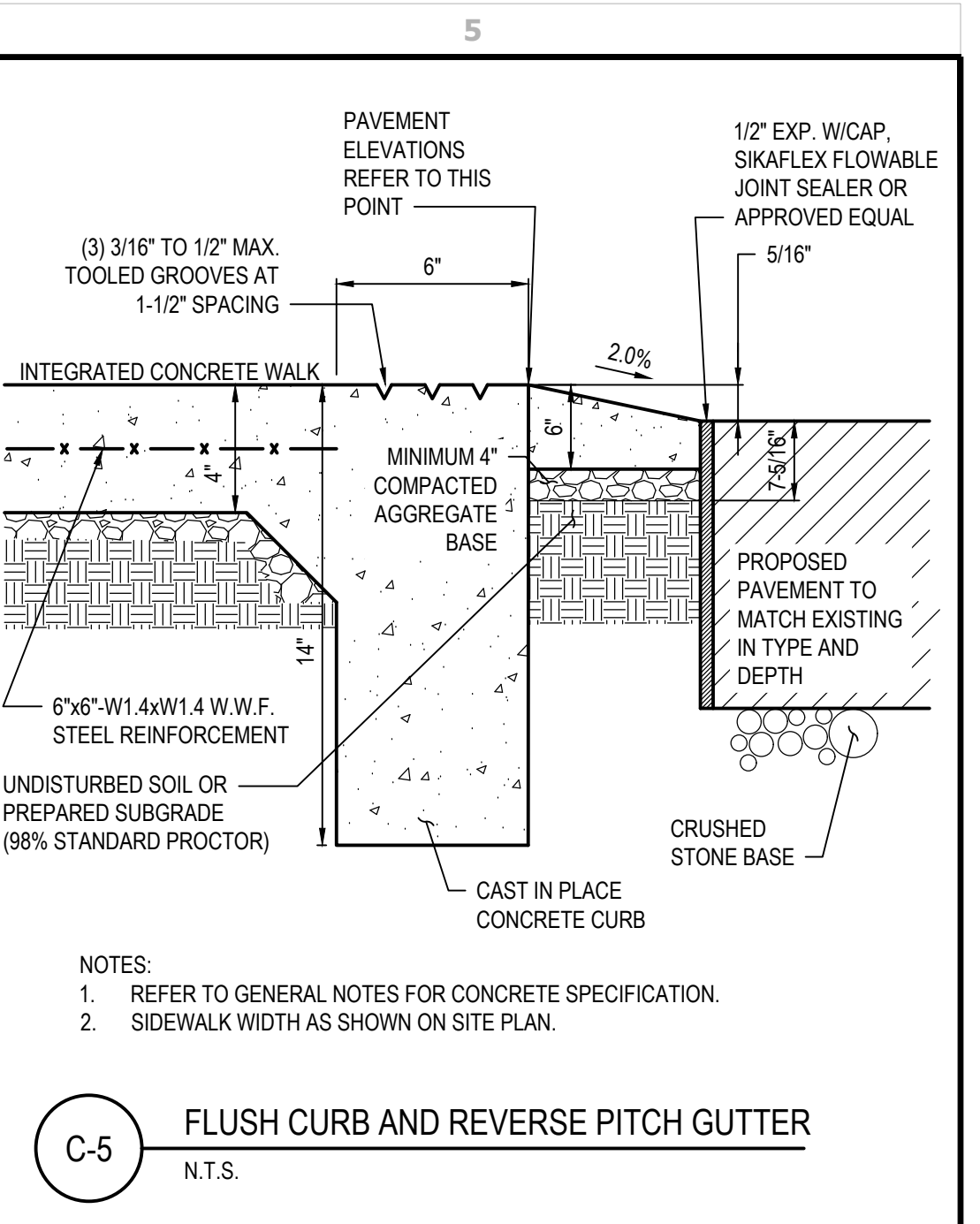
Drawing Name: C:\2023\2023241.49 - TR1726228 - Castle Rock, CO - Milestone Filing\2023241.49 - Castle Rock, CO - Site Development Planning March 17, 2024 2:19 PM - D:\osm



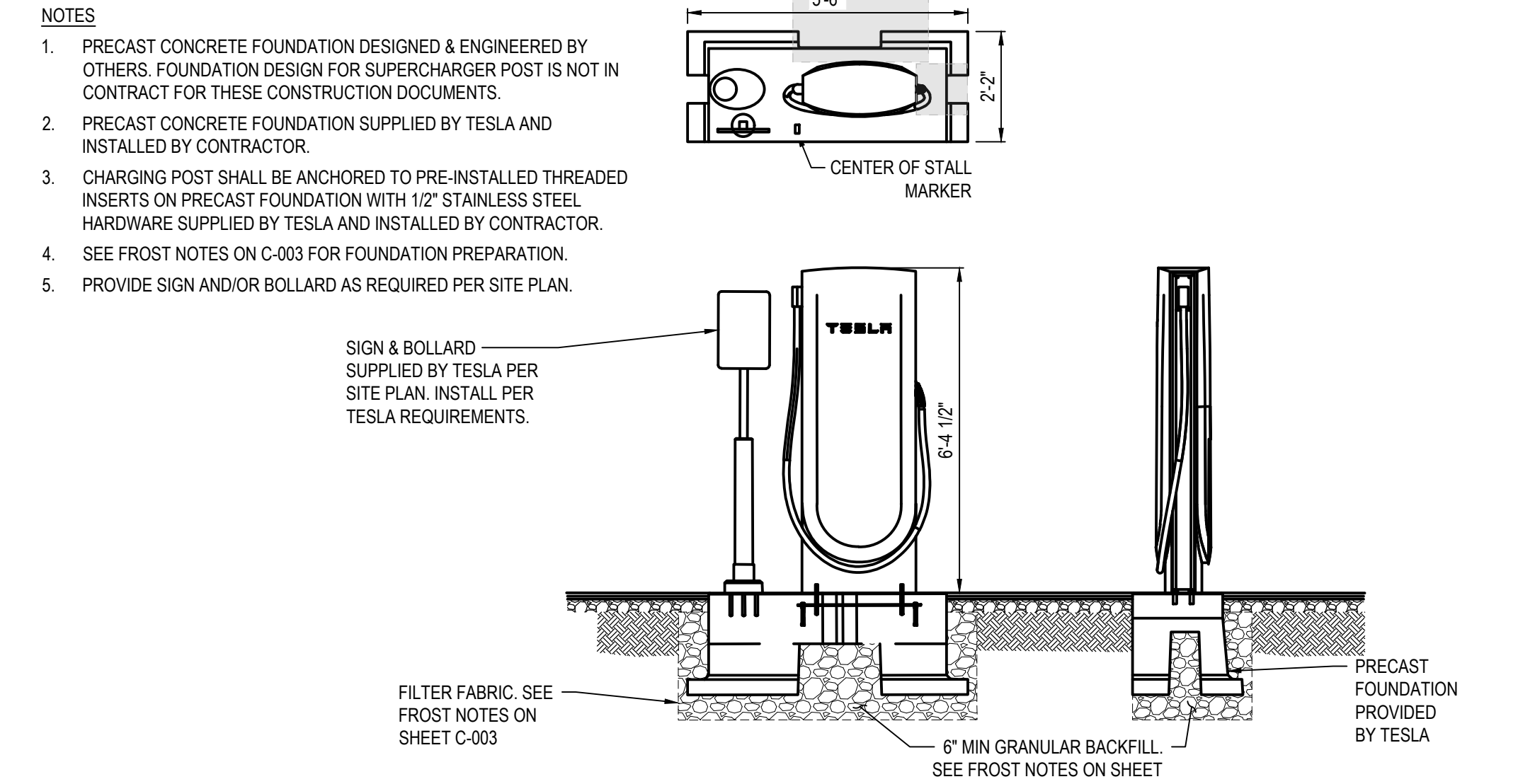
**C-1** OVERLAY ASPHALT  
N.T.S.



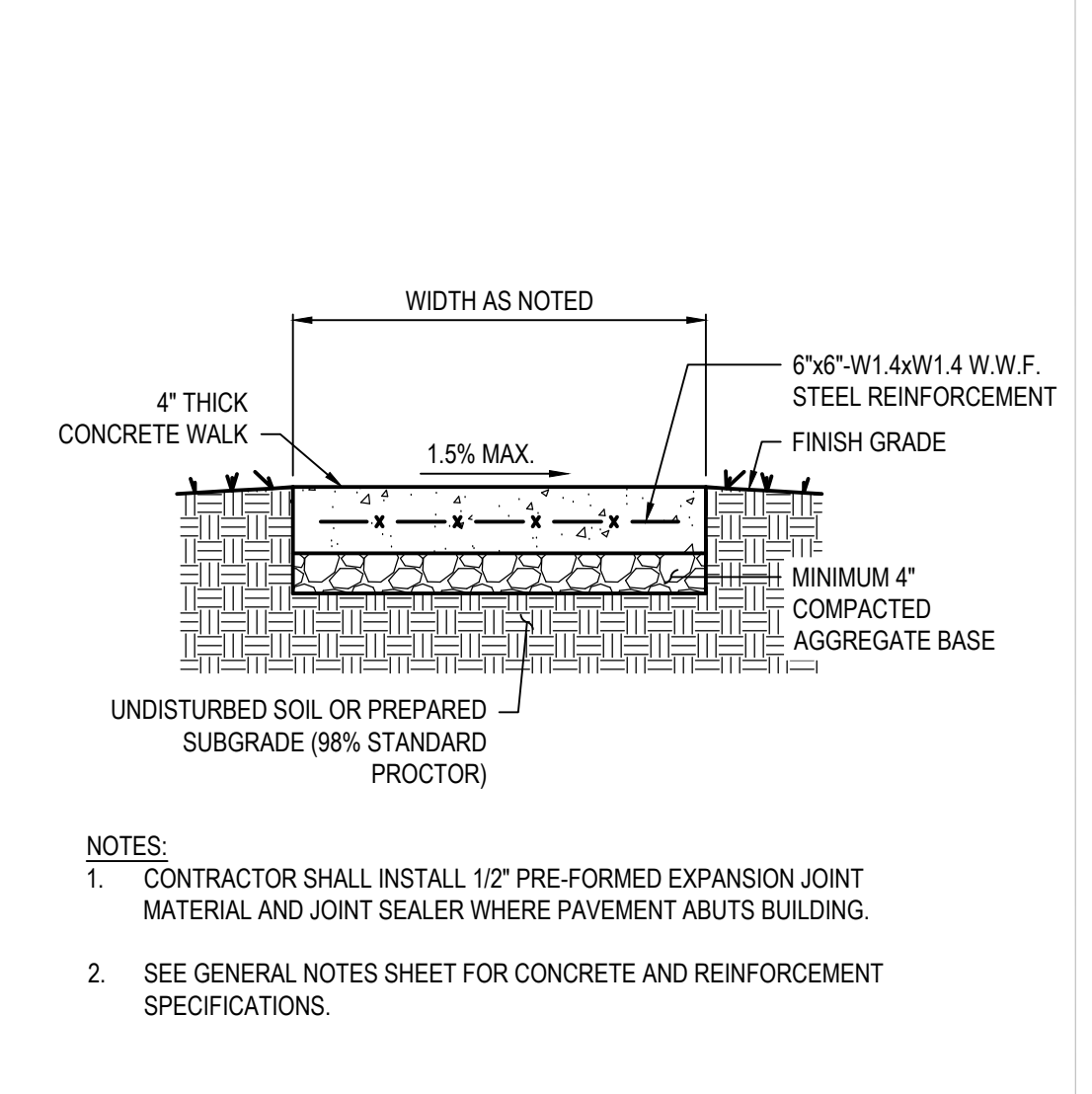
**C-3** STANDARD ASPHALT PAVEMENT SECTION  
N.T.S.



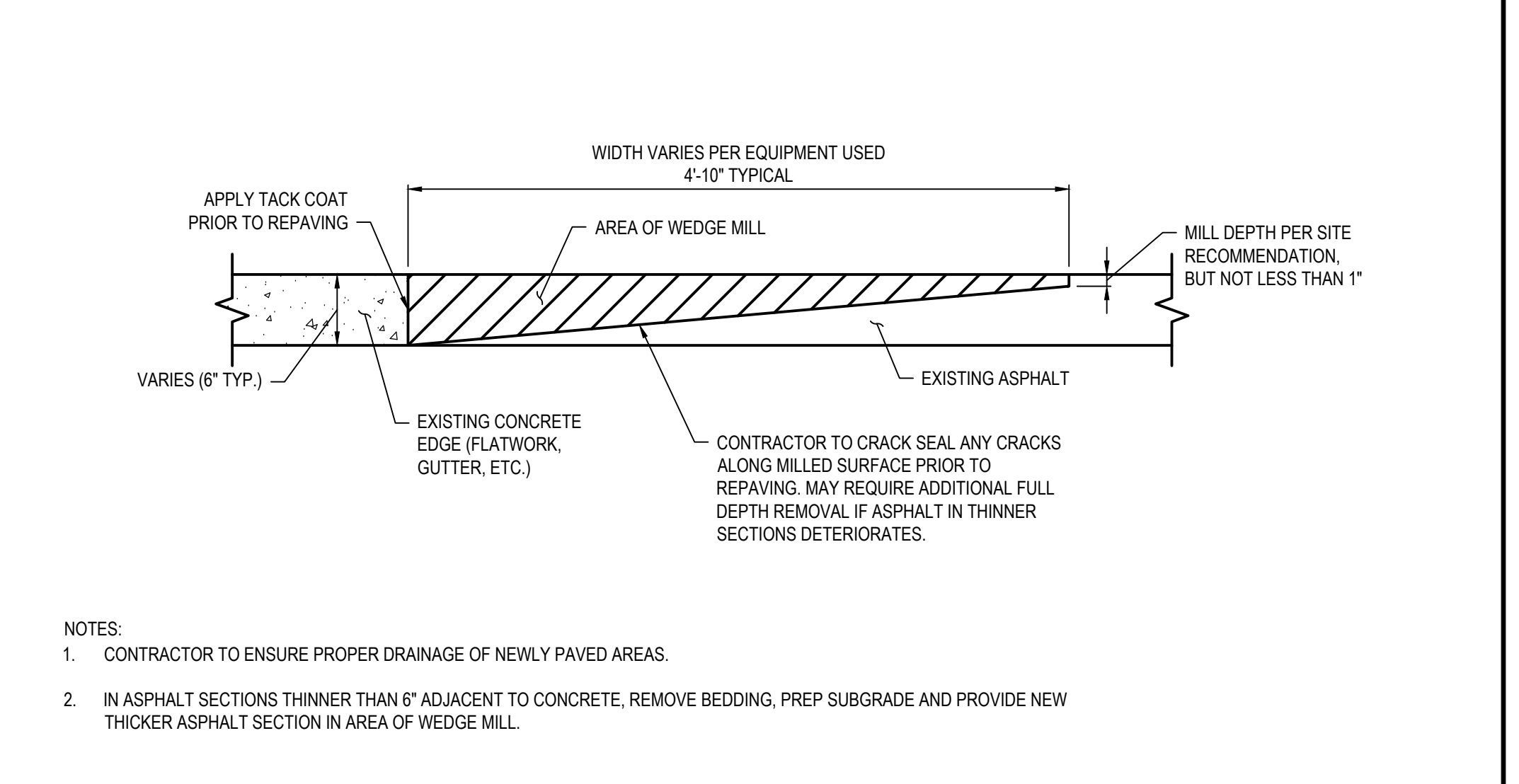
**C-5** FLUSH CURB AND REVERSE PITCH GUTTER  
N.T.S.



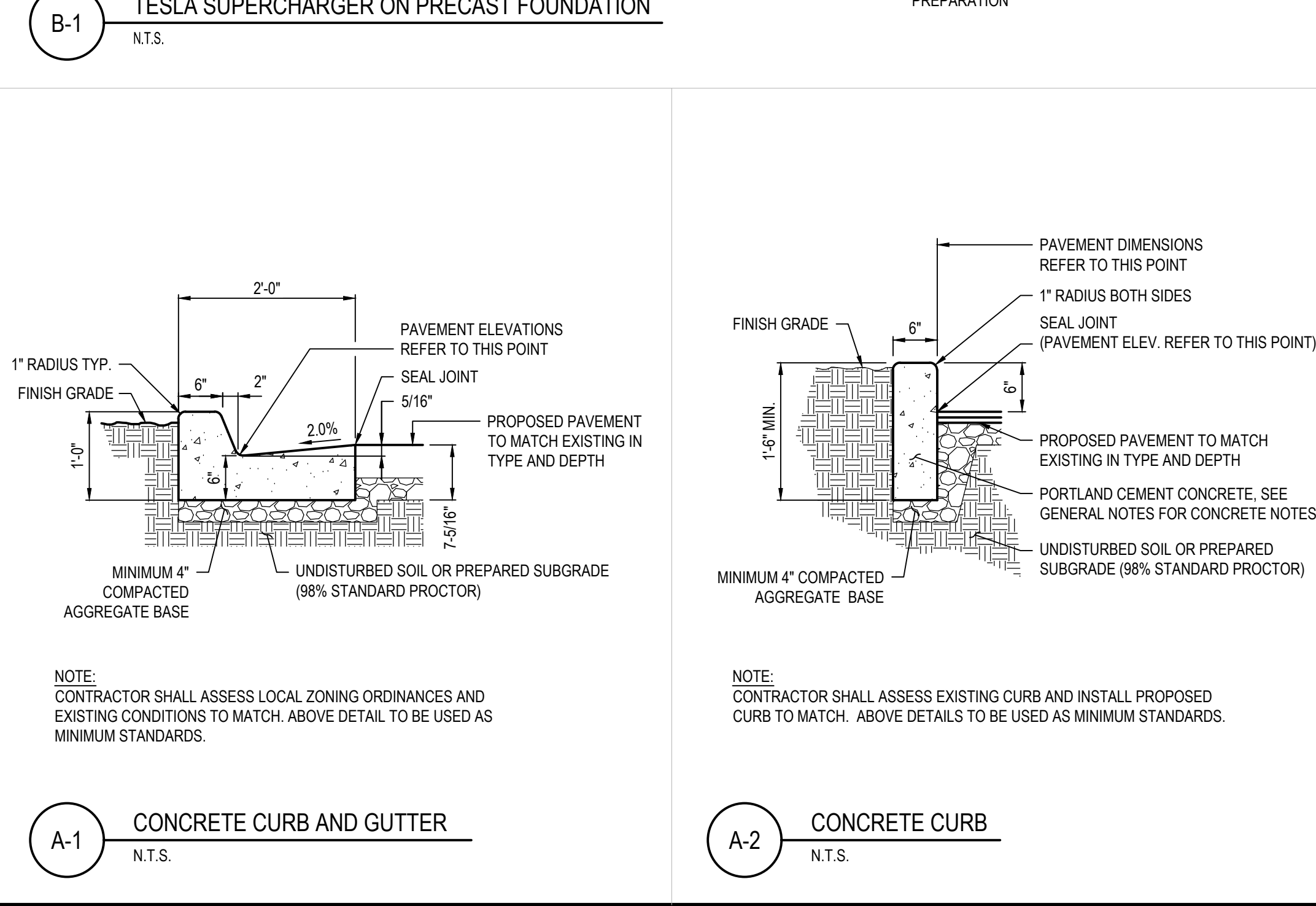
**B-1** TESLA SUPERCHARGER ON PRECAST FOUNDATION  
N.T.S.



**B-3** CONCRETE WALK  
N.T.S.

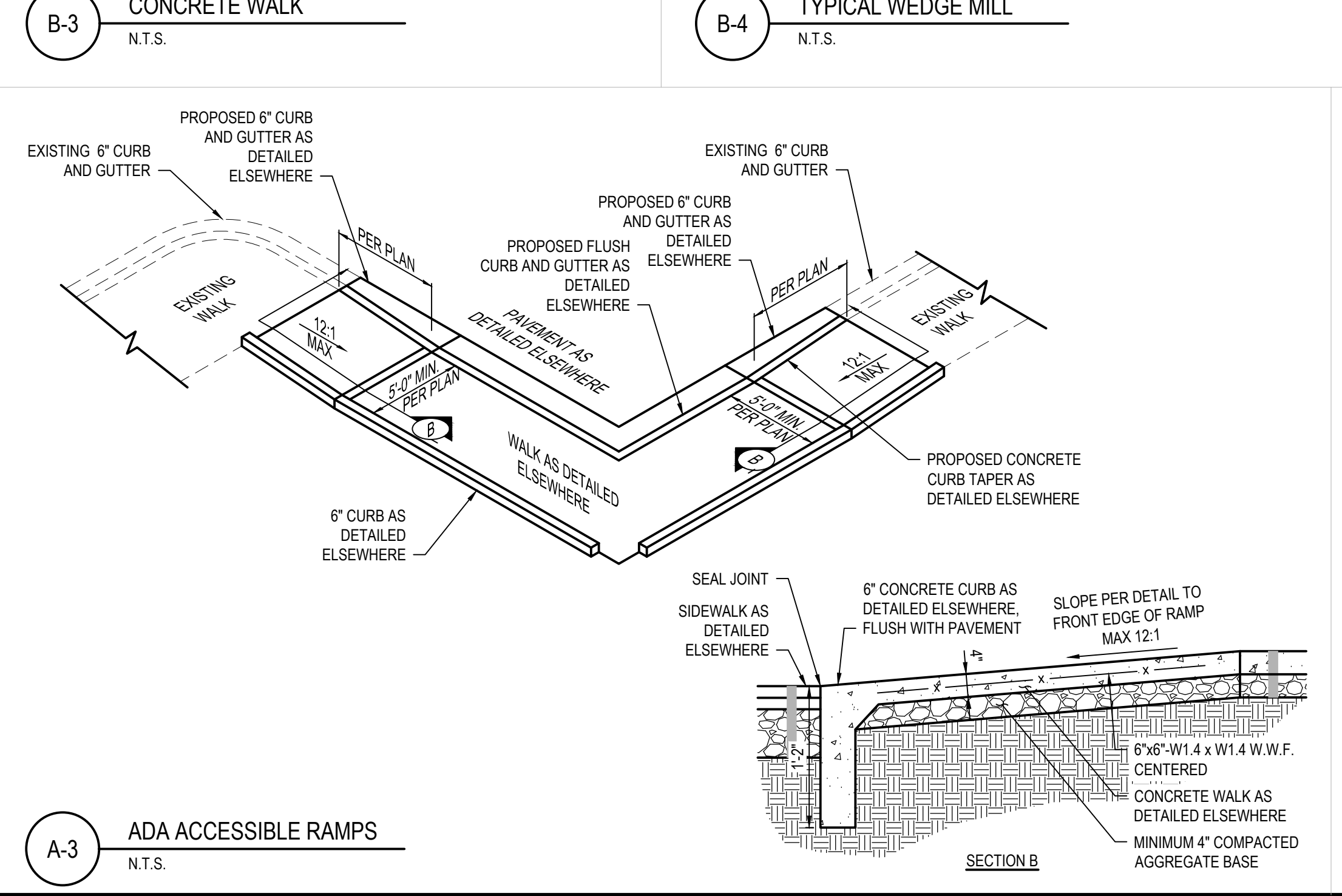


**B-4** TYPICAL WEDGE MILL  
N.T.S.

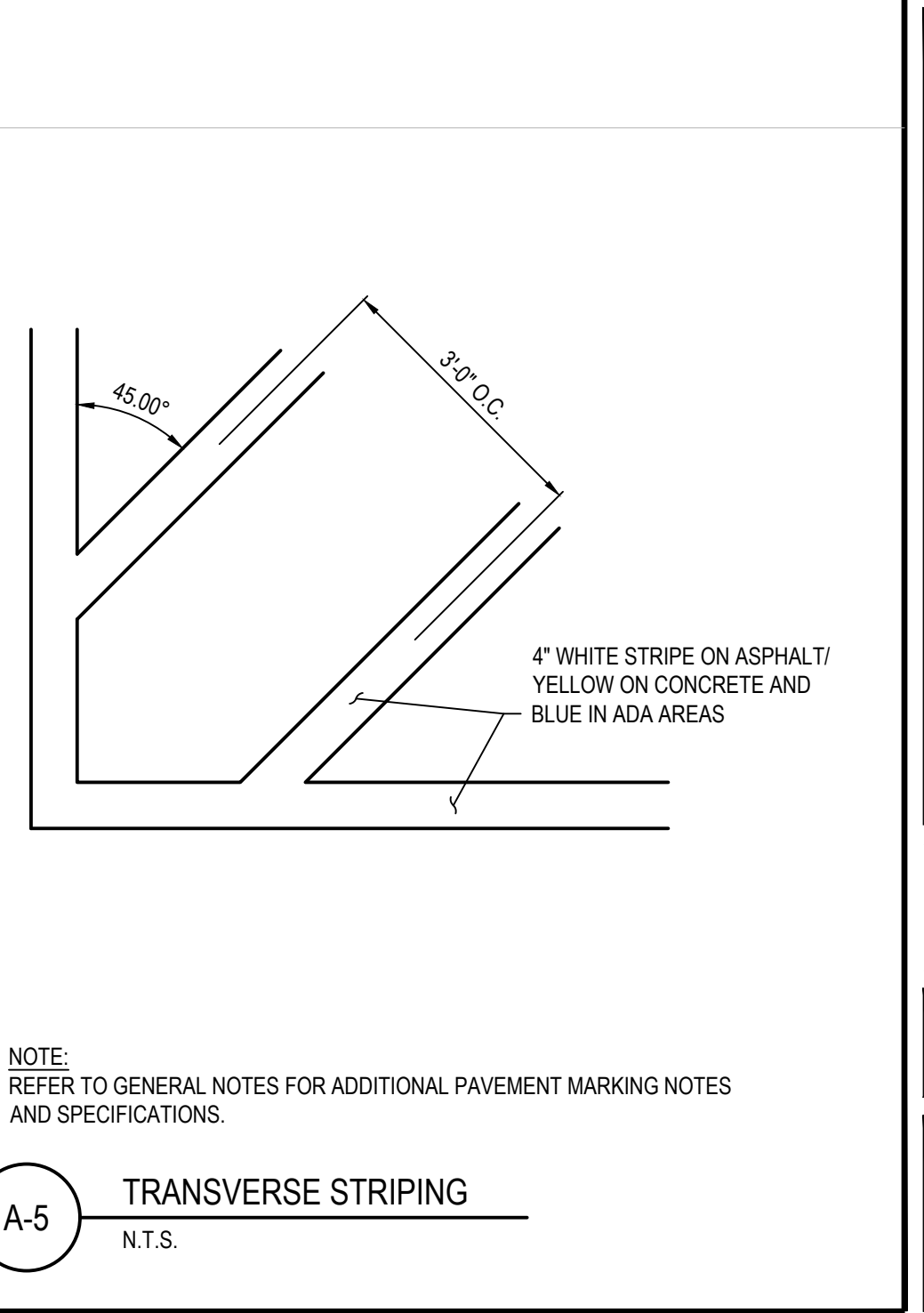


**A-1** CONCRETE CURB AND GUTTER  
N.T.S.

**A-2** CONCRETE CURB  
N.T.S.



**A-3** ADA ACCESSIBLE RAMPS  
N.T.S.



**A-5** TRANSVERSE STRIPING  
N.T.S.

**STANDARD DUTY PAVING**  
A = 1.5" ASPHALT CONCRETE - SURFACE COURSE  
B = 2" ASPHALT CONCRETE - BASE COURSE  
C = 6" MIN. AGGREGATE BASE COURSE

**ASPHALT PAVING NOTES**

- SUBGRADE COMPACTION: TO BE EVALUATED BY QUALIFIED GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE PRIOR TO GRANULAR SUBBASE.
- BASE COURSE TO CONFORM TO (STATE DOT) STANDARDS FOR BASE COURSE COMPACTION TO 98% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY
- ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS MANUAL OR EOR APPROVED ALTERNATIVE.
- PROVIDE TACK COAT BETWEEN BASE COURSE AND SURFACE COURSE IF DEPARTMENT OF TRANSPORTATION SPECIFICATIONS REQUIRE OR CONDITIONS WARRANT.
- FIELD VERIFY EXISTING PAVEMENT THICKNESS AND MATCH. VALUES LISTED ABOVE ARE THE MINIMUM PAVEMENT THICKNESS TO BE MET.
- PROVIDE JOINT SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

**NOTES**

- PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
- PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
- CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
- SEE FROST NOTES ON C-003 FOR FOUNDATION PREPARATION.
- PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN.

**NOTES**

- CONTRACTOR SHALL INSTALL 1/2" PRE-FORMED EXPANSION JOINT MATERIAL AND JOINT SEALER WHERE PAVEMENT ABUTS BUILDING.
- SEE GENERAL NOTES SHEET FOR CONCRETE AND REINFORCEMENT SPECIFICATIONS.

**NOTES**

- CONTRACTOR TO ENSURE PROPER DRAINAGE OF NEWLY PAVED AREAS.
- IN ASPHALT SECTIONS THINNER THAN 6" ADJACENT TO CONCRETE, REMOVE BEDDING, PREP SUBGRADE AND PROVIDE NEW THICKER ASPHALT SECTION IN AREA OF WEDGE MILL.

**NOTE:**  
CONTRACTOR SHALL ASSESS LOCAL ZONING ORDINANCES AND EXISTING CONDITIONS TO MATCH. ABOVE DETAIL TO BE USED AS MINIMUM STANDARDS.

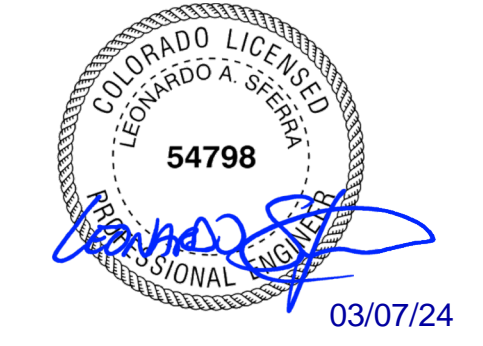
**NOTE:**  
CONTRACTOR SHALL ASSESS EXISTING CURB AND INSTALL PROPOSED CURB TO MATCH. ABOVE DETAILS TO BE USED AS MINIMUM STANDARDS.

**NOTE:**  
REFER TO GENERAL NOTES FOR ADDITIONAL PAVEMENT MARKING NOTES AND SPECIFICATIONS.



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



**SITE DEVELOPMENT PLAN**  
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A  
4612 MILESTONE LN, CASTLE ROCK, CO 80104

**CIVIL DETAILS**

PROJECT MANAGER	DESIGNER
IM	MAM

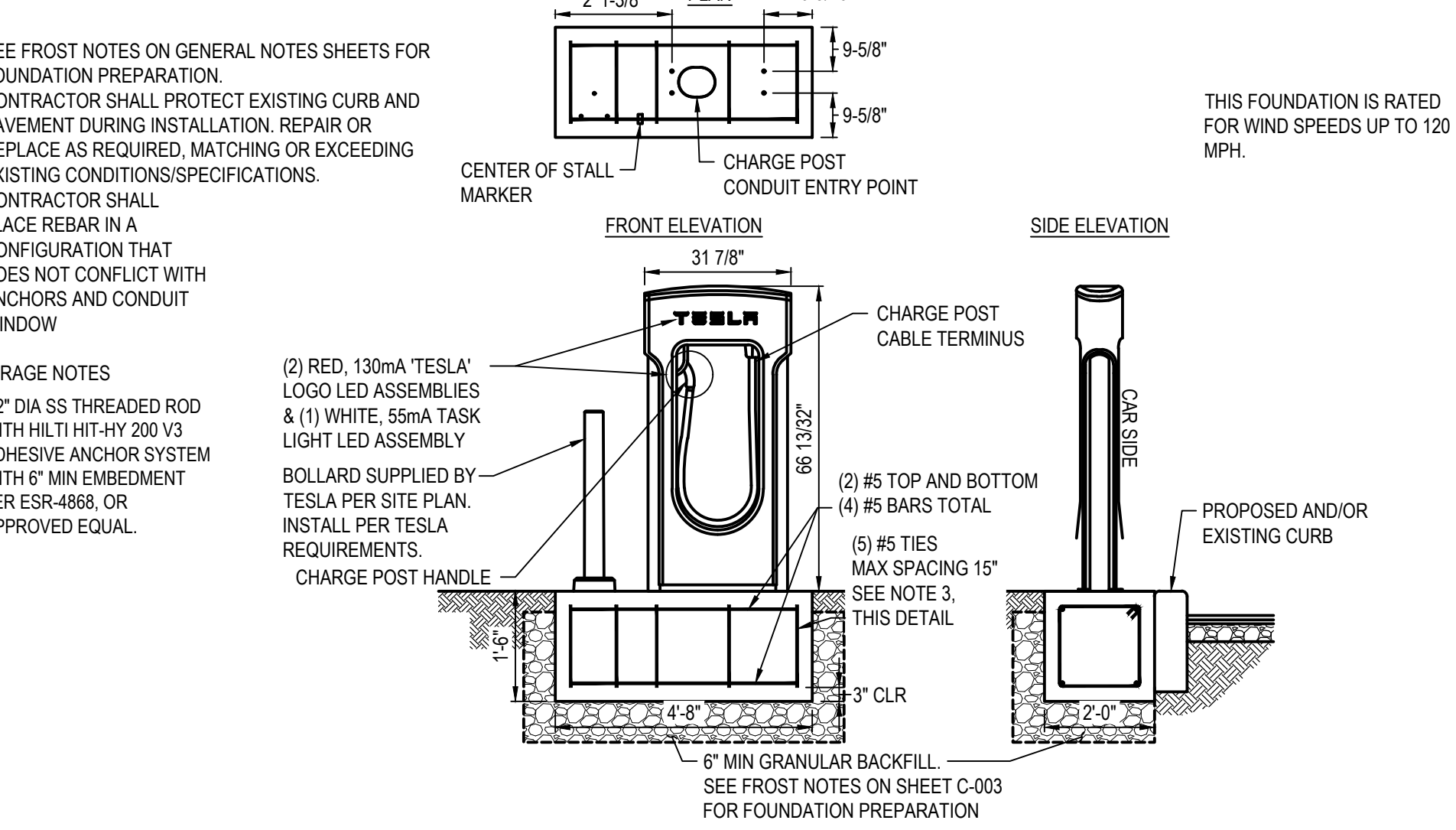
JOB NO.  
**2023241.49**

4 OF 6  
**C-202**  
TOWN OF CASTLE ROCK  
PROJECT NUMBER SDP23-0045

Drawing Name: C:\2023\2023241.49 - TRT 26628 - Castle Rock, CO - Milestone Filing\2023241.49 - Castle Rock, CO - Site Development Planning March 17, 2024 2:19 PM - D:\m...

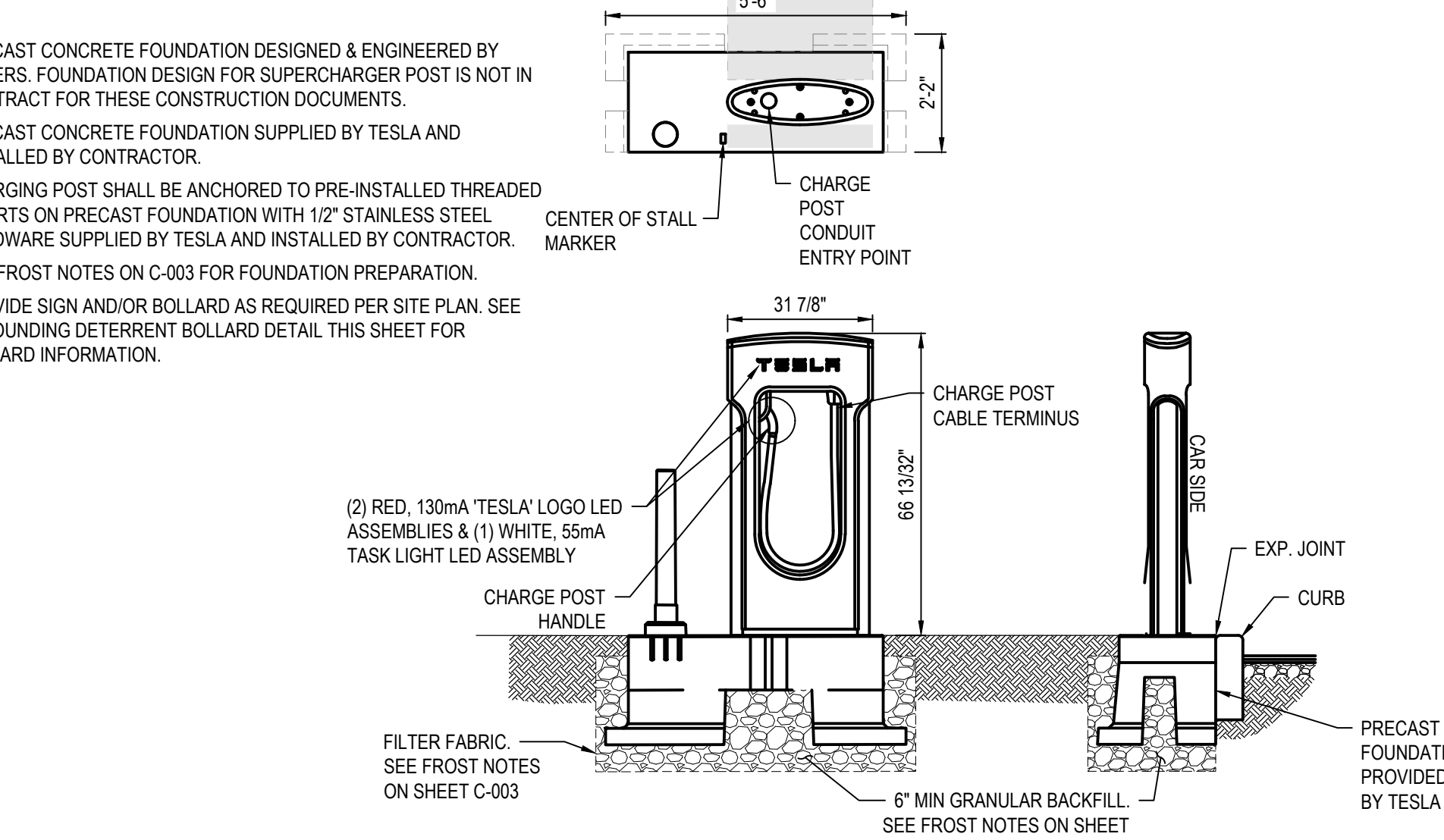
Drawing Name: C-203/202324149 - TRT 2628 - Castle Rock, CO - Milestone Lndg/202324149 - Castle Rock, CO - Site Development Planning  
March 17, 2024 2:19 PM - D:\mcm

- NOTES
- SEE FROST NOTES ON GENERAL NOTES SHEETS FOR FOUNDATION PREPARATION.
  - CONTRACTOR SHALL PROTECT EXISTING CURB AND PAVEMENT DURING INSTALLATION. REPAIR OR REPLACE AS REQUIRED, MATCHING OR EXCEEDING EXISTING CONDITIONS/SPECIFICATIONS.
  - CONTRACTOR SHALL PLACE REBAR IN A CONFIGURATION THAT DOES NOT CONFLICT WITH ANCHORS AND CONDUIT WINDOW



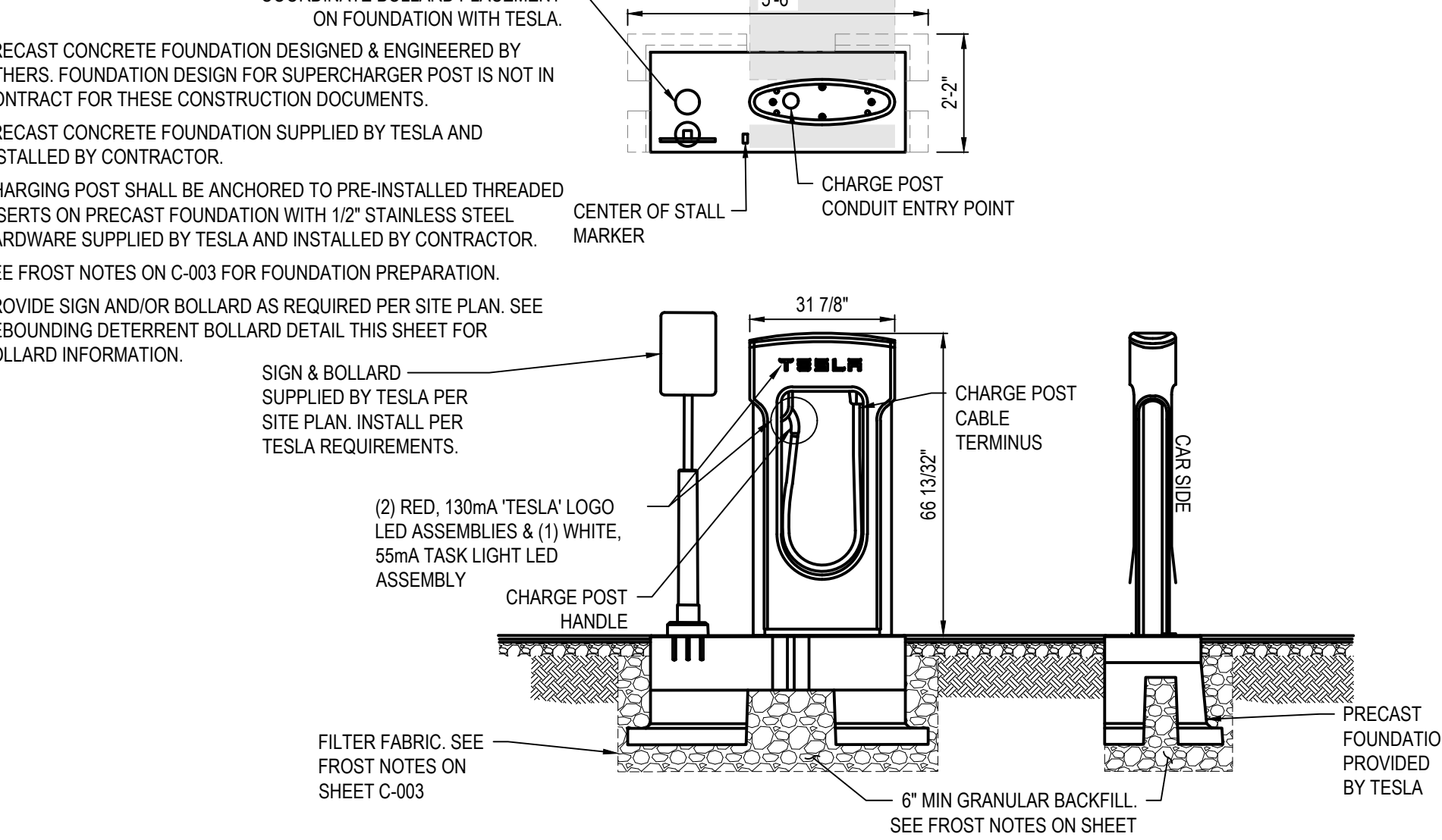
**C-1** TESLA SUPERCHARGER CAST-IN-PLACE FOUNDATION  
N.T.S.

- NOTES
- PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
  - PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
  - CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
  - SEE FROST NOTES ON C-003 FOR FOUNDATION PREPARATION.
  - PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN. SEE REBOUNDING DETERRENT BOLLARD DETAIL THIS SHEET FOR BOLLARD INFORMATION.

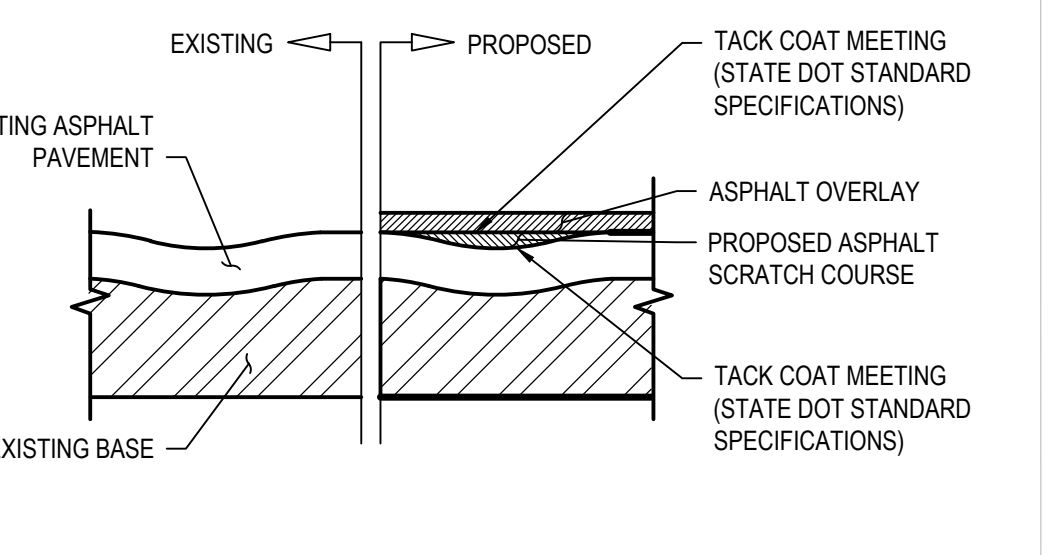


**B-1** TESLA SUPERCHARGER ON PRECAST FOUNDATION  
N.T.S.

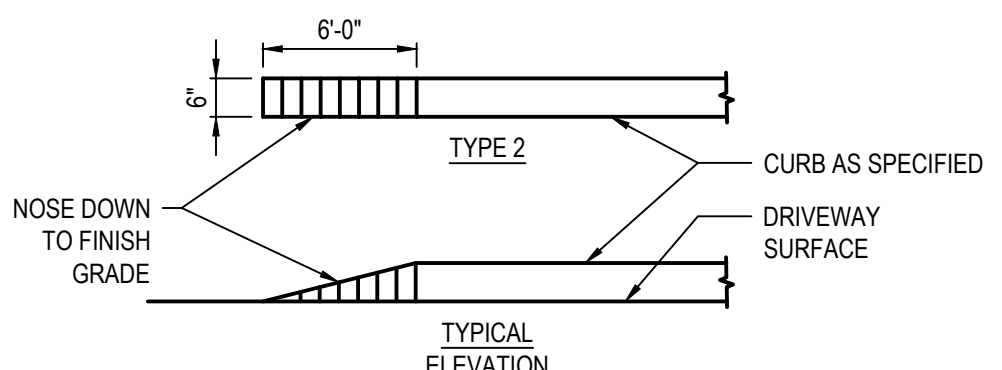
- NOTES
- PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
  - PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
  - CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
  - SEE FROST NOTES ON C-003 FOR FOUNDATION PREPARATION.
  - PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN. SEE REBOUNDING DETERRENT BOLLARD DETAIL THIS SHEET FOR BOLLARD INFORMATION.



**B-3** TESLA SUPERCHARGER ON PRECAST FOUNDATION  
N.T.S.



**A-1** PRE-OVERLAY ASPHALT TREATMENT  
N.T.S.

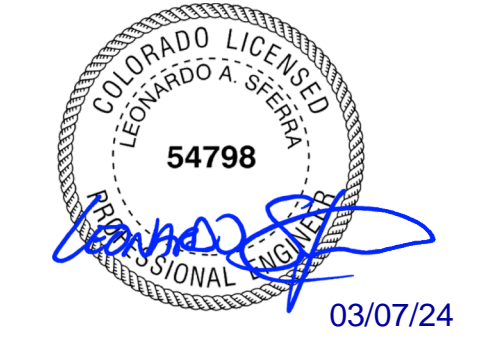


**A-2** CONCRETE CURB TAPER  
N.T.S.



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



**SITE DEVELOPMENT PLAN**  
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A  
4612 MILESTONE LN, CASTLE ROCK, CO 80104

**CIVIL DETAILS**

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.  
**2023241.49**

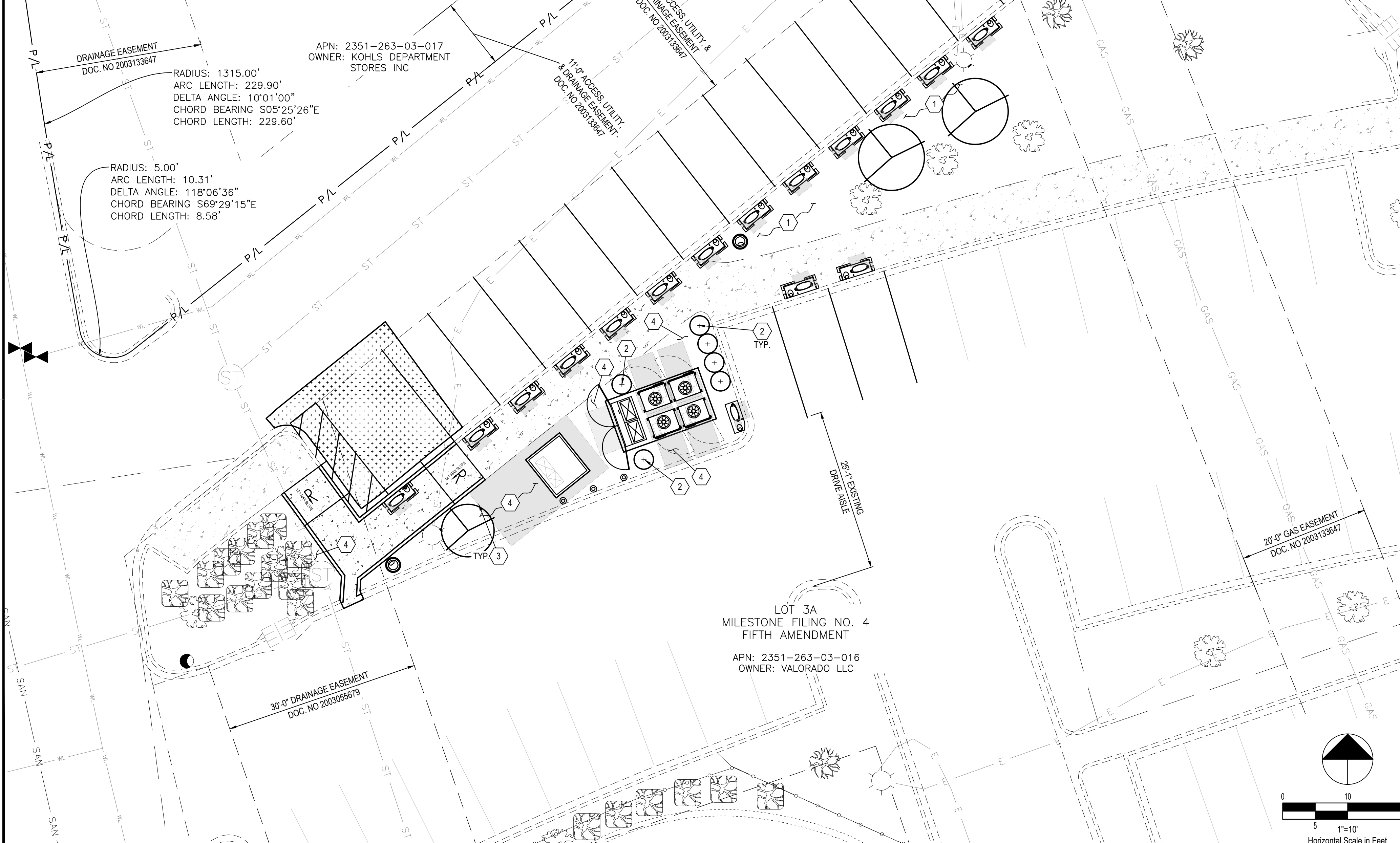
5 OF 6  
**C-203**  
TOWN OF CASTLE ROCK  
PROJECT NUMBER SDP23-0045

VICINITY MAP



MAP DATA ©2023 GOOGLE

NOT TO SCALE



APN: 2351-263-03-017  
OWNER: KOHLS DEPARTMENT STORES INC

LOT 3A  
MILESTONE FILING NO. 4  
FIFTH AMENDMENT

APN: 2351-263-03-016  
OWNER: VALORADO LLC

GENERAL SHEET NOTES

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.

PLAN KEYNOTES

- ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE LANDSCAPE NOTES THIS PAGE FOR SODDING SPECIFICATIONS.
- PROPOSED SHRUBS (TYPICAL OF 6) POTENTILLA 'KATHRYN DYKES' SHRUB SPECIES TO MATCH EXISTING ON-SITE. CONTRACTOR TO COORDINATE PLANT SPECIES WITH OWNER. MINIMUM PLANT SIZE TO BE 24" HEIGHT, NO. 5 CONTAINER.
- PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 3 CRATAEGUS CRUS-GALLI 'INERMIS'). MINIMUM PLANT SIZE TO BE 1.5" TRUNK DBH, FULL CROWN, B&B CONDITION.
- PROPOSED LANDSCAPE STONE.

LANDSCAPE NOTES

GENERAL

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANNING IN THE STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCE.
- PLANT GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.
- ALL DISTURBED AND PROPOSED LANDSCAPE PLANTING BED AREAS SHALL MATCH EXISTING GROUND CONDITIONS IN TYPE AND DEPTH UNLESS OTHERWISE STATED ON PLANS.
- IF NECESSARY, CONTRACTOR SHALL PRUNE EXISTING TREES TO MAINTAIN NECESSARY CLEARANCES, EQUIPMENT MANUFACTURER CLEARANCES, AND UTILITY REQUIRED CLEARANCES. CONTRACTOR SHALL MAKE TREE SHAPELY AND TYPICAL OF SPECIES PER ANSI A300 AND HORTICULTURAL STANDARDS.

MATERIALS

- LANDSCAPE STONE - CONTRACTOR SHALL MATCH EXISTING LANDSCAPE STONE IN TYPE, SIZE, COLOR, AND DEPTH PER PLAN.
- WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH TO BE INSTALLED IN ALL PLANTING BEDS UNDER LANDSCAPE STONE.
- PLANTING SOIL MIX - SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.
- TREES AND SHRUBS - CONTRACTOR TO SELECT TREE AND SHRUB SPECIES FROM THE TOWN OF CASTLE ROCK RECOMMENDED PLANT SPECIES LIST. PLANT SPECIES SHOULD BE DESIGNATED HYDROZONE 1-3, AND SELECTED TO MATCH EXISTING PLANT MATERIAL ON SITE. PLANT SPECIES TO BE COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.

SODDING

- SOD SHALL BE SELECTED PER HARDINESS ZONE AND MATCHED TO EXISTING SITE. SOD SHALL BE A FIRST GRADE CERTIFIED BLEND CONTAINING NO MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
- CONTRACTOR SHALL INSTALL APPROVED FESCUE BLEND, SELECTED TO MATCH EXISTING SOD ON SITE.
- CONTRACTOR SHALL INSTALL SOD PER INDUSTRY STANDARDS. ALL SODDED AREAS INCLUDING SUBGRADE, SHALL BE KEPT THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

MAINTENANCE

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. PLANTS SHALL BE KEPT DISEASE FREE. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND RESODDING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- REPLACE ANY REQUIRED PLANTING(S), WHICH ARE MORE 25% OR MORE DEAD AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

IRRIGATION

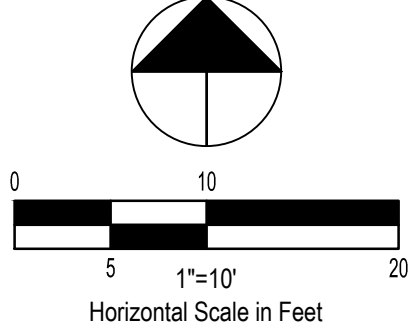
- IRRIGATION RELOCATION: CONTRACTOR SHALL VERIFY IF EXISTING IRRIGATION IS PRESENT. DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FIXTURE TYPES, AND POTENTIAL FOR EXPANSION. IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE THEN IT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA. IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPARATUS NEEDED FOR A COMPLETE IRRIGATION SYSTEM. IRRIGATED AREAS SHALL BE IRRIGATED BY SIMILAR EXISTING FIXTURES BY THE SAME SUPPLIER. CONTRACTOR SHALL ENSURE PAVEMENT AND PROPOSED EQUIPMENT WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES. SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE. PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO OWNER FOR APPROVAL. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

TOWN OF CASTLE ROCK LANDSCAPING NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WUMP.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPED AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXIST ON-SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACTOR PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

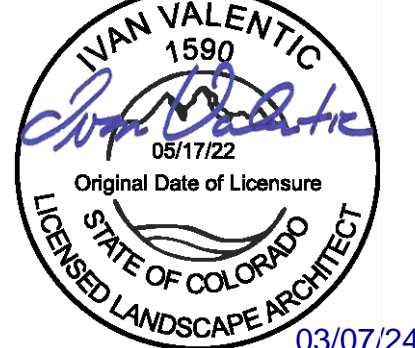
LEGEND

- PROPOSED EQUIPMENT CLEAR SPACE
- PROPOSED CONCRETE PAVEMENT, SEE C-111
- PROPOSED ASPHALT PAVEMENT SEE C-111
- PROPOSED ORNAMENTAL TREES
- PROPOSED SHRUB
- EXISTING PLANT MATERIAL (TREES, SHRUBS)



520 South Main Street, Suite 2531  
Akron, OH 44311  
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



03/07/24

SITE DEVELOPMENT PLAN  
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT 3A  
4612 MILESTONE LN, CASTLE ROCK, CO 80104

ENLARGED  
LANDSCAPE PLAN

PROJECT MANAGER	DESIGNER
IM	JLC

JOB NO.  
2023241.49

6 OF 6  
**L-101**  
TOWN OF CASTLE ROCK  
PROJECT NUMBER SDP23-0045