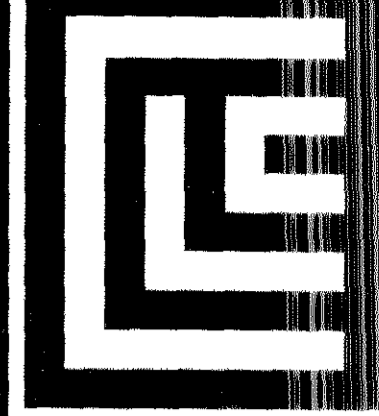


FINAL PD SITE PLAN

MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



CLC ASSOCIATES
 1840 E. BROADWAY RD.
 SUITE 2000
 FORT COLLINS, CO 80501
 P 970.770.5600
 F 970.770.5600
 CLCA@CLC.COM

ARCHITECTURE
 ENGINEERING PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

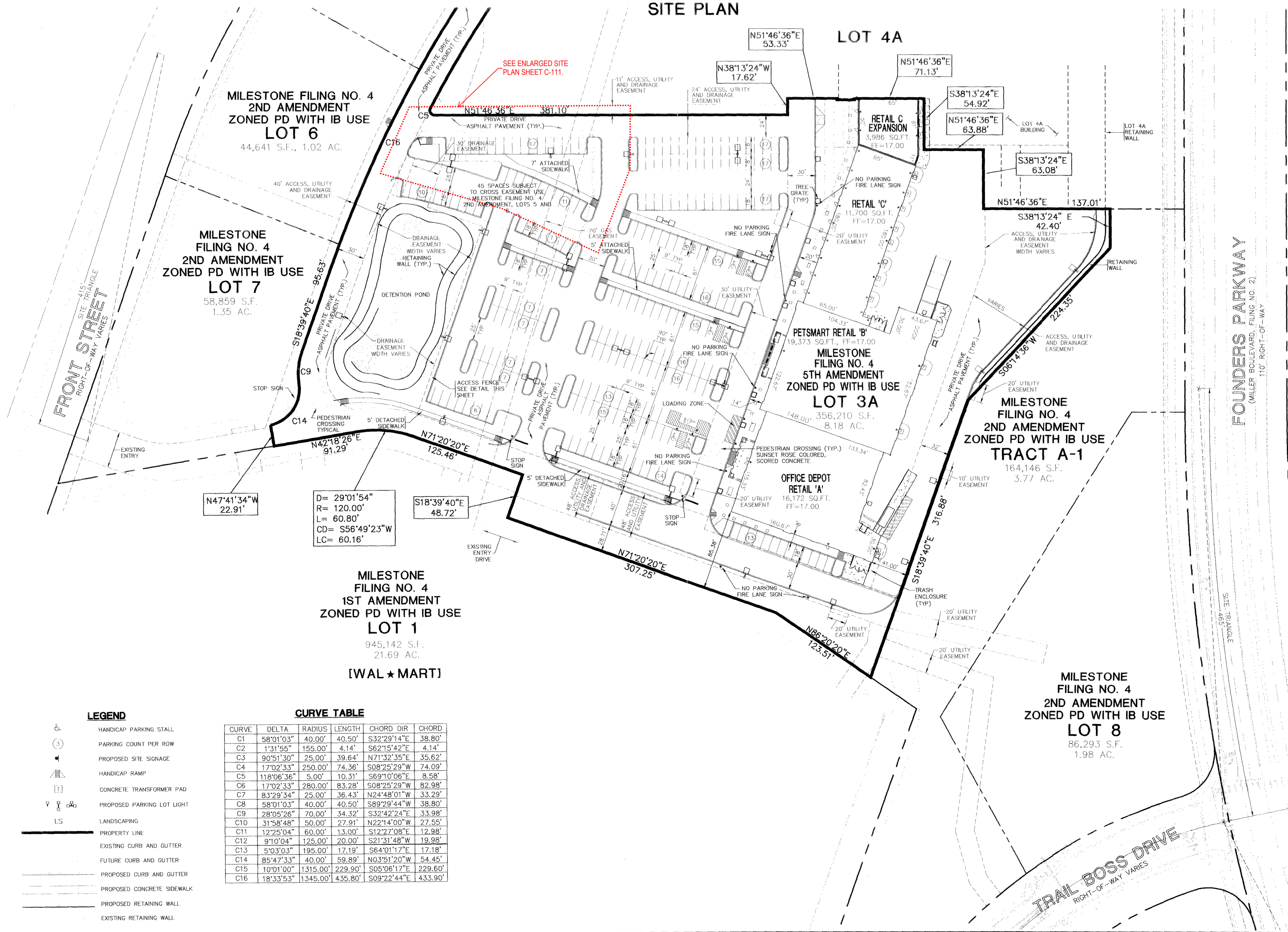
FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE 07/06/03
DESCRIPTION INITIAL ACCEPTANCE
DATE
DESCRIPTION
DATE
DESCRIPTION

PROJECT #: 99.135
DRAWN BY: JLS
DESIGNED BY: JDT
CHECKED BY: JDT

FOR
 REFERENCE
 ONLY
 2 OF 11
SP1
 TOWN OF CASTLE ROCK
 PROJECT NUMBER SDP23-0045

SITE PLAN



**MILESTONE FILING NO. 4
 2ND AMENDMENT
 ZONED PD WITH IB USE
 LOT 6**
 44,641 S.F., 1.02 AC.

**MILESTONE FILING NO. 4
 2ND AMENDMENT
 ZONED PD WITH IB USE
 LOT 7**
 58,859 S.F.,
 1.35 AC.

**MILESTONE FILING NO. 4
 1ST AMENDMENT
 ZONED PD WITH IB USE
 LOT 1**
 945,142 S.F.,
 21.69 AC.
[WAL ★ MART]

LEGEND

- HANDICAP PARKING STALL
- PARKING COUNT PER ROW
- PROPOSED SITE SIGNAGE
- HANDICAP RAMP
- CONCRETE TRANSFORMER PAD
- PROPOSED PARKING LOT LIGHT
- LANDSCAPING
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- FUTURE CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD DIR	CHORD
C1	58°01'03"	40.00'	40.50'	S32°29'14"E	38.80'
C2	1°31'55"	155.00'	4.14'	S62°15'42"E	4.14'
C3	90°51'30"	25.00'	39.64'	N71°32'35"E	35.62'
C4	17°02'33"	250.00'	74.36'	S08°25'29"W	74.09'
C5	118°06'36"	5.00'	10.31'	S69°10'06"E	8.58'
C6	17°02'33"	280.00'	83.28'	S08°25'29"W	82.98'
C7	83°29'34"	25.00'	36.43'	N24°48'01"W	33.29'
C8	58°01'03"	40.00'	40.50'	S69°29'44"W	38.80'
C9	28°05'26"	70.00'	34.32'	S32°42'24"E	33.98'
C10	31°58'48"	50.00'	27.91'	N22°14'00"W	27.55'
C11	12°25'04"	60.00'	13.00'	S12°27'08"E	12.98'
C12	9°10'04"	125.00'	20.00'	S21°31'48"W	19.98'
C13	5°03'03"	195.00'	17.19'	S64°01'17"E	17.18'
C14	85°47'33"	40.00'	59.89'	N03°51'20"W	54.45'
C15	10°01'00"	1315.00'	229.90'	S05°06'17"E	229.60'
C16	18°33'53"	1345.00'	435.80'	S09°22'44"E	433.90'

D = 29°01'54"
 R = 120.00'
 L = 60.80'
 CD = S56°49'23"W
 LC = 60.16'

Drawing Name: 0120220224148 - TRT 26628 - Castle Rock, CO - Milestone Lindng020224148 - Castle Rock, CO - Site Development Planning
 March 27, 2025 9:37 AM - R/mjg



RADIUS: 5.00'
 ARC LENGTH: 10.31'
 DELTA ANGLE: 118°06'36"
 CHORD BEARING S69°29'15"E
 CHORD LENGTH: 8.58'

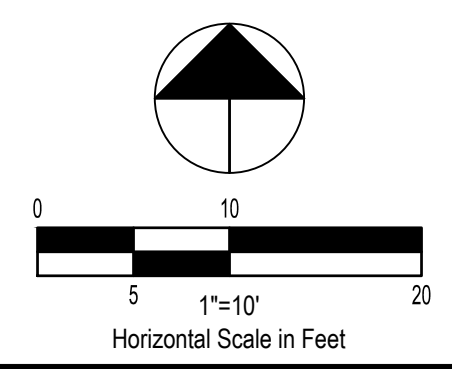
LOT 3A
 MILESTONE FILING NO. 4
 FIFTH AMENDMENT
 APN: 2351-263-03-016
 OWNER: VALORADO LLC

30'-0" DRAINAGE EASEMENT
 DOC. NO 2003133644

20'-0" GAS EASEMENT
 DOC. NO 2003133644

24'-0" ACCESS UTILITY &
 DRAINAGE EASEMENT
 DOC. NO 2003133644

APN: 2351-263-03-017
 OWNER: KOHLS DEPARTMENT
 STORES, INC



GENERAL SHEET NOTES

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING, APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SLOPES AND GRADES PRIOR TO CONSTRUCTION. FINAL GRADES SHALL BE DETERMINED IN FIELD BY THE CONTRACTOR AND APPROVED BY THE CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.
- CONTRACTOR SHALL ENSURE SLOPES OF PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S) ARE COMPLIANT WITH NATIONAL ADA STANDARDS. NO SLOPE SHALL EXCEED 2% IN ANY DIRECTION WITHIN PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S). CONTRACTOR SHALL REMOVE AND REGRADE AREA(S) AS REQUIRED TO ACHIEVE NECESSARY SLOPES. CONTRACTOR SHALL INSTALL FINAL PAVEMENT MARKINGS IN ACCORDANCE WITH THE CURRENT AHJ'S REGULATIONS.

PLAN KEYNOTES

- PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY.
- PROPOSED UTILITY METER AND CT CABINET MOUNTED IN SWITCHGEAR PER ELECTRIC COMPANY SPECIFICATIONS.
- PROPOSED SWITCHGEAR ASSEMBLY WITH INTEGRATED TESLA SITE CONTROLLER AND PRIMARY BROADCAST UNIT PER ELECTRICAL DRAWINGS. SEE CIVIL DETAILS FOR ANCHORAGE.
- PROPOSED TESLA SUPERCHARGER CABINET (TYPICAL OF 4). SEE CIVIL DETAILS.
- PROPOSED TESLA SUPERCHARGER POST WITH INDIVIDUAL PRECAST CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 15). SEE CIVIL DETAILS.
- PROPOSED TESLA SUPERCHARGER POST WITH CAST-IN-PLACE CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 1). SEE CIVIL DETAILS.
- PROPOSED NON-ILLUMINATED PARKING SIGN (TYPICAL OF 1). SEE CIVIL DETAILS. SEE SUPERCHARGER POST SCHEDULE. THIS SHEET. MOUNT SIGN POST IN BOLLARD AS NOTED. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT SIGN TO LIGHT POLE IN LIEU OF POST AND/OR BOLLARD.
- PROPOSED CONCRETE EQUIPMENT PAD. SEE CIVIL DETAILS.
- PROPOSED PAINTED 4" WIDE SOLID STRIPE TO MATCH EXISTING STRIPING IN COLOR.
- PROPOSED PAINTED 4" WIDE TRANSVERSE STRIPING TO MATCH EXISTING STRIPING IN COLOR. STRIPING SHALL BE 3'-0" O.C. SEE CIVIL DETAILS.
- PROPOSED 6" CONCRETE CURB TO MATCH EXISTING. SEE CIVIL DETAILS.
- PROPOSED FLUSH CONCRETE CURB WITH GUTTER. SEE CIVIL DETAILS.
- PROPOSED CRASH CORE DETERRENT BOLLARD (TYPICAL OF 3). SEE CIVIL DETAILS.
- ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE SHEET L-101.
- PROPOSED TRASH CAN AND RECYCLING BIN (TYPICAL OF 2 EACH). SEE CIVIL DETAILS.
- PROPOSED INTEGRATED CONCRETE RAMP (TYPICAL 2). SEE CIVIL DETAILS.
- PROPOSED FLUSH TO PAVEMENT CONCRETE WALK. SEE CIVIL DETAILS.
- PROPOSED WIRELESS ACCESS POINT (TYPICAL OF 2). MOUNT PER MANUFACTURER'S SPECIFICATIONS AT MINIMUM 10'-0" ABOVE GRADE. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT TO EXISTING LIGHT POLE.
- PROPOSED SHRUBS (TYPICAL OF 9). SEE SHEET L-101.
- PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 3). SEE SHEET L-101.
- PROPOSED LANDSCAPE STONE. SEE SHEET L-101.
- PROPOSED AREA LIGHT ON CONCRETE FOUNDATION. SEE CIVIL DETAILS.
- PROPOSED ORNAMENTAL GRASS (TYPICAL OF 8). SEE SHEET L-101.

LEGEND

- PROPOSED EQUIPMENT CLEAR SPACE
- PROPOSED CONCRETE PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED.
- PROPOSED ASPHALT PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED.
- EX. PROPERTY LINE
- EX. FENCING
- EX. UG ELECTRICAL LINE
- EX. OH ELECTRICAL LINE
- EX. UG FIBER LINE
- EX. UG GAS LINE
- EX. UG SANITARY SEWER LINE
- EX. UG STORM SEWER LINE
- EX. TELEPHONE LINE
- EX. UG WATER LINE



520 South Main Street, Suite 2531
 Akron, OH 44311
 330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
B	10/22/2024	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
C	01/28/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
D	03/26/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
 LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
 4612 MILESTONE LN, CASTLE ROCK, CO 80104

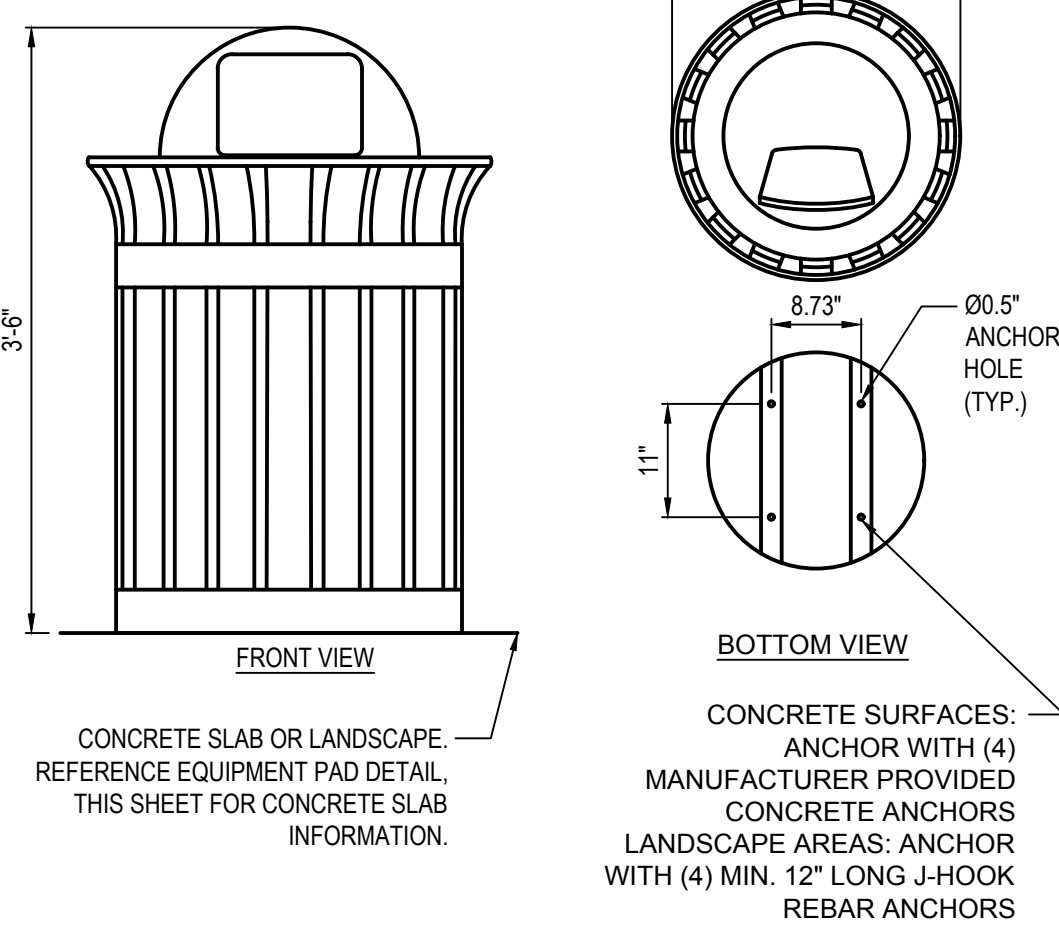
**ENLARGED
 CIVIL SITE PLAN**

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

3 OF 11
C-111
 TOWN OF CASTLE ROCK
 PROJECT NUMBER SDP23-0045

NOTE:
TRASH BIN AND RECYCLING
TO BE PROVIDED BY TESLA.



C-1 TRASH CAN / RECYCLING BIN
N.T.S.

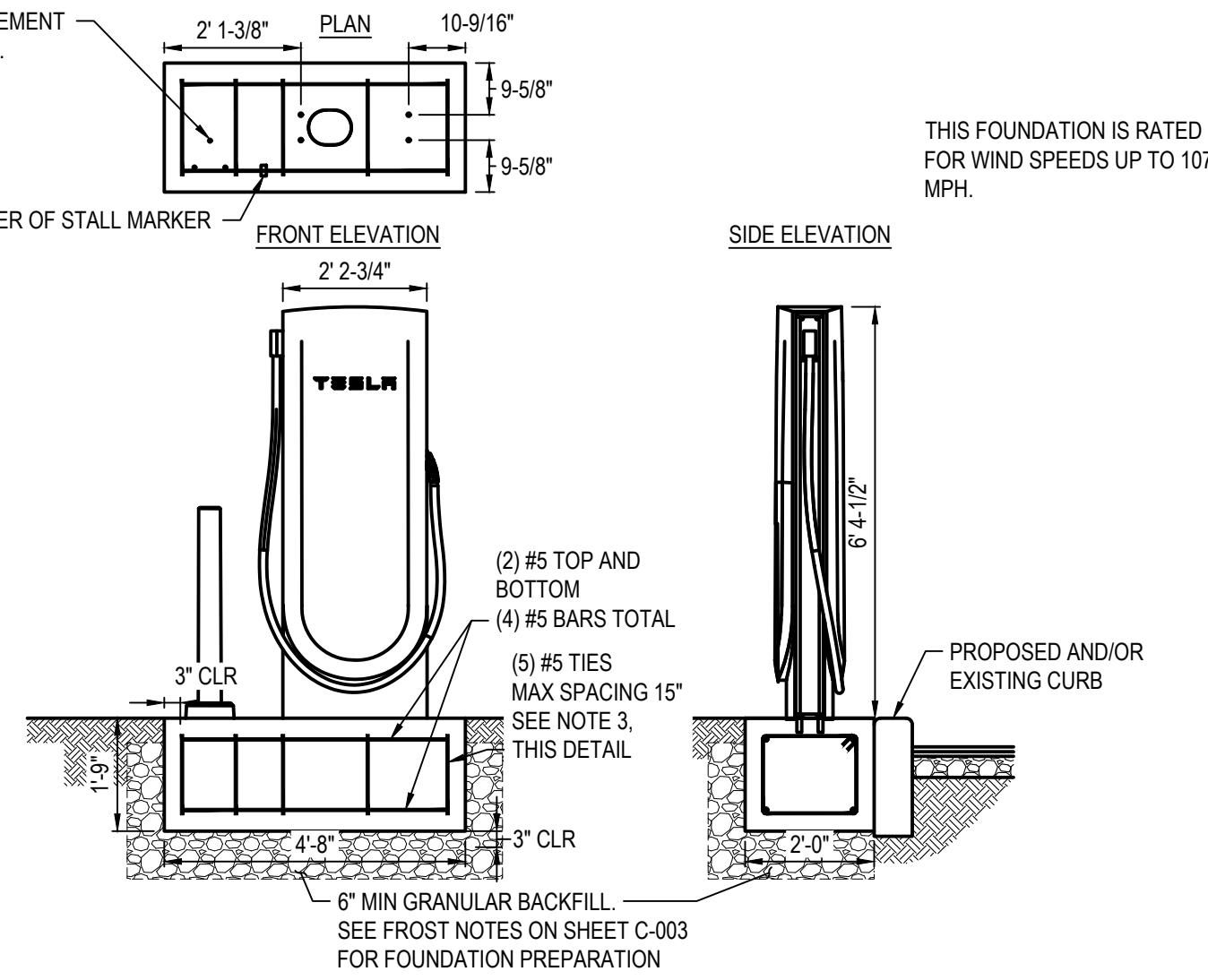
NOTES

- SEE FROST NOTES ON GENERAL NOTES SHEETS FOR FOUNDATION PREPARATION.
- CONTRACTOR SHALL PROTECT EXISTING CURB AND PAVEMENT DURING INSTALLATION. REPAIR OR REPLACE AS REQUIRED, MATCHING OR EXCEEDING EXISTING CONDITIONS/SPECIFICATIONS.
- CONTRACTOR SHALL PLACE REBAR IN A CONFIGURATION THAT DOES NOT CONFLICT WITH ANCHORS AND CONDUIT WINDOW.

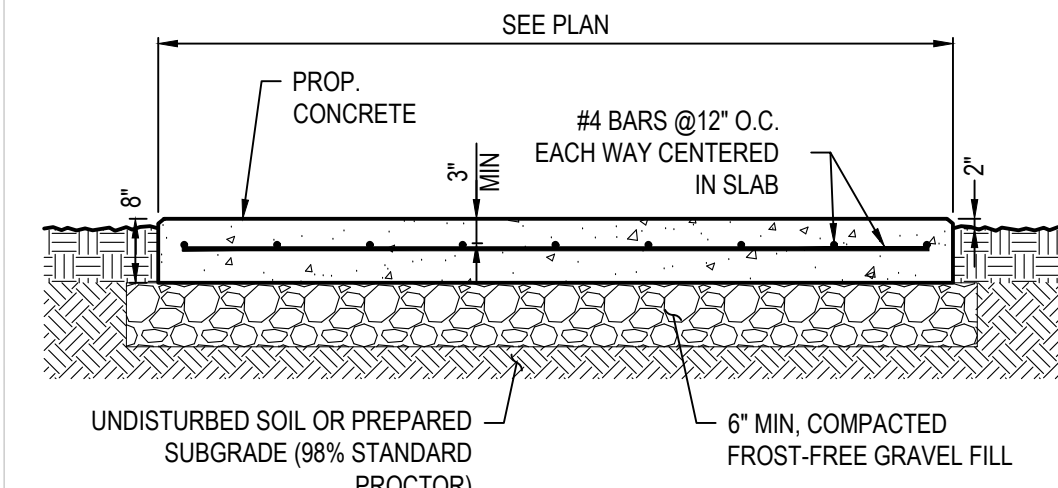
ANCHORAGE NOTES

- 1/2" DIA SS THREADED ROD WITH HILTI HIT-HY 200 V3 ADHESIVE ANCHOR SYSTEM WITH 6" MIN EMBEDMENT PER ESR-4868, OR APPROVED EQUAL.

COORDINATE BOLLARD PLACEMENT ON FOUNDATION WITH TESLA.



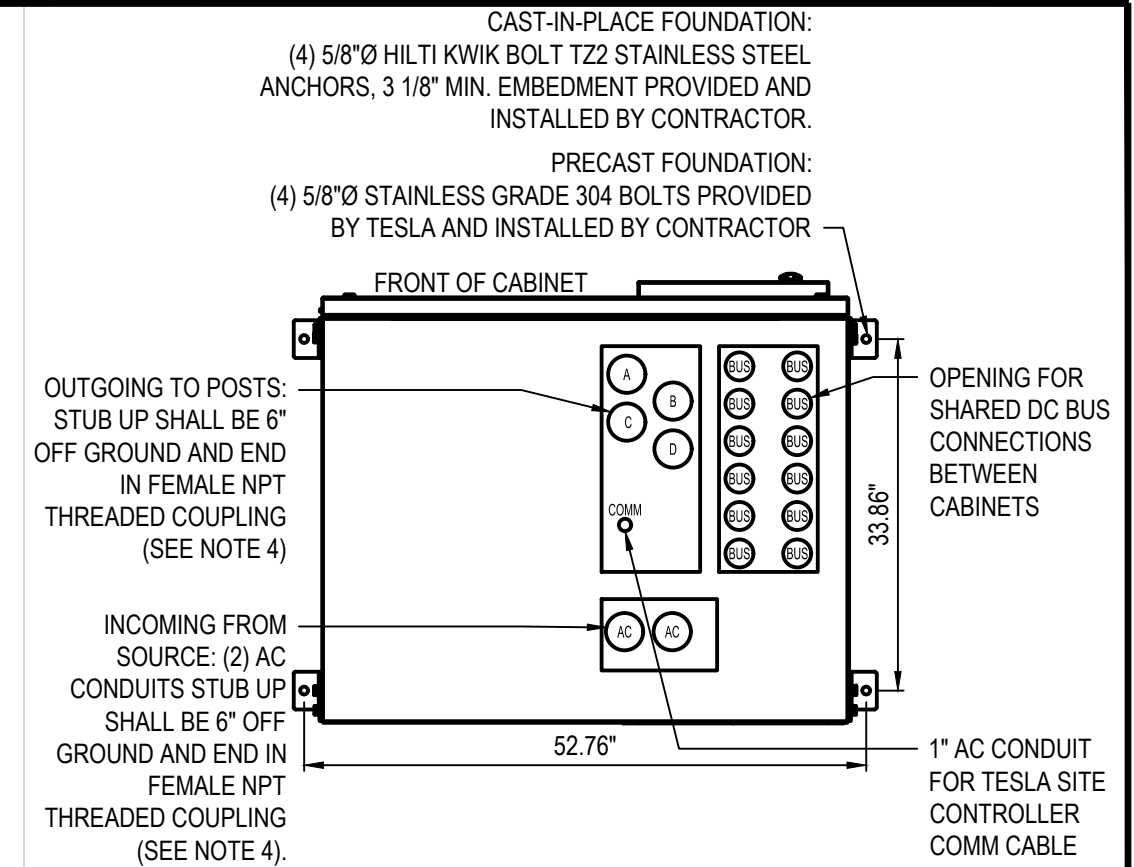
C-2 TESLA SUPERCHARGER CAST-IN-PLACE FOUNDATION
N.T.S.



CONCRETE PAD NOTES & CONCRETE SPECIFICATIONS:

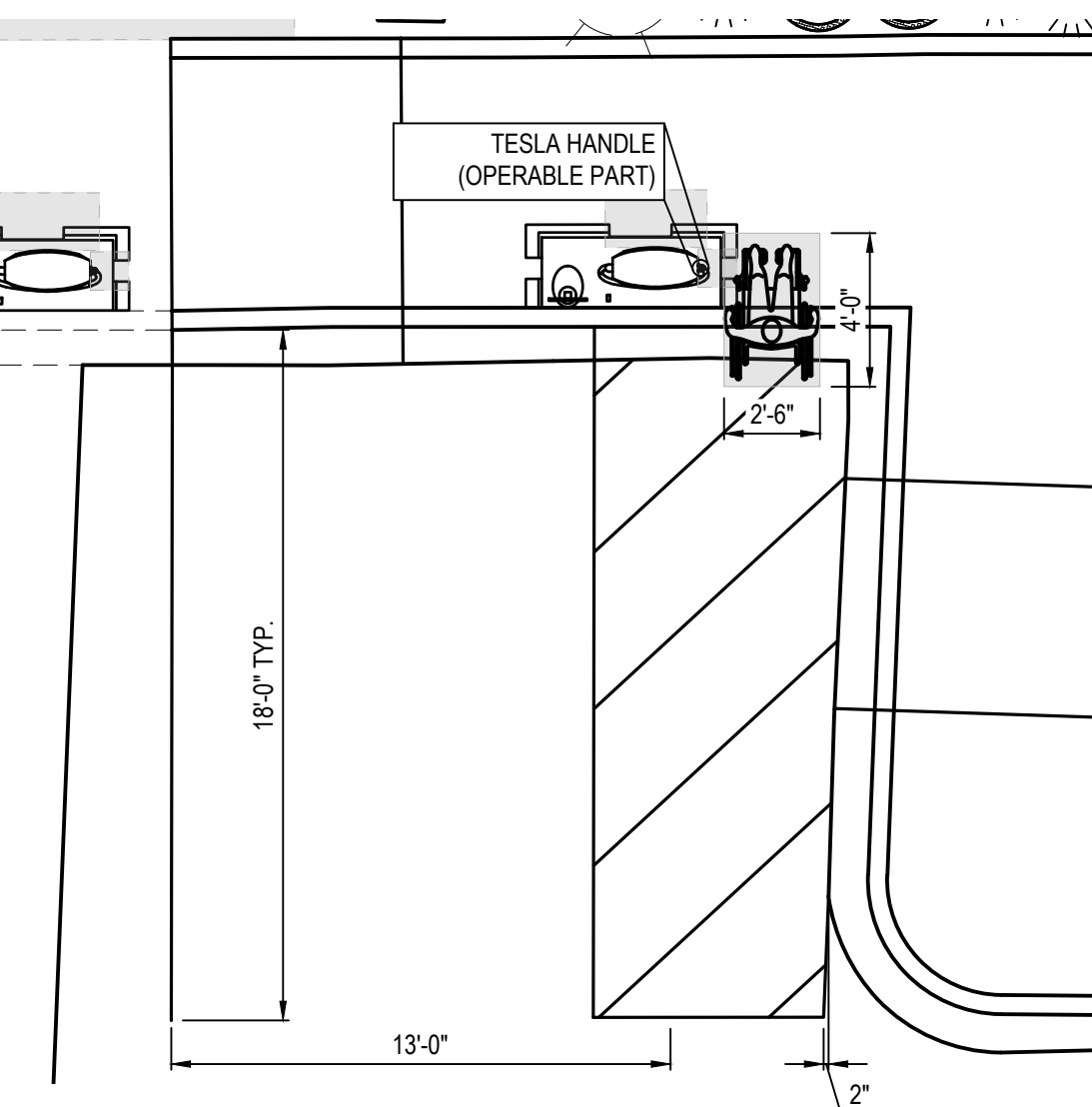
- FOUNDATION AREA SHALL BE EXCAVATED TO THE DEPTH AND DIMENSIONS SHOWN ON THE PLANS. OTHER UNSUITABLE MATERIAL SHALL BE REMOVED AND LEGALLY DISPOSED OF OFF-SITE. THE SUBGRADE SHALL BE ROLLED WITH A 1-TON, VIBRATORY, WALK-BEHIND ROLLER AT A SPEED OF LESS THAN 2 FPS, 6 PASSES MINIMUM TO PROVIDE UNYIELDING SURFACE.
- UNDERCUT SOFT OR "WEAVING" AREAS A MINIMUM OF 12 INCHES DEEP. BACKFILL UNDERCUT AREA WITH FILL MEETING THE SPECIFICATIONS OF STRUCTURAL FILL. ALL REINFORCING TO HAVE MINIMUM CONCRETE COVER PER ACI SPECIFICATIONS.
- ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL CONFORM TO ACI 318-14 AND APPLICABLE STATE BUILDING CODE.
- PAD SHALL BE A MINIMUM OF 8" IN THICKNESS. THICKNESS OF PAD SHALL INCREASE AS THE PERIMETER SOIL SURFACE SLOPES TO MAINTAIN A MINIMUM OF 6" OF SOIL COVER TO THE BOTTOM OF THE PAD.

C-4 EQUIPMENT PAD
N.T.S.



- NOTE:
- TESLA PROVIDED TEMPLATE PLATE TO BE USED TO LAYOUT CHARGING CABINET ANCHORING BOLT LOCATIONS AND CONDUIT STUB UP LOCATIONS.
 - BOLT HOLES FOR REFERENCE ONLY.
 - USE DOTTIE DUCT SEAL, COMPOUND PC 6130 (CAT NO LHD1) TO SEAL ENDS OF CONDUIT (TYP. ALL CONDUITS FOR CHARGING CABINETS AND CHARGE POSTS).
 - USE BELL FITTINGS ON ALL AC AND DC CONDUIT STUBS
 - SEE DETAIL THIS SHEET FOR FOUNDATION DETAIL IF APPLICABLE

C-5 TESLA SUPERCHARGER CABINET ANCHOR BOLT PLAN
N.T.S.

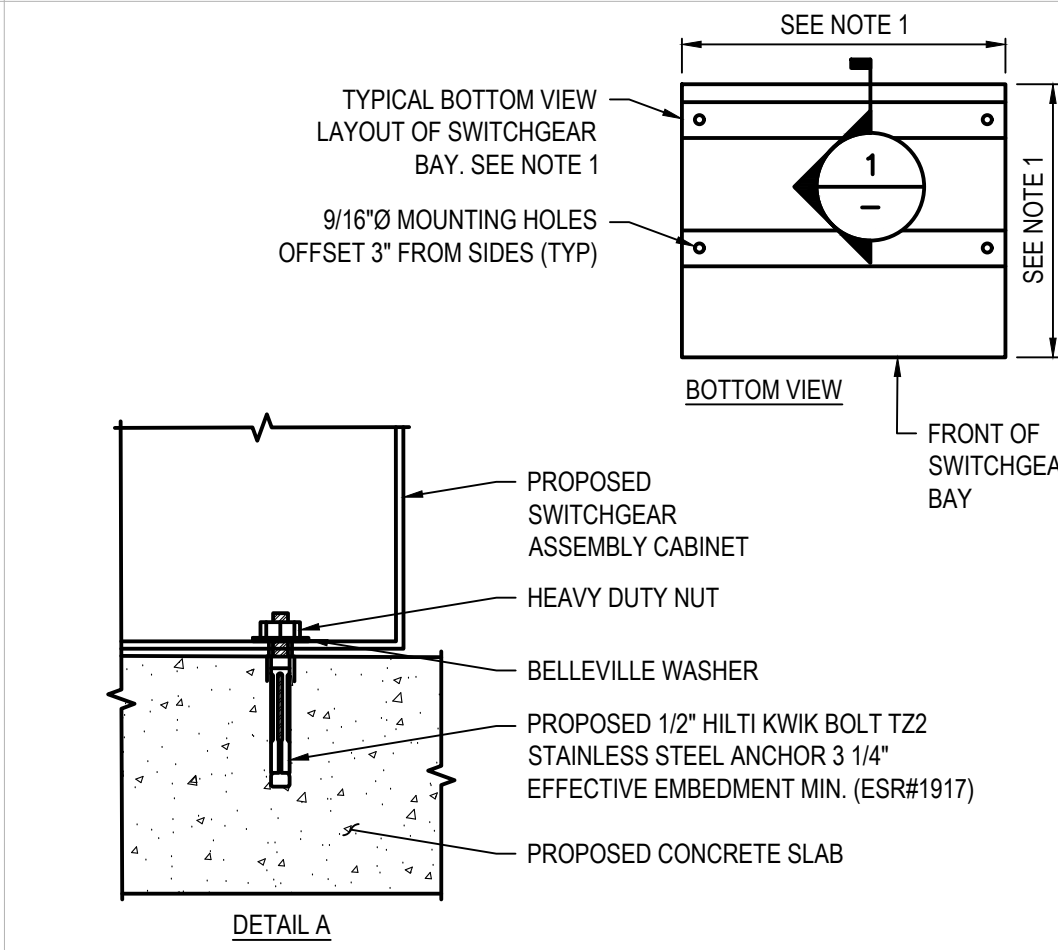
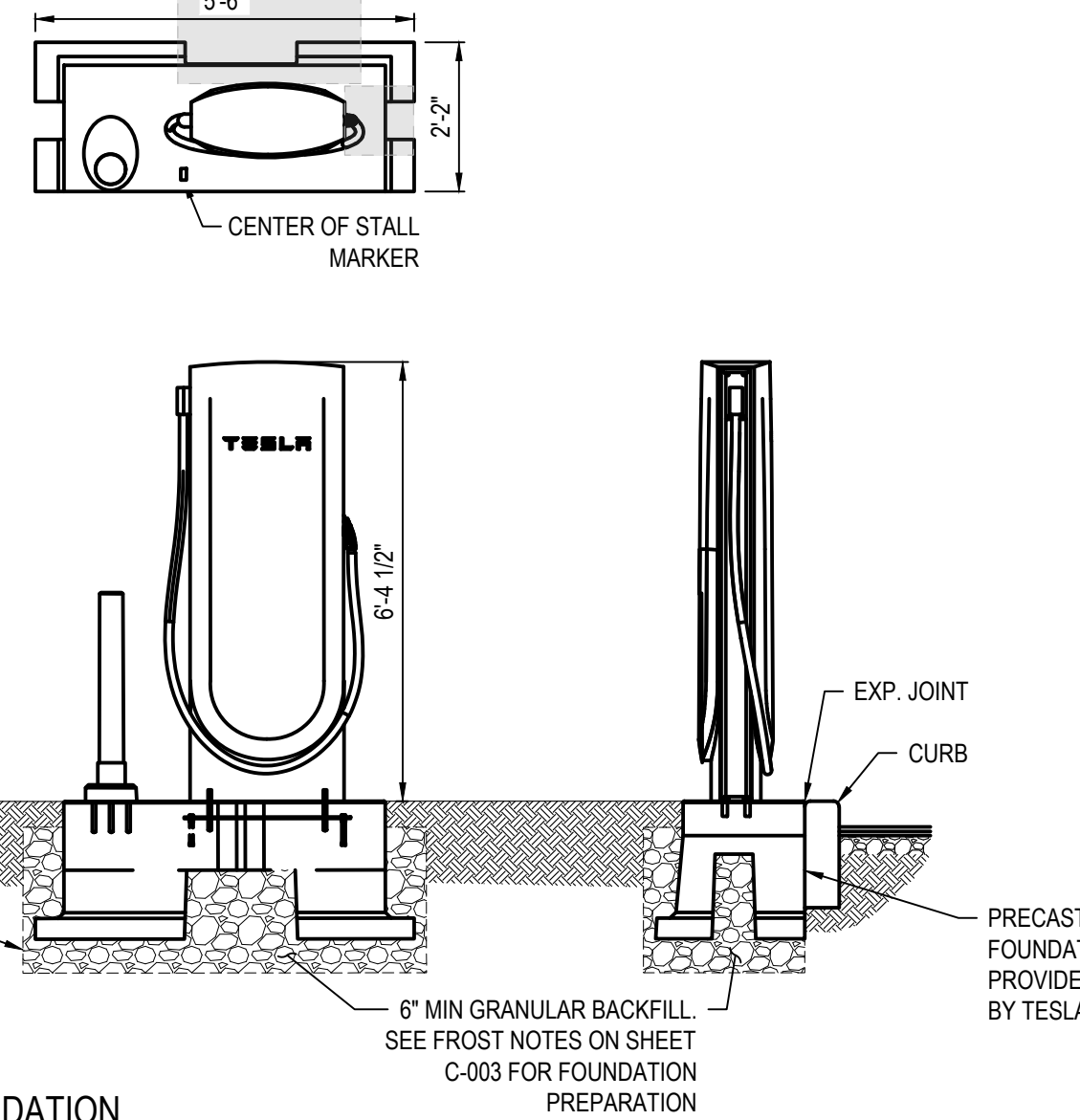


B-1 ACCESSIBLE REACH PLAN
N.T.S.

NOTES

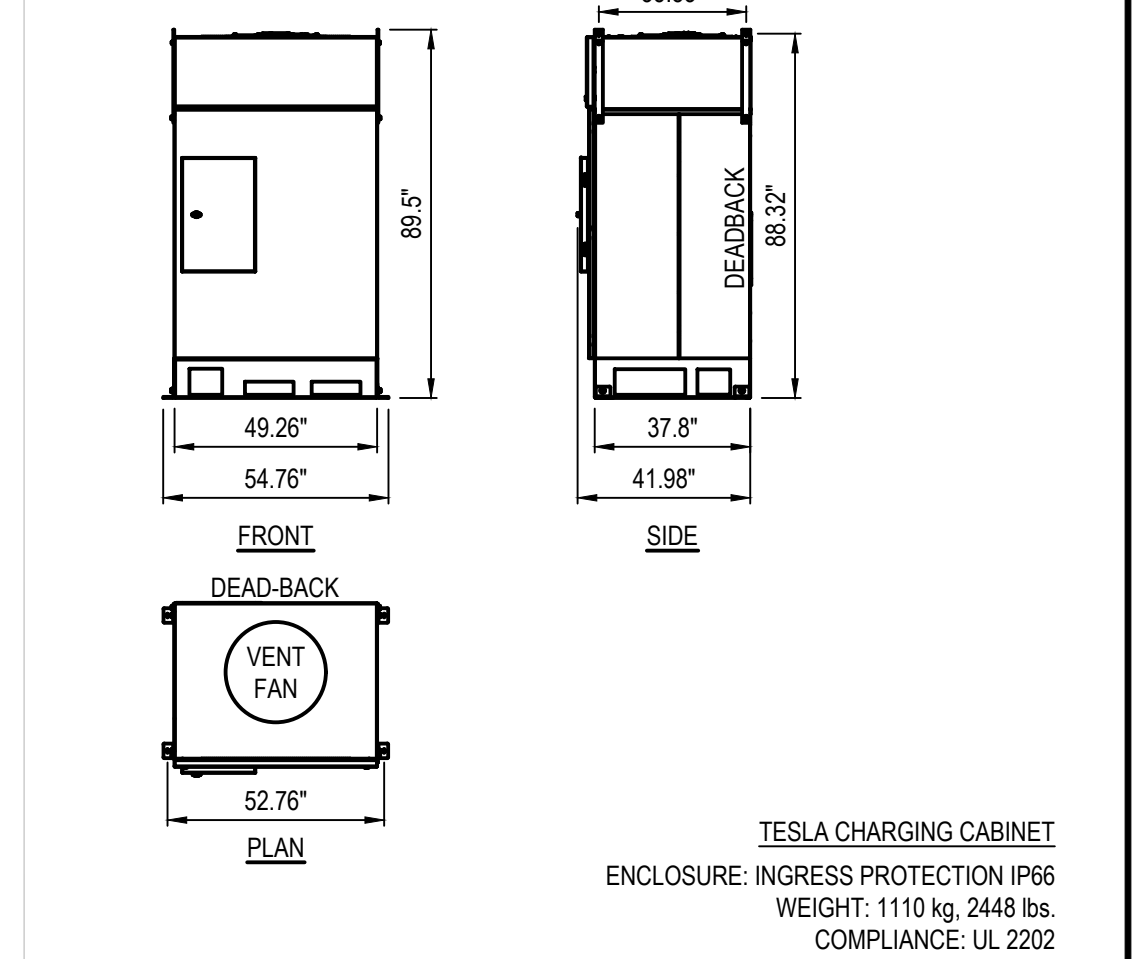
- PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
- PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
- CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
- SEE FROST NOTES ON C-003 FOR FOUNDATION PREPARATION.
- PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN.

B-2 TESLA SUPERCHARGER ON PRECAST FOUNDATION
N.T.S.



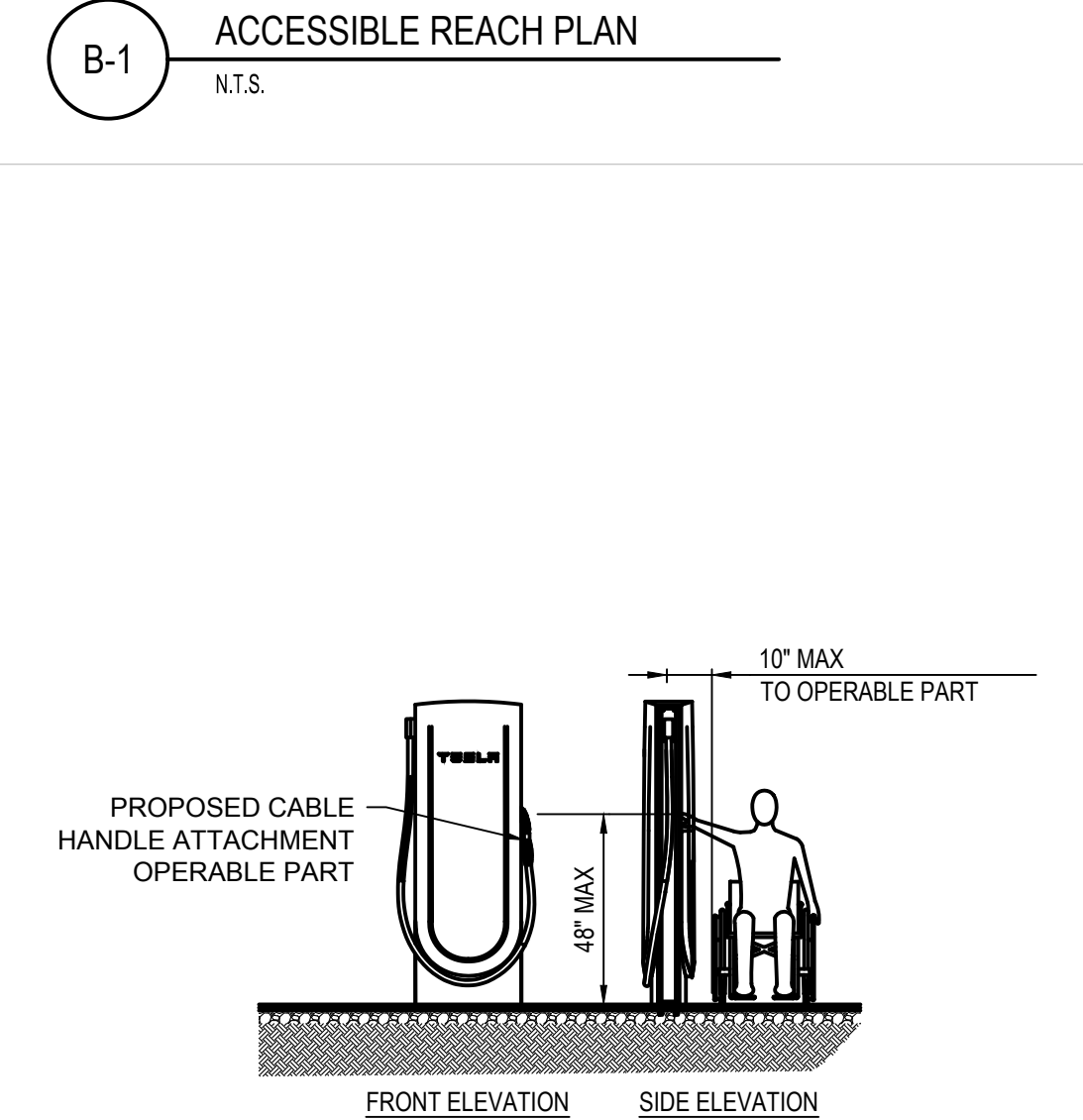
- REFER TO SWITCHGEAR MANUFACTURER DRAWINGS FOR MOUNTING HOLE LOCATIONS, SWITCHGEAR BAY DIMENSIONS, AND BASE CHANNEL DIMENSIONS.
- MINIMUM EDGE DISTANCE FOR PROPOSED ANCHORAGE SHALL BE 8".

B-4 MOUNTING FOR Z-POWER SWITCHGEAR
N.T.S.

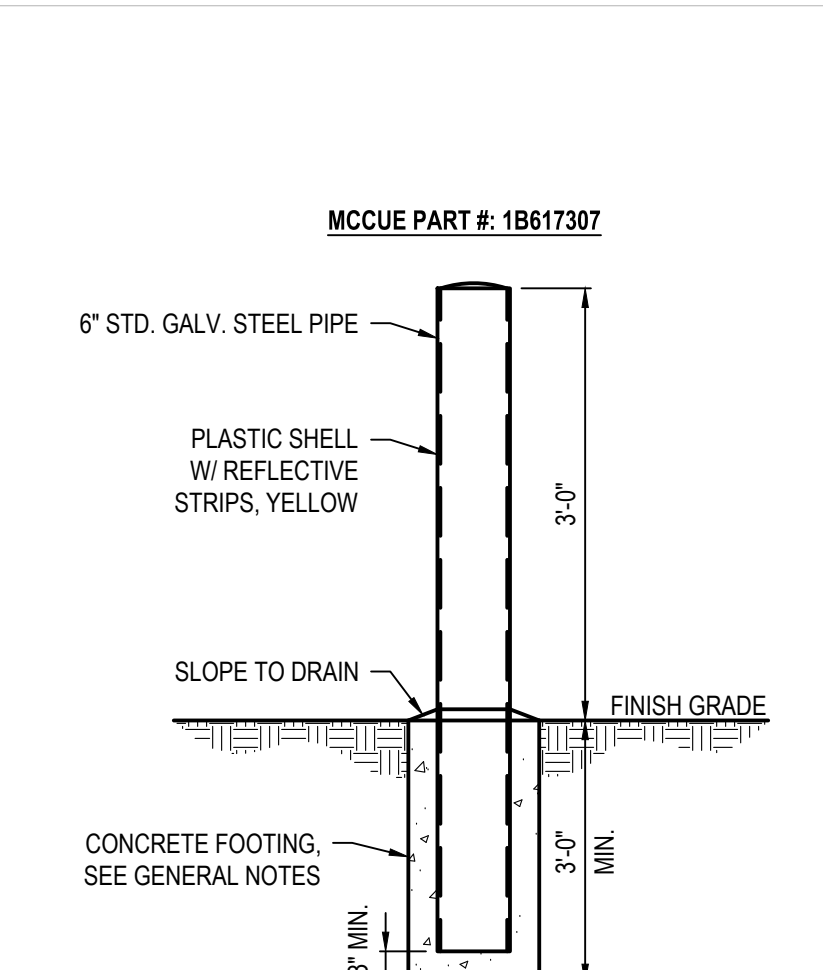


- NOTES:
- CABINET SHOULD BE LIFTED USING ROOF MOUNTED EYE HOOKS. A FORKLIFT OR PALLET JACK CAN ALSO BE USED TO MOVE CABINET IF DONE PROPERLY.
 - VERIFY CABINET PART# AND ASSOCIATED DIMENSIONS PRIOR TO CONSTRUCTION.

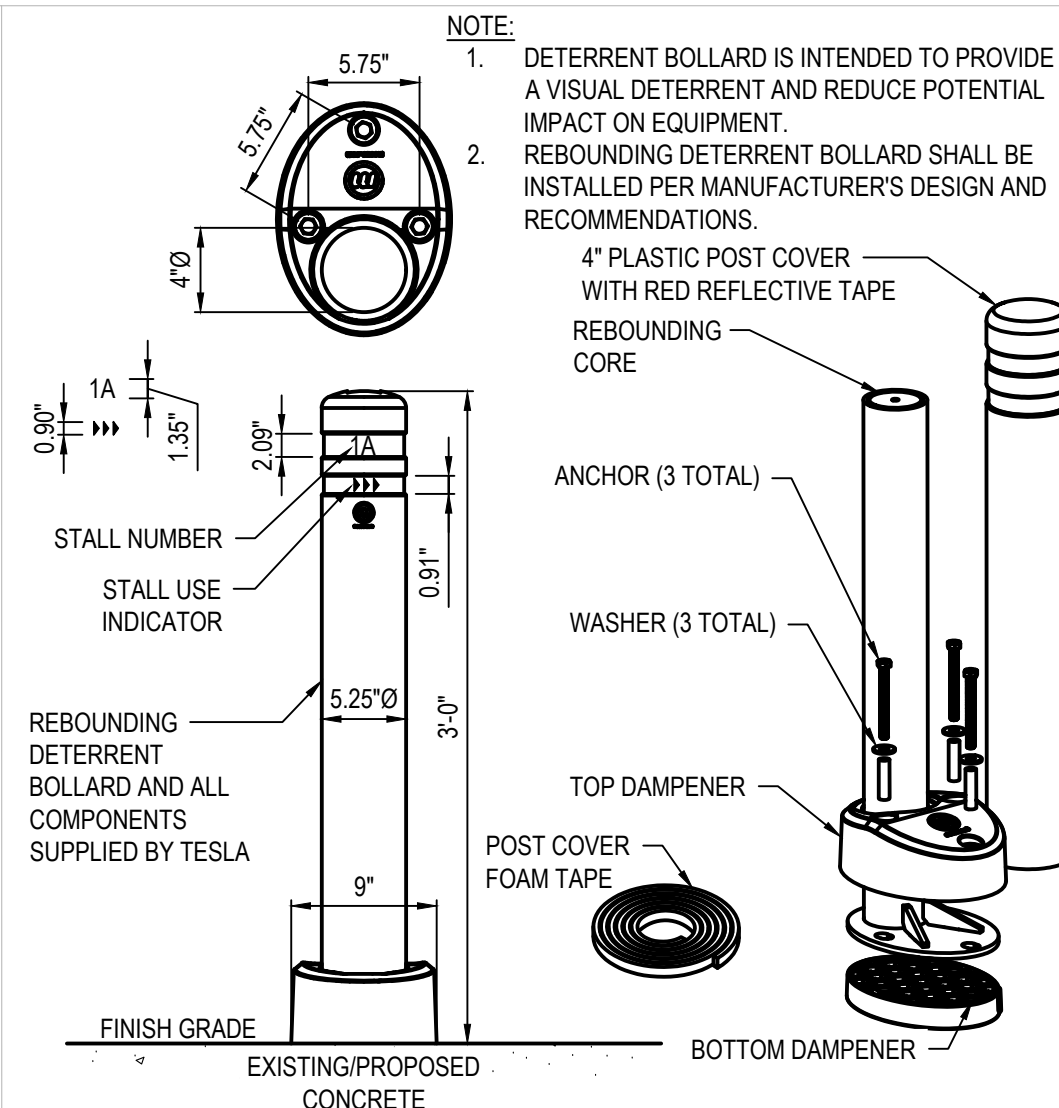
B-5 TESLA SUPERCHARGER CABINET DIMENSIONS
N.T.S.



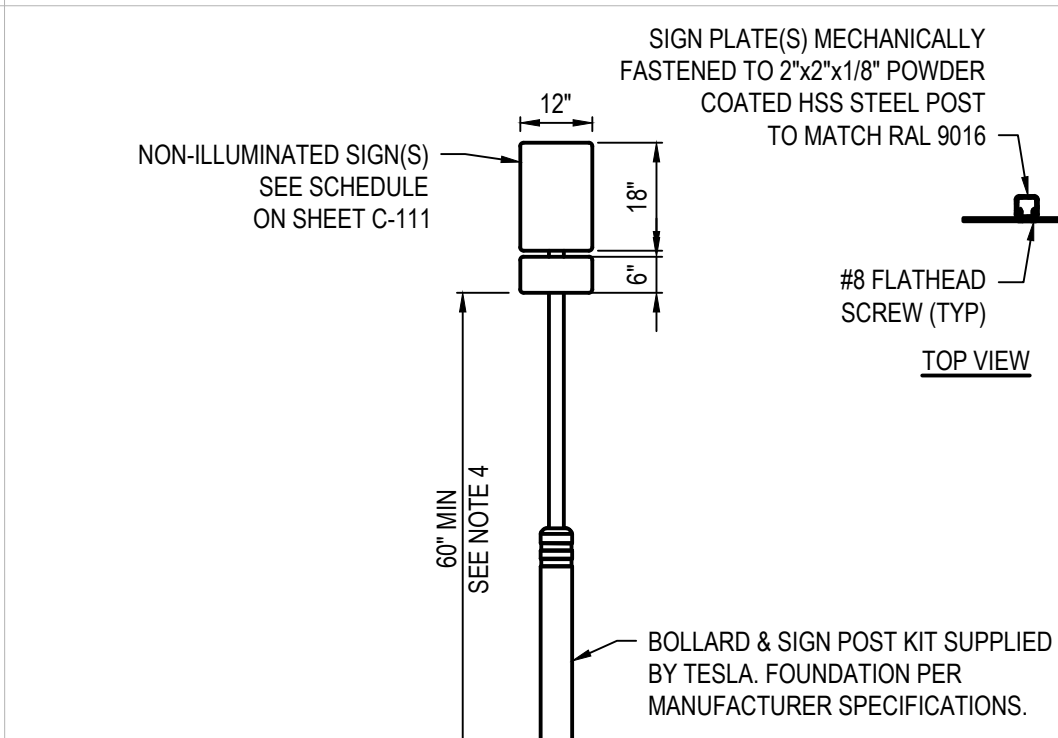
A-1 ACCESSIBLE REACH ELEVATION
N.T.S.



A-2 DEEP MOUNT DETERRENT BOLLARD
N.T.S.

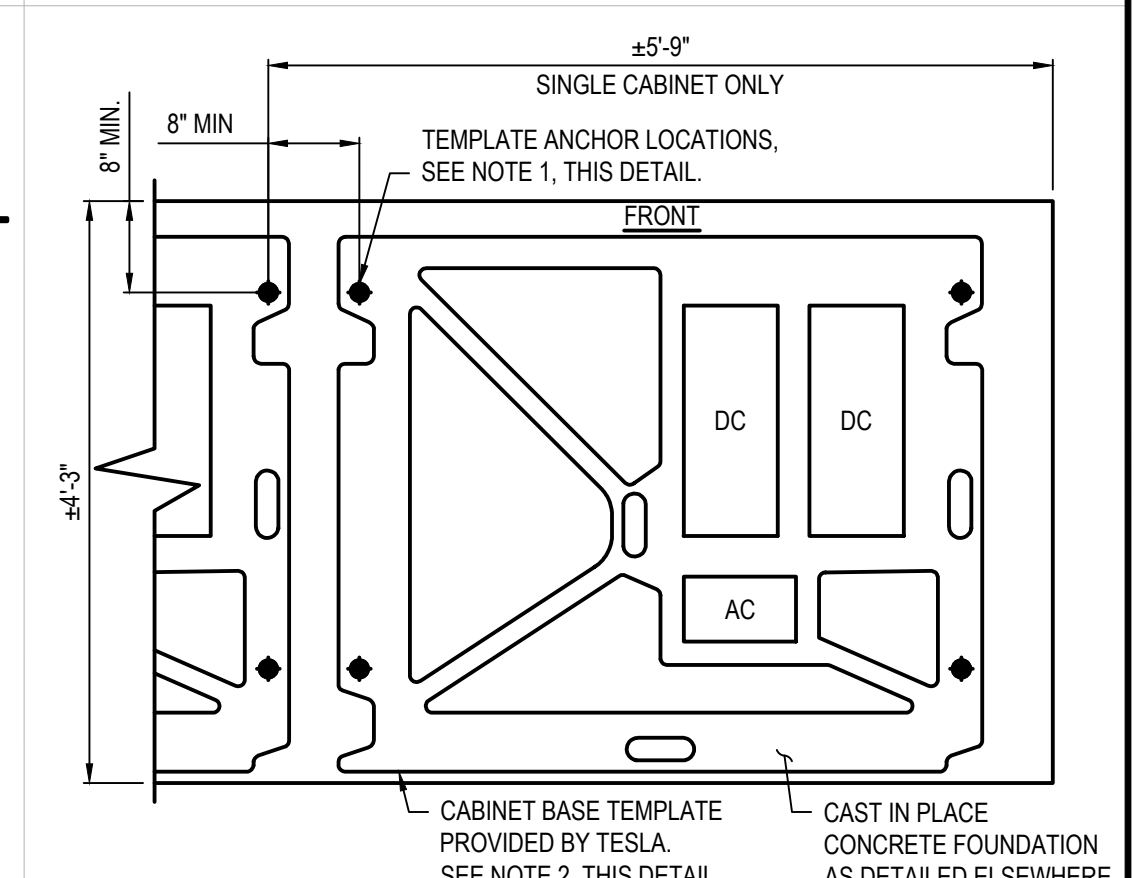


A-3 REBOUNDED DETERRENT BOLLARD
N.T.S.



- GENERAL CONTRACTOR TO SUPPLY HARDWARE & POST
- IF PAINT FINISH IS DAMAGED DURING INSTALLATION, CONTRACTOR SHALL REPAINT AS REQUIRED (VERIFY REFLECTIVITY WITH OWNER).
- SIGN POST SHALL BE PLUGGED & CAPPED TO PREVENT WATER INTRUSION FROM TOP.
- VERIFY SIGNAGE FOR EACH DISPENSER WITH SCHEDULE ON SHEET C-111. LOWEST MOUNTED SIGN SHALL HAVE A 60" MINIMUM CLEARANCE. WHEN INSTALLED IN PEDESTRIAN WALKWAY, CLEARANCE SHALL BE 80".

A-4 NON-ILLUMINATED SIGN
N.T.S.



- NOTES
- CHARGING CABINET SHALL BE ANCHORED TO CAST-IN-PLACE FOUNDATION WITH ANCHORS AS DENOTED IN DETAIL C-5, THIS SHEET. PROVIDED AND INSTALLED BY CONTRACTOR. PROVIDE 8" MIN. EDGE DISTANCE AND 8" MIN. BOLT SPACING.
 - CHARGING CABINET BASE TEMPLATE SHOWN FOR REFERENCE ONLY. CONTRACTOR SHALL COORDINATE WITH TESLA FOR EXACT DIMENSIONS AND SPECIFICATIONS.
 - SEE SITE PLAN FOR OVERALL PAD SIZE AND CABINET QUANTITIES.

A-5 TESLA SUPERCHARGER CABINET BASE TEMPLATE
N.T.S.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

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A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
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E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

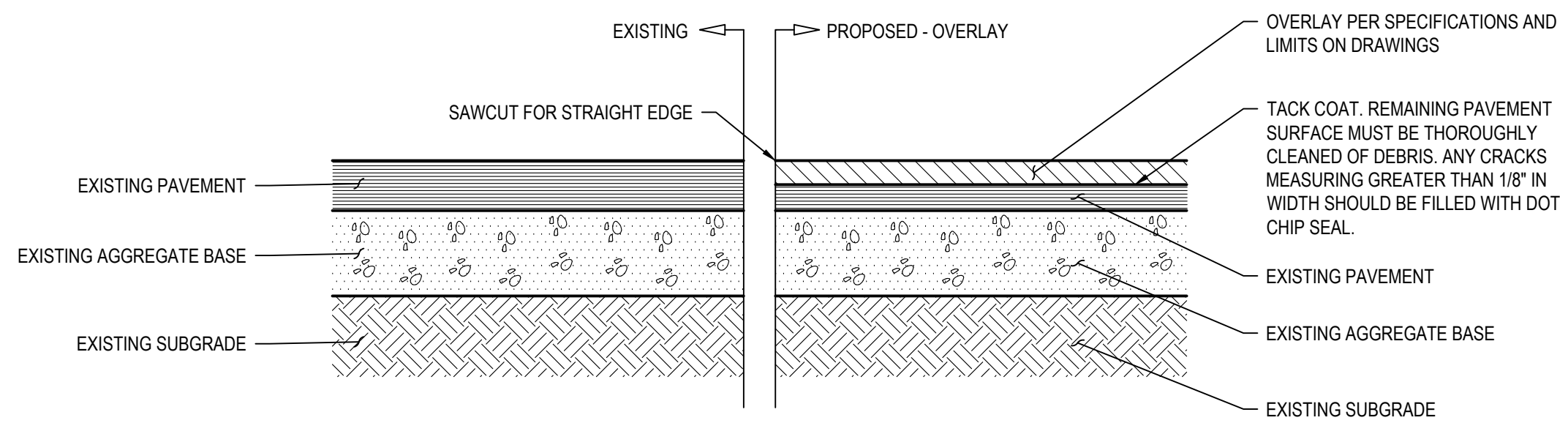
PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

4 OF 11
C-201
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

CIVIL DETAILS

Drawing Name: C-2023241.49 - TR172628 - Castle Rock, CO - Milestone Filing/2023241.49 - Castle Rock, CO - Site Development Planning
March 27, 2025 3:37 AM - R/mrgard

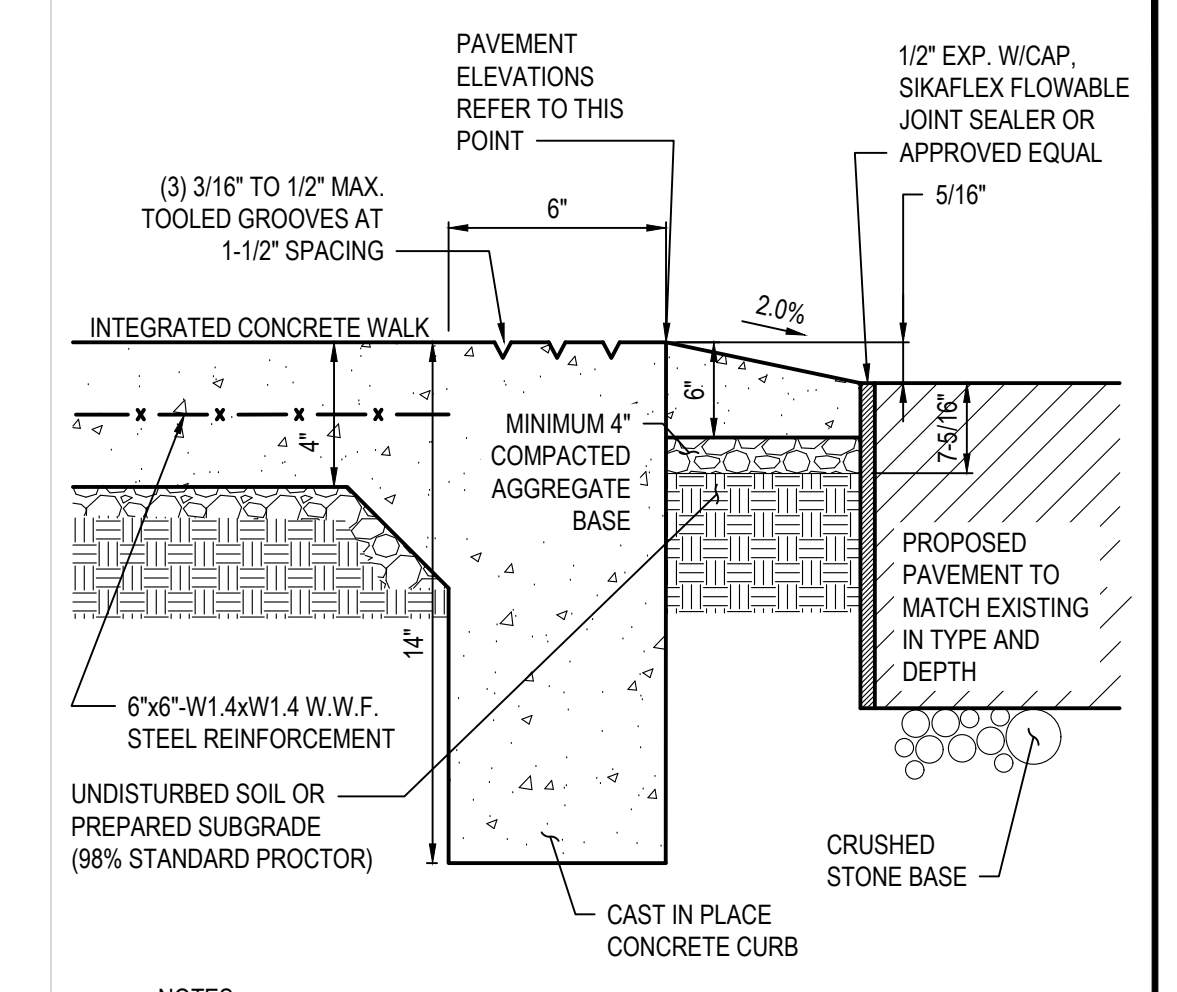
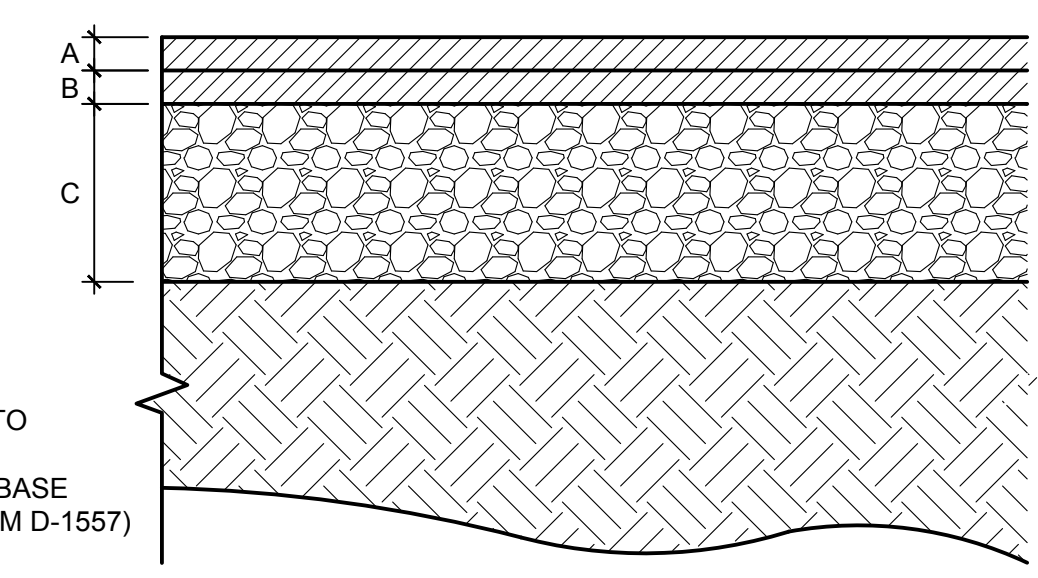


C-1 OVERLAY ASPHALT
N.T.S.

STANDARD DUTY PAVING
 A = 1.5" ASPHALT CONCRETE - SURFACE COURSE
 B = 2" ASPHALT CONCRETE - BASE COURSE
 C = 6" MIN. AGGREGATE BASE COURSE

- ASPHALT PAVING NOTES**
1. SUBGRADE COMPACTION: TO BE EVALUATED BY QUALIFIED GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE PRIOR TO GRANULAR SUBBASE.
 2. BASE COURSE TO CONFORM TO (STATE DOT) STANDARDS FOR BASE COURSE COMPACTION TO 98% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY
 3. ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS MANUAL OR EOR APPROVED ALTERNATIVE.
 4. PROVIDE TACK COAT BETWEEN BASE COURSE AND SURFACE COURSE IF DEPARTMENT OF TRANSPORTATION SPECIFICATIONS REQUIRE OR CONDITIONS WARRANT.
 5. FIELD VERIFY EXISTING PAVEMENT THICKNESS AND MATCH. VALUES LISTED ABOVE ARE THE MINIMUM PAVEMENT THICKNESS TO BE MET.
 6. PROVIDE JOINT SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

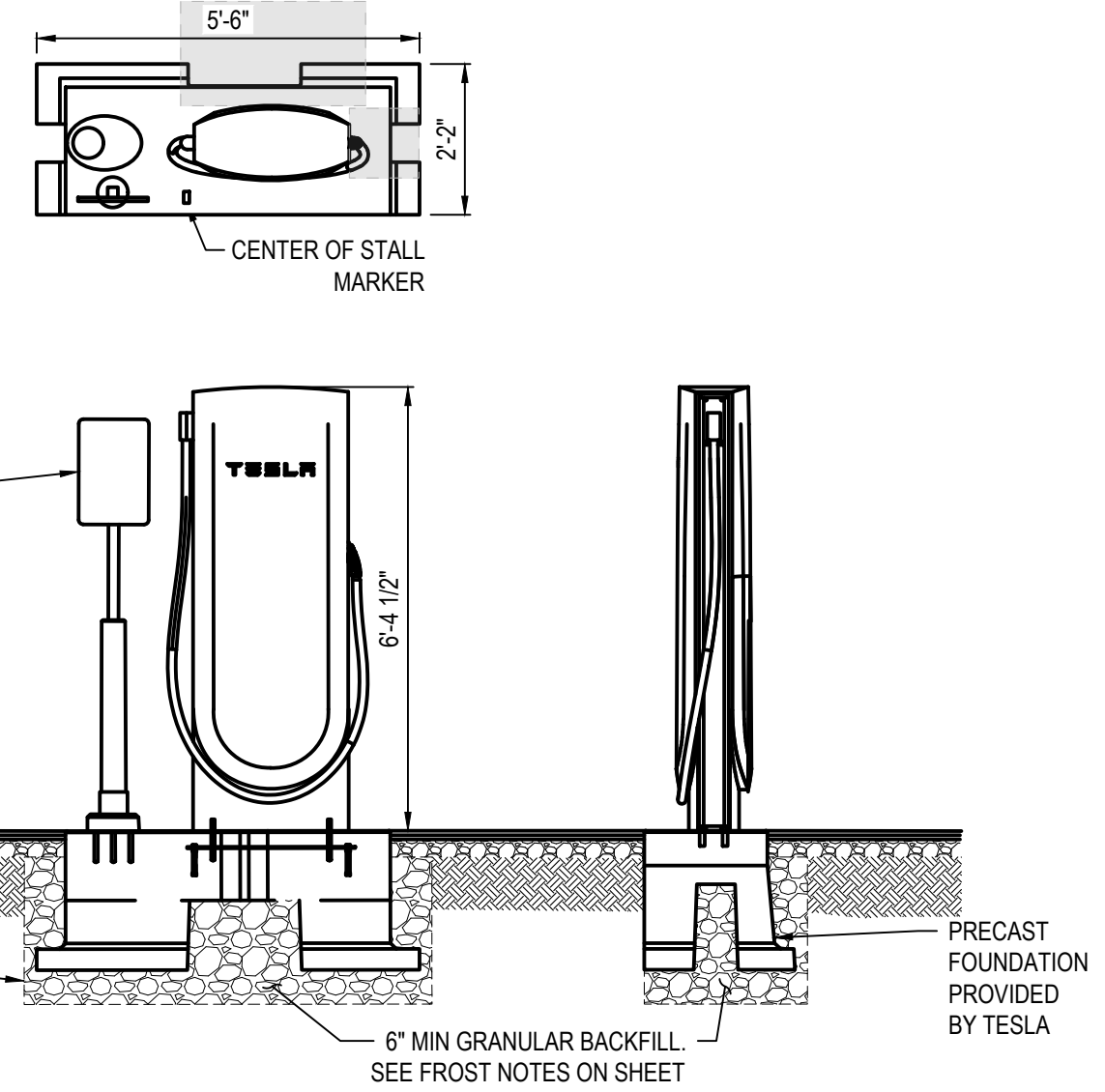
C-3 STANDARD ASPHALT PAVEMENT SECTION
N.T.S.



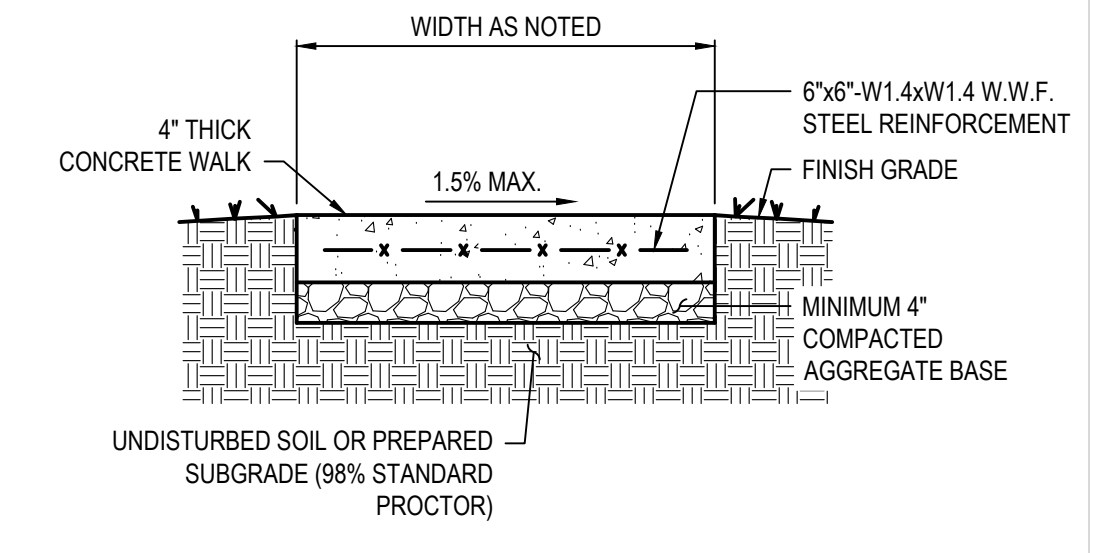
- NOTES:**
1. REFER TO GENERAL NOTES FOR CONCRETE SPECIFICATION.
 2. SIDEWALK WIDTH AS SHOWN ON SITE PLAN.

C-5 FLUSH CURB AND REVERSE PITCH GUTTER
N.T.S.

- NOTES:**
1. PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
 2. PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
 3. CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2\"/>

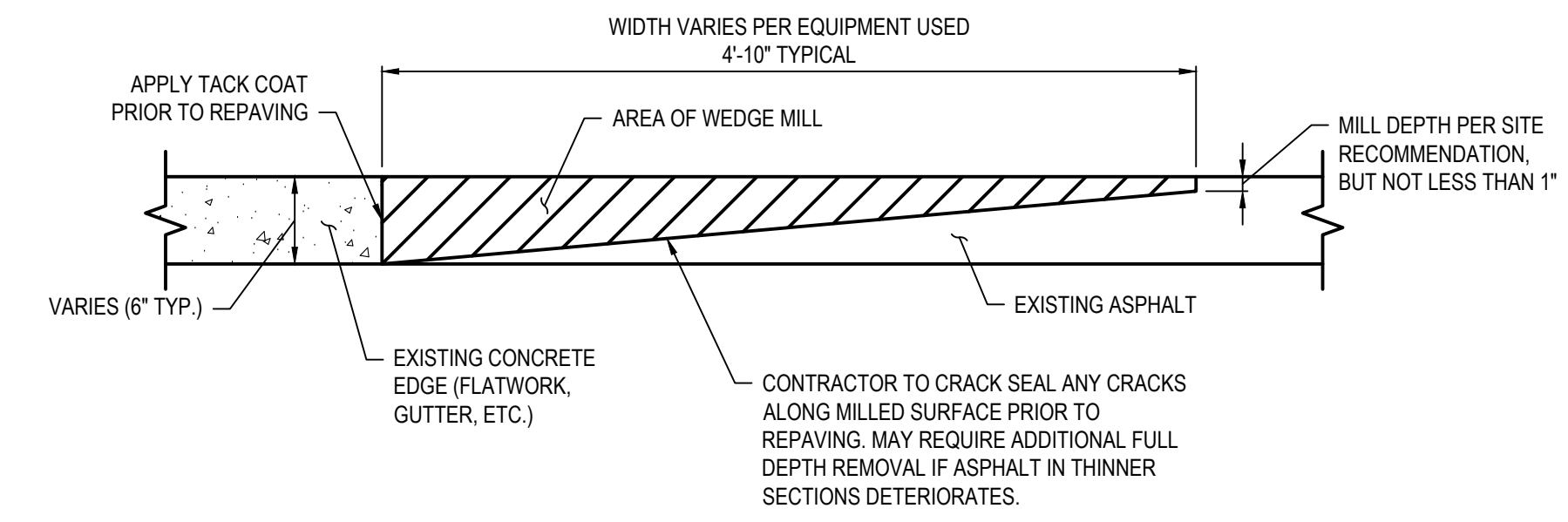


B-1 TESLA SUPERCHARGER ON PRECAST FOUNDATION
N.T.S.



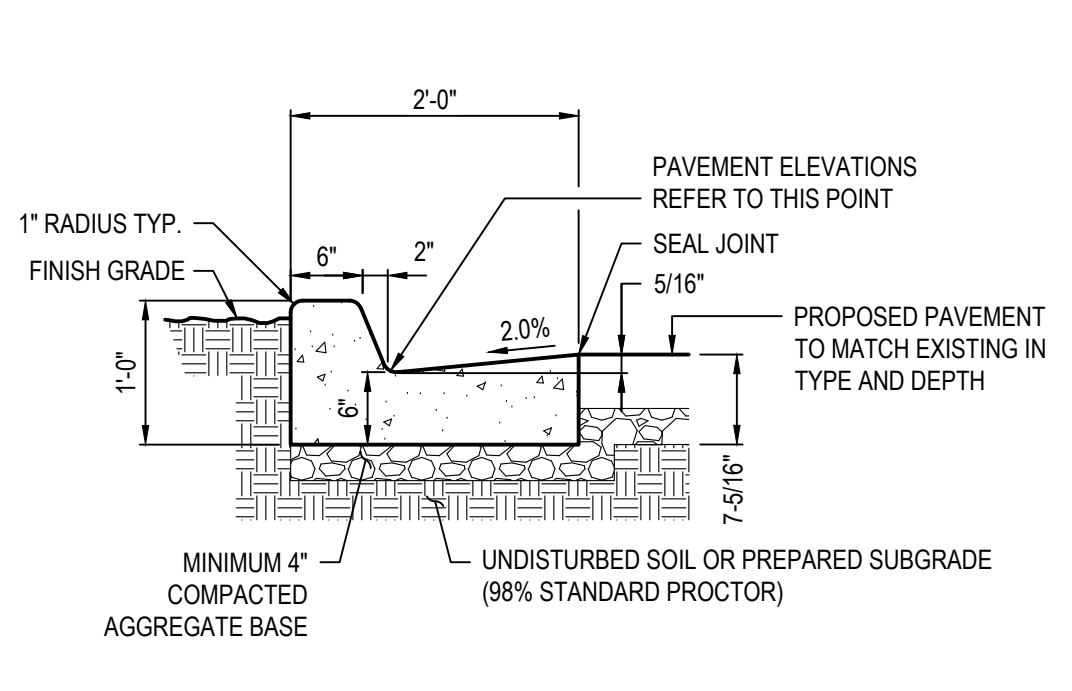
- NOTES:**
1. CONTRACTOR SHALL INSTALL 1/2\"/>

B-3 CONCRETE WALK
N.T.S.



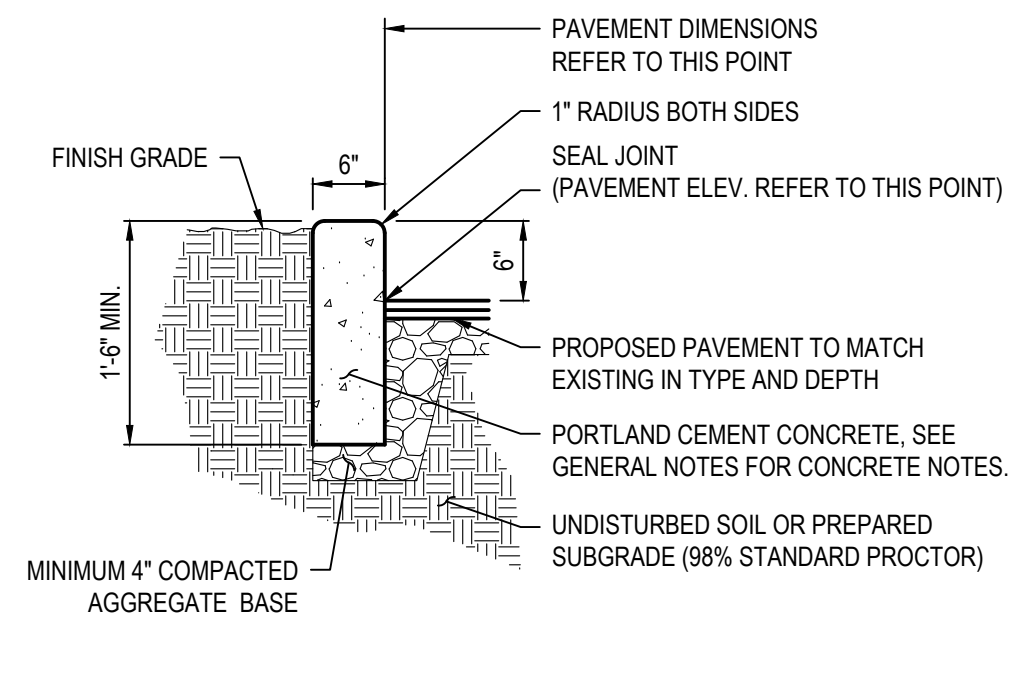
- NOTES:**
1. CONTRACTOR TO ENSURE PROPER DRAINAGE OF NEWLY PAVED AREAS.
 2. IN ASPHALT SECTIONS THINNER THAN 6\"/>

B-4 TYPICAL WEDGE MILL
N.T.S.



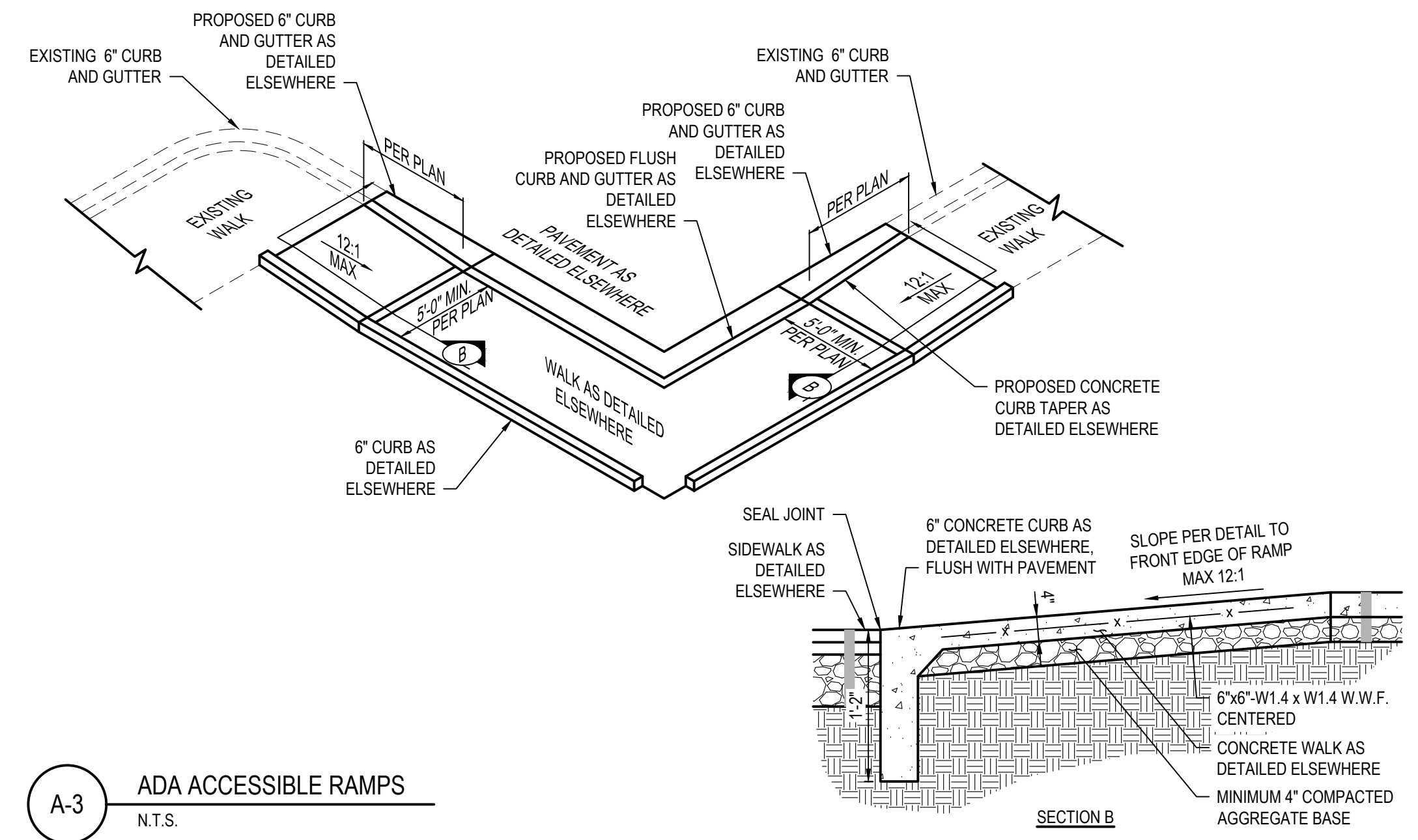
- NOTE:**
CONTRACTOR SHALL ASSESS LOCAL ZONING ORDINANCES AND EXISTING CONDITIONS TO MATCH. ABOVE DETAIL TO BE USED AS MINIMUM STANDARDS.

A-1 CONCRETE CURB AND GUTTER
N.T.S.

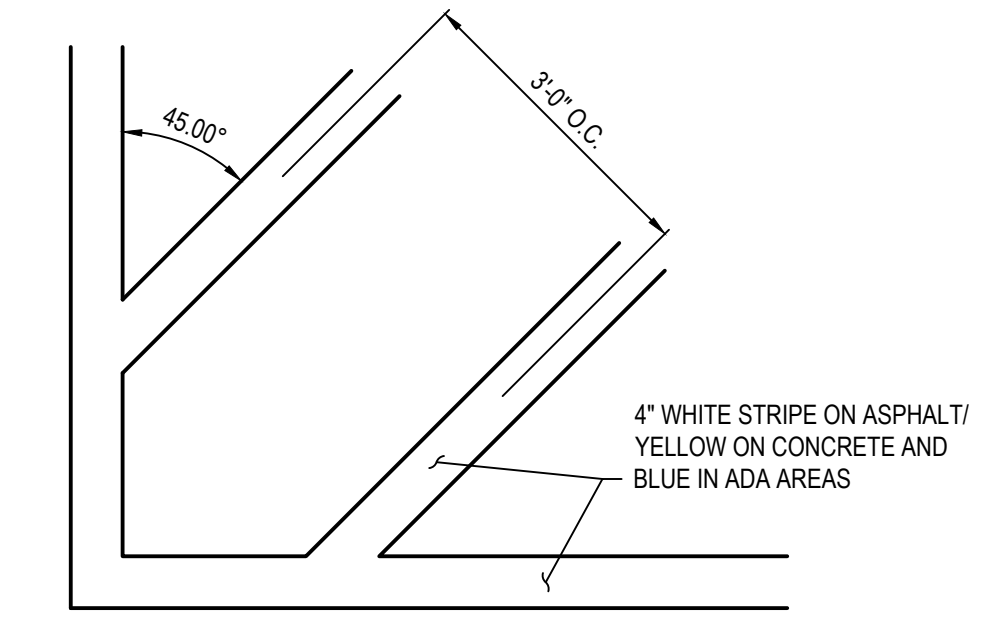


- NOTE:**
CONTRACTOR SHALL ASSESS EXISTING CURB AND INSTALL PROPOSED CURB TO MATCH. ABOVE DETAILS TO BE USED AS MINIMUM STANDARDS.

A-2 CONCRETE CURB
N.T.S.



A-3 ADA ACCESSIBLE RAMPS
N.T.S.



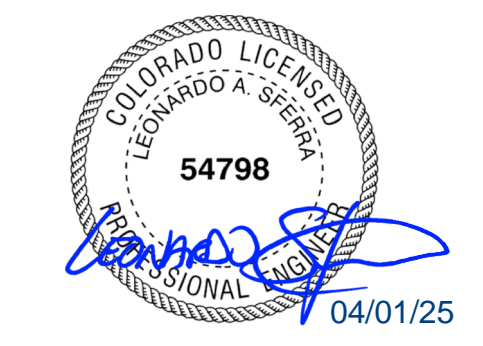
- NOTE:**
REFER TO GENERAL NOTES FOR ADDITIONAL PAVEMENT MARKING NOTES AND SPECIFICATIONS.

A-5 TRANSVERSE STRIPING
N.T.S.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
B	10/22/2024	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
C	01/28/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
D	03/26/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
 LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
 4612 MILESTONE LN., CASTLE ROCK, CO 80104

PROJECT MANAGER	DESIGNER
IM	MAM

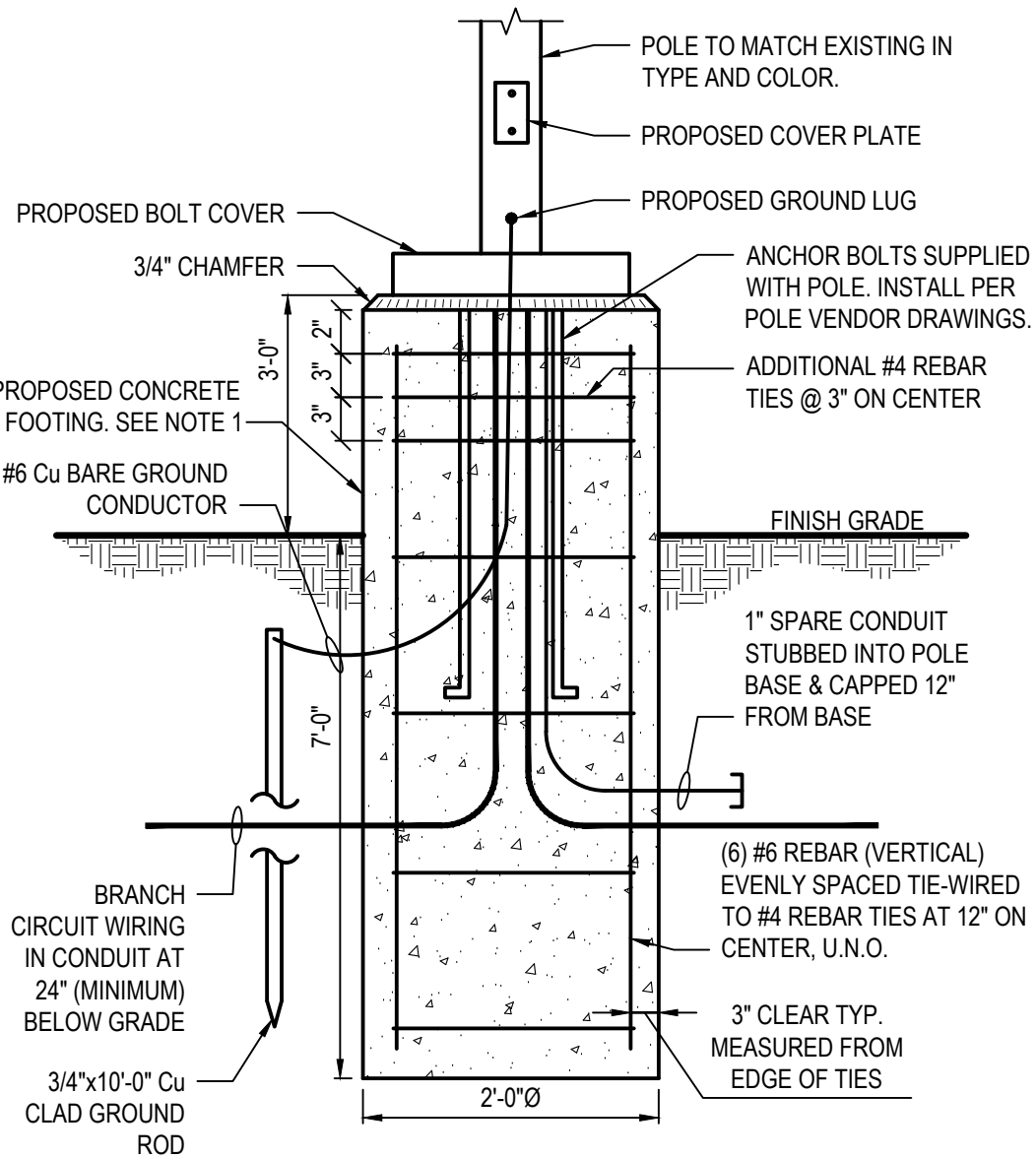
JOB NO.
2023241.49

5 OF 11
C-202
 TOWN OF CASTLE ROCK
 PROJECT NUMBER SDP23-0045

CIVIL DETAILS

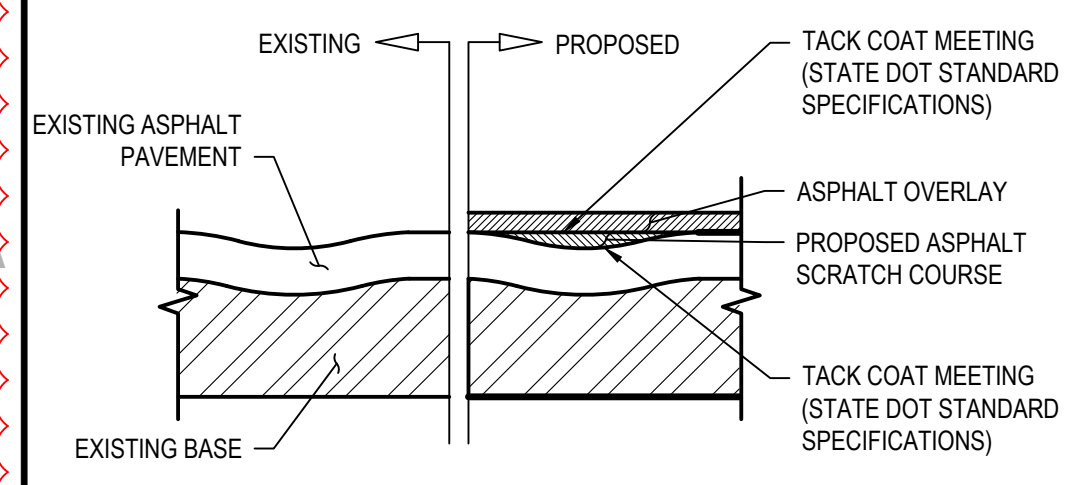
Drawing Name: C:\2023\2023241.49 - TRT 2628 - Castle Rock, CO - Milestone Filing\2023241.49 - Castle Rock, CO - Site Development Planning March 27, 2025 3:37 AM - R:\maged

Drawing Name: 012022022024149 - TRT 2628 - Castle Rock, CO - Milestone Utility/2022024149 - Castle Rock, CO - Site Development Planning
March 17, 2025 9:37 AM - R/mjg

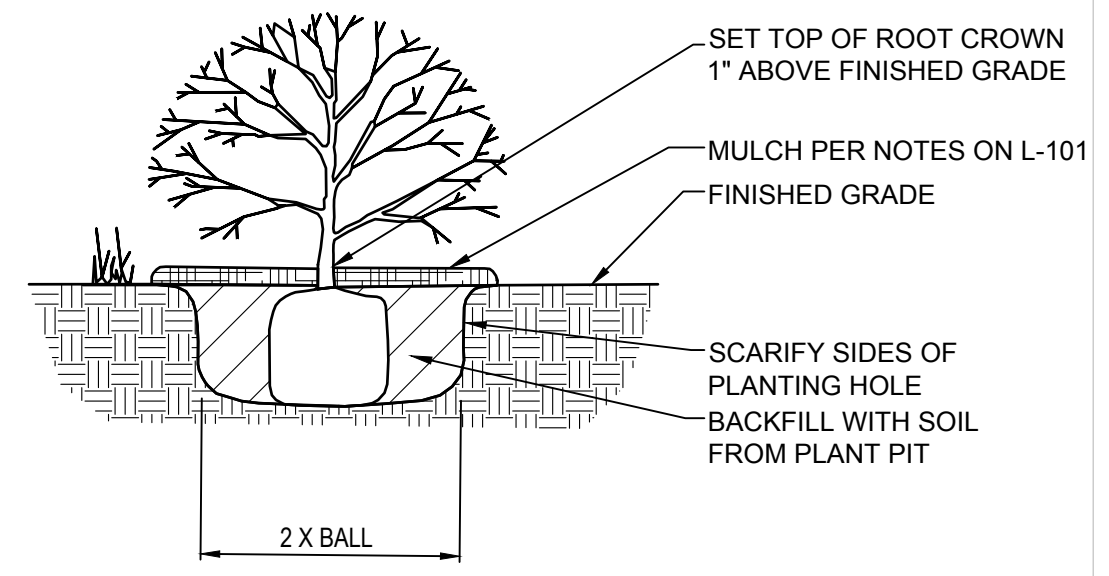


NOTE:
1. RUB CONCRETE TO REMOVE SONOTUBE FORM LINES AND FILL ALL HOLES FOR SMOOTH FINISH. WEATHERSEAL ALL EXPOSED CONCRETE.
2. SEE CIVIL GENERAL NOTES FOR CONCRETE SPECIFICATIONS.
3. CONTRACTOR SHALL FIELD VERIFY EXISTING LIGHT POLE MOUNTING CONDITION AND CONFIGURATION. PROPOSED NEW FOUNDATION SHALL BE ADAPTED TO BE COMPATIBLE WITH EXISTING POLE / MOUNTING REQUIREMENTS.

B-1 LIGHT POLE FOUNDATION
N.T.S.

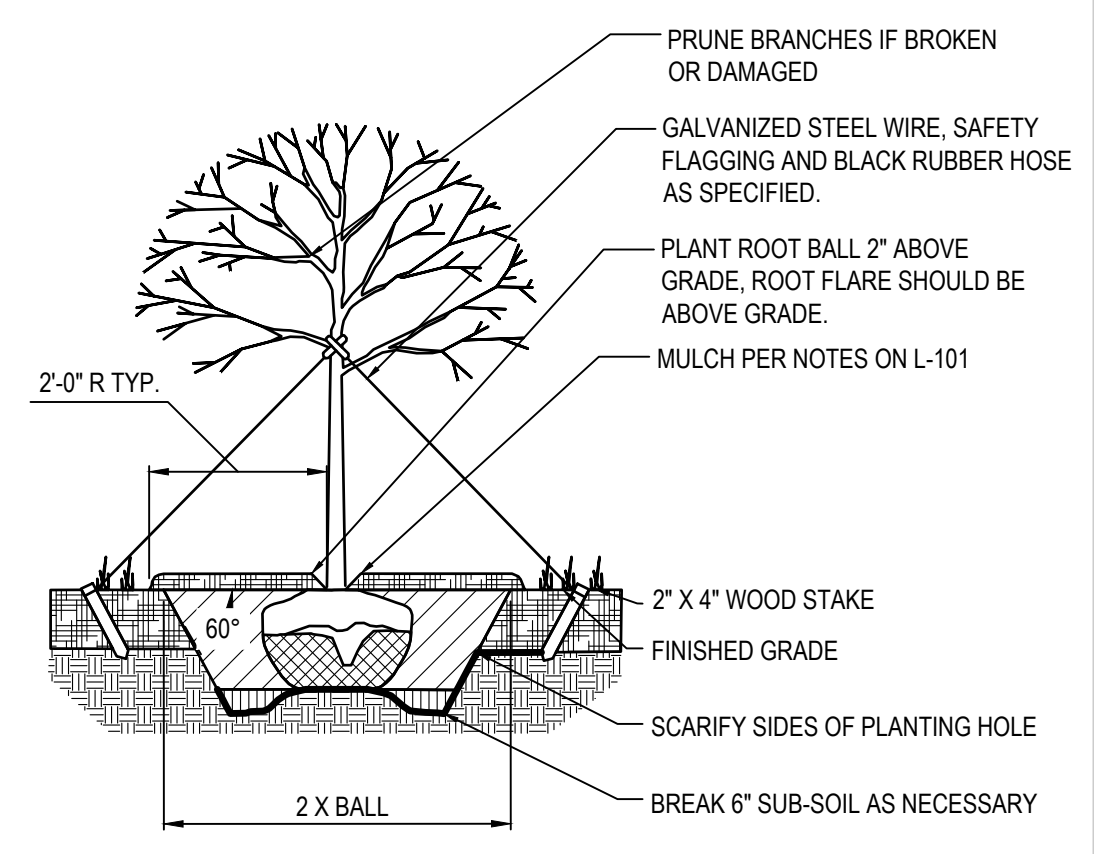


A-1 PRE-OVERLAY ASPHALT TREATMENT
N.T.S.



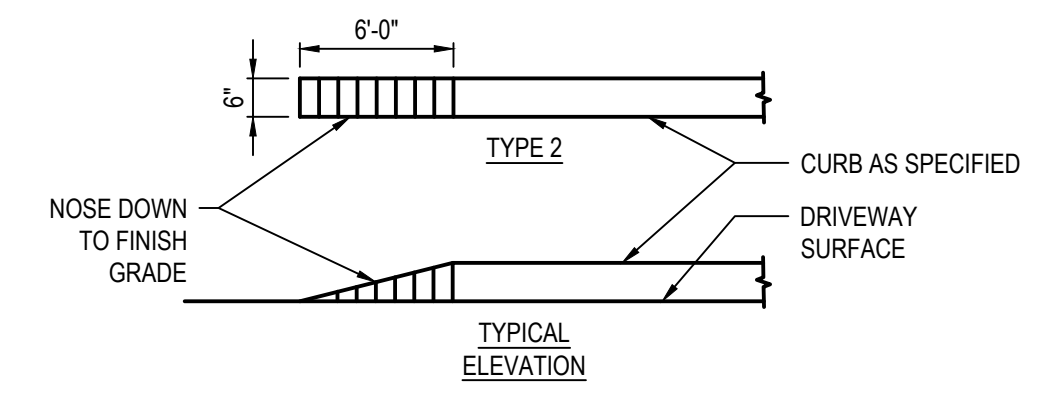
GENERAL NOTES:
1. PRUNE ROOTS IF BALL IS ROOTBOUND. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
2. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

C-2 SHRUB PLANTING
N.T.S.

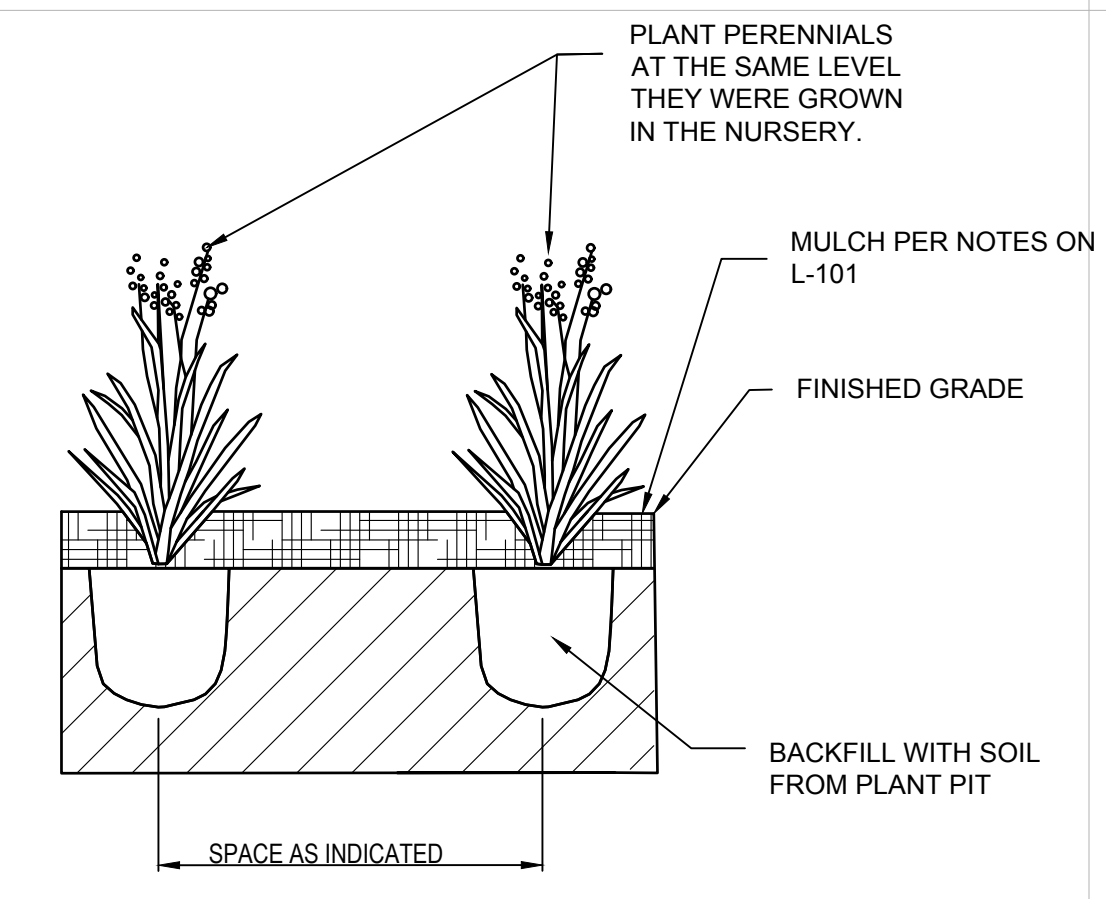


GENERAL NOTES:
WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND REPEAT. CONTINUE TO PUDDLE AND FILL AS NECESSARY.

B-2 ORNAMENTAL TREE PLANTING
N.T.S.

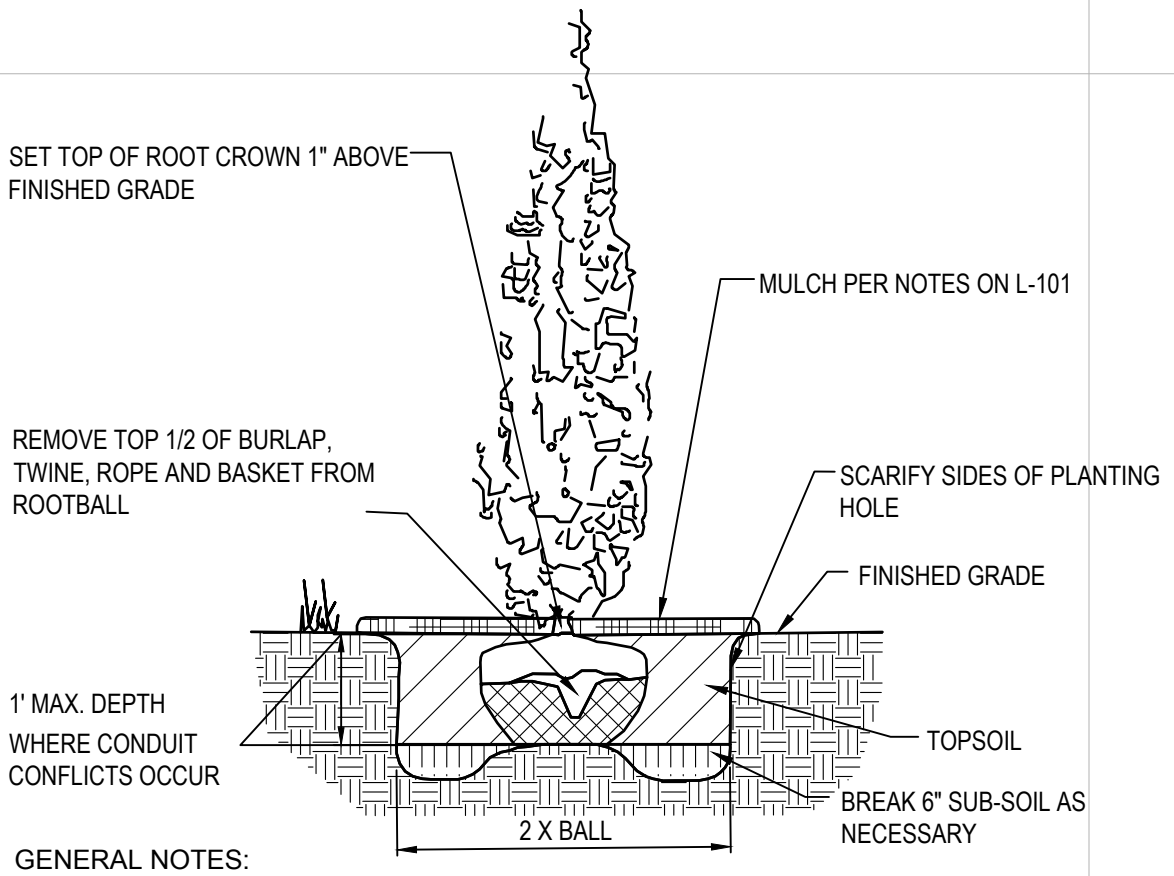


A-2 CONCRETE CURB TAPER
N.T.S.



GENERAL NOTES:
1. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

B-3 ORNAMENTAL GRASS PLANTING
N.T.S.



GENERAL NOTES:
1. PRUNE ROOTS IF BALL IS ROOTBOUND. REMOVE ALL CONTAINERS AND NON-BIODEGRADABLE BURLAP. WHEN BACKFILLING PLANT PIT, PLACE PLANTING SOIL IN TWO LIFTS. AFTER FIRST LIFT, PUDDLE SOIL IN WITH WATER TO REMOVE ALL AIR POCKETS. PLACE SECOND LIFT AND CONTINUE TO PUDDLE AND FILL AS NECESSARY.
2. CONTRACTOR SHALL LOCATE NEW CHARGE POST CONDUITS PRIOR TO INSTALLING TREES AND SHRUBS. PLANT INSTALLATION SHALL NOT DAMAGE CONDUIT.

A-3 EVERGREEN SHRUB PLANTING
N.T.S.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
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D	03/26/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
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SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

6 OF 11
C-203
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

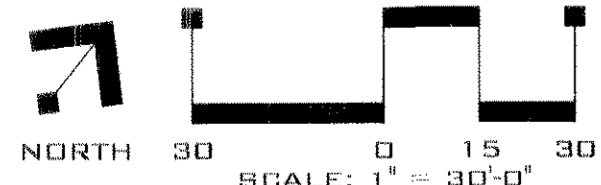
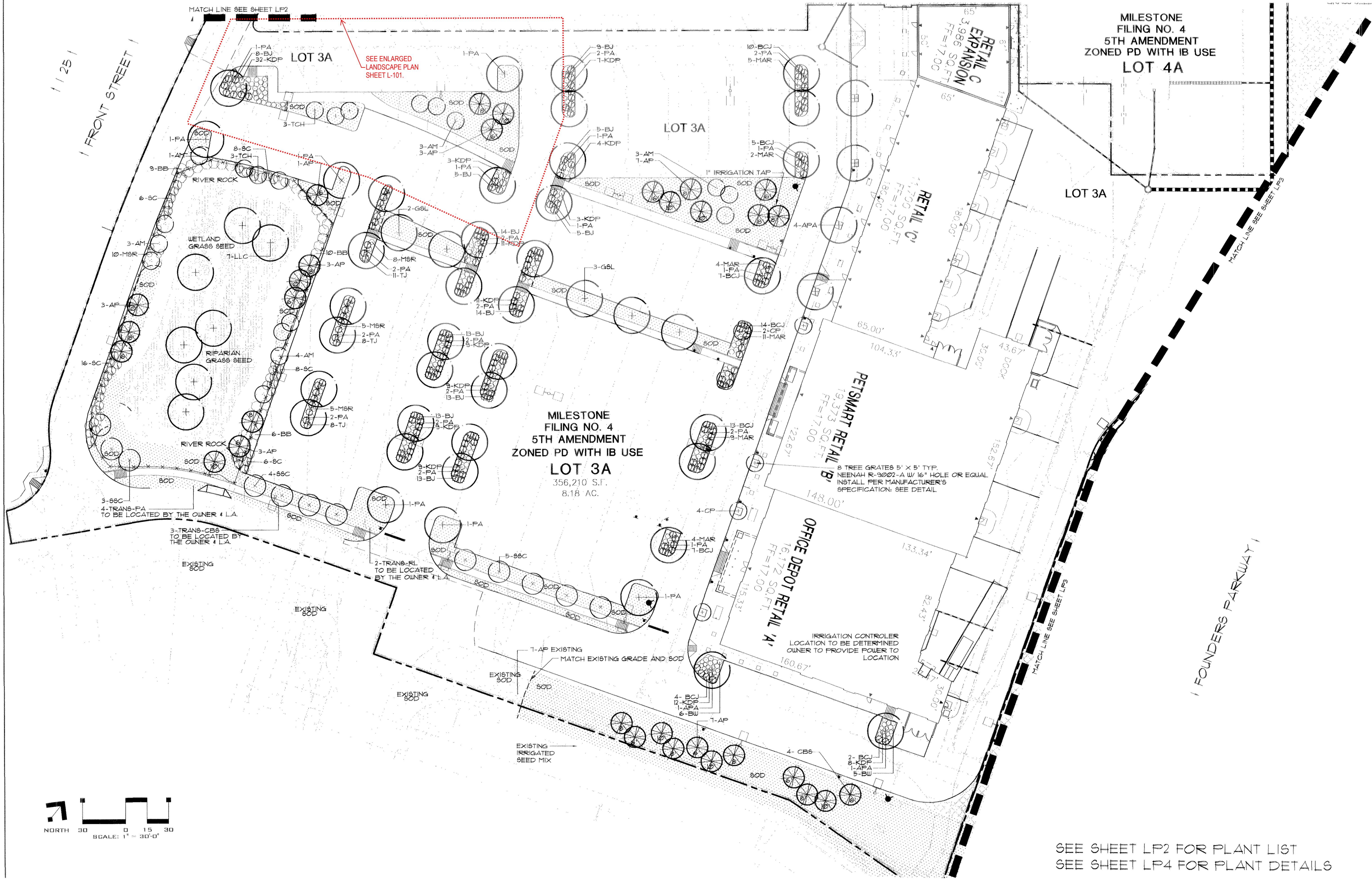
CIVIL DETAILS

FINAL PD SITE PLAN

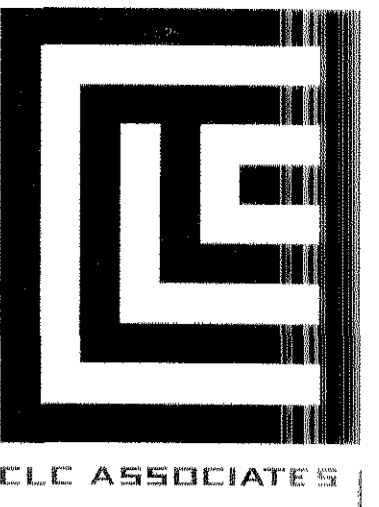
MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



SEE SHEET LP2 FOR PLANT LIST
SEE SHEET LP4 FOR PLANT DETAILS



CLC ASSOCIATES
8480 E. ORCHARD RD.
SUITE 2000
GREENWICH VILLAGE
CASTLE ROCK, CO 80107
P: 303-770-5080
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CLCASH@CLC.COM

ARCHITECTURE
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE: 07/05/23
DESCRIPTION: INITIAL ACCEPTANCE

PROJECT #: 99.135
DRAWN BY: SEW
DESIGNED BY: SEW
CHECKED BY: KDP

FOR REFERENCE ONLY
7 OF 11
LP1

TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

LANDSCAPE PLAN

FINAL PD SITE PLAN MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN

FESCUE LAWN SOD MIX

(FULLY IRRIGATED)
(TO BE MOULDED)
PERCENTAGES BY SEED COUNT

90% TURF-TYPE OR FINE BLADE TALL FESCUE
(3 IMPROVED VARIETIES)

10% CANADIAN OR KENTUCKY BLUEGRASS
(2 IMPROVED VARIETIES)

DRYLAND SEED MIX

(SUPPLEMENTAL IRRIGATION)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 211 LBS. PLG/ACRE; DRILL SEEDED
ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

- 0.5 LBS ALKALI SACATON
- 5.6 LBS STREAMBANK WHEATGRASS
- 1.7 LBS INLAND SALT GRASS
- 7.9 LBS WESTERN WHEATGRASS
- 4.0 LBS BLUE GRAMA
- 2.0 LBS BUFFALOGRASS

PLANT LIST

QUAN	SYM	COMMON/BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES				
6	APA	AUTUMN PURPLE ASH <i>Fraxinus americana</i> 'Autumn Purple'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
42	PA	PATMORE ASH <i>Fraxinus pennsylvanica</i> 'Patmore'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
5	GSL	GREENSPIRE LINDEN <i>Tilia cordata</i> 'Greenspire'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
7	LLC	LANCELEAF COTTONWOOD <i>Populus x acuminata</i>	2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
ORNAMENTAL TREES				
14	AM	AMUR MAPLE <i>Acer ginnata</i>	6' CLUMP	3 STEM MIN, B4B SPECIMEN QUALITY
0	SB5	SHADBLow SERVICEBERRY <i>Amelanchier canadensis</i>	6' CLUMP	3 STEM MIN, B4B SPECIMEN QUALITY
6	TCH	THORNLESS COCKSPUR <i>Crataegus crus-galli</i> 'Inermis'	1 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
12	SSC	SPRING SNOW CRABAPPLE <i>Malus</i> 'Spring Snow'	1 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
6	CP	CHANTICLEER PEAR <i>Pyrus calleryana</i> 'Chanticleer'	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
EVERGREEN TREES				
27	AP	AUSTRIAN PINE <i>Pinus nigra</i>	6'-10' HT. SEE PLAN	FULL FORM, B4B, GUYED SPECIMEN QUALITY
4	CB5	COLORADO BLUE SPRUCE <i>Picea pungens</i>	6'-10' HT. SEE PLAN	FULL FORM, B4B, GUYED SPECIMEN QUALITY
SHRUBS				
27	TJ	TAMMY JUNIFER <i>Juniperus sabina</i> 'Tamariscifolia'	5 GAL. 18"-24" SPRD.	SPACING 48" O.C.
18	BJ	BUFFALO JUNIFER <i>Juniperus sabina</i> 'Buffalo'	5 GAL. 18"-24" SPRD.	SPACING 48" O.C.
62	BCJ	BLUE CHIP JUNIFER <i>Juniperus horizontalis</i> 'Blue Chip'	5 GAL. 18"-24" SPRD.	SPACING 6" O.C.
25	BB	BURNING BUSH <i>Euonymus alata</i>	5 GAL. 18"-24" HT.	SPACING 8" O.C. 5 CANES MIN.
11	BW	DWARF ARCTIC BLUE WILLOW <i>Salix purpurea</i> 'Nana'	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES MIN.
44	9C	SPREADING COTONEASTER <i>Cotoneaster divaricatus</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES MIN.
35	MAR	MEIDLAND ALBA ROSE <i>Rosa x 'Meidland Alba'</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES MIN.
28	MSR	MEIDLAND SCARLET ROSE <i>Rosa x 'Meidland Scarlet'</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES MIN.
126	KDP	KATHRYN DYKES POTENTILLA <i>Potentilla 'Kathryn Dykes'</i>	5 GAL. 18"-24" SPRD.	SPACING 36" O.C. 5 CANES MIN.
10	AJ	ARMSTRONG JUNIFER <i>Juniperus chinensis</i> 'Armstrong'	5 GAL. 18"-24" SPRD.	SPACING 60" O.C.
5	W5C	WESTERN SAND CHERRY <i>Prunus besseyi</i>	5 GAL. 18"-24" HT.	SPACING 60" O.C. 5 CANES MIN.
6	SJ	SKYROCKET JUNIFER <i>Juniperus scopulorum</i> 'Skyrocket'	5 GAL. 36" HT.	SPACING 60" O.C. 5 CANES MIN.
SPREADING GROUND COVER				
18	WTH	WOOLLY THYME <i>Thymus pra. 'Pseudolanuginosus'</i>	1 GAL. ESTABLISHED	SPACING 14" O.C. 5 CANES MIN.

NOTE: IF QUANTITIES LISTED IN SCHEDULE DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.

RIPARIAN SEED MIX

(SUPPLEMENTAL IRRIGATION)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 16.8 LBS. PLG/ACRE; DRILL SEEDED
ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

- 1.3 LBS SHEEP FESCUE
- 7.9 LBS STREAMBANK WHEATGRASS
- 0.5 LBS ALKALI SACATON
- 5.5 LBS SLENDER WHEATGRASS
- 0.3 LBS CANADIAN BLUEGRASS
- 1.3 LBS SWITCH GRASS

WETLAND SEED MIX

(NON-IRRIGATED)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 12.4 LBS. PLG/ACRE; DRILL SEEDED
ADD 50% IF HYDROSEEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

- 0.1 LBS REDTOP
- 2.2 LBS SWITCHGRASS
- 7.9 LBS WESTERN OR STREAMBANK WHEATGRASS
- 1.0 LBS INLAND SALTGRASS
- 0.1 LBS WOOLY SEDGE
- 0.1 LBS BALTIC RUSH
- 1.0 PRAIRIE CORDGRASS

LANDSCAPE CALCULATIONS

AREAS	REQUIRED SQUARE FOOTAGE	PROPOSED SQUARE FOOTAGE	FORMULA	QUANTITY REQUIRED ON SITE	QUANTITY PROVIDED ON SITE	QUANTITY PROVIDED OFF SITE
LOT 3 GROSS SITE	N/A	356,210 SF.	N/A	N/A	N/A	N/A
PARKING AREA	N/A	10,481 SF.	N/A	N/A	N/A	N/A
PARKING LANDSCAPE	12,480 SF. 10%	18,910 SF. 17%	2 TREES/1,000 SF. 4 SHRUBS/1,000 SF.	38 TREES 16 SHRUBS	54 TREES 357 SHRUBS	N/A
TOTAL LANDSCAPE	37,068 SF. 10%	64,482 SF. 18%	2 TREES/1,000 SF. 4 SHRUBS/1,000 SF.	129 TREES 253 SHRUBS	129 TREES 497 SHRUBS	5 TREES 22 SHRUBS
ROCK MULCH	N/A	15,500 SF. 25%	N/A	N/A	N/A	N/A
IRRIGATED SOD	N/A	33,610 SF. 9%	N/A	N/A	N/A	N/A
DRYLAND SEED	N/A	2,750 SF. 4%	N/A	N/A	N/A	N/A
RIPARIAN SEED	N/A	10,000 SF. 16%	N/A	N/A	N/A	N/A
WETLAND SEED	N/A	1200 SF. 2%	N/A	N/A	N/A	N/A

SEE SHEET LP4 FOR PLANT DETAILS

LANDSCAPE NOTES

1. PLANT MATERIALS:
ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES AND THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT AND ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT PER SPECIFICATIONS. ALL TREES TO BE STAKED OR GUYED AS DEFINED IN THE DETAILS AND SPECIFICATIONS. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS, ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND.

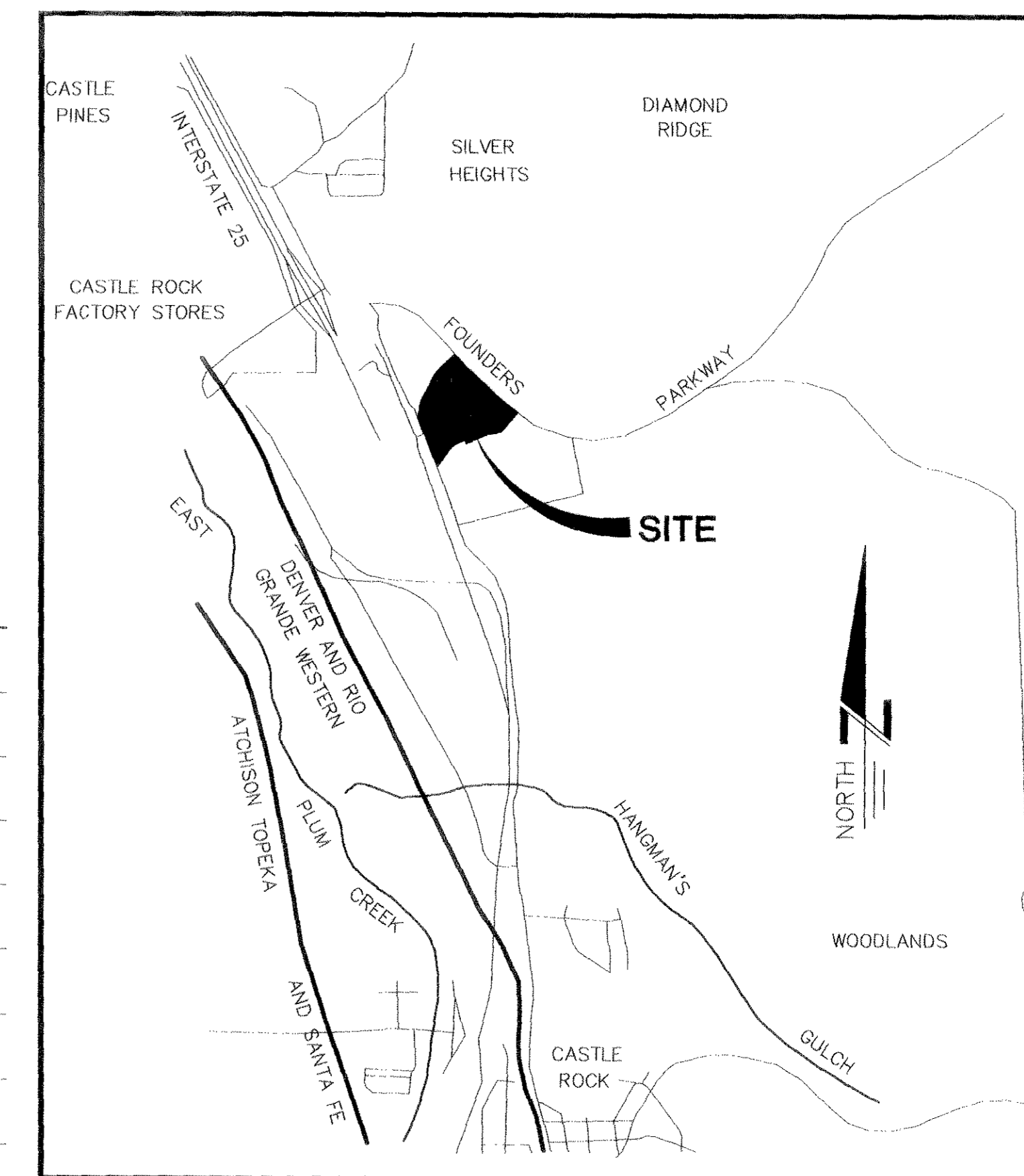
3. MULCH:
MULCH FOR SHRUB, ORNAMENTAL GRASS AND PERENNIAL BEDS IS TO BE 1 1/2" ROUNDED RIVER ROCK, UNLESS OTHERWISE NOTED ON THE PLAN. MULCH FOR TREE BEDS IS TO BE BARK MULCH. PLACE SPECIFIED WEED BARRIER FABRIC UNDER ROCK MULCH. APPLY SPECIFIED PRE-EMERGENT HERBICIDE UNDER THE FABRIC AND ROCK MULCH. PLACE ROCK MULCH A MINIMUM OF THREE INCHES (3") DEEP. PLACE BARK MULCH A MINIMUM OF THREE INCHES (3") DEEP IN ALL AREAS.

4. IRRIGATION:
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL TURF AREAS LESS THAN 25' IN WIDTH SHALL HAVE A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL HAVE FULL COVERAGE WITH EITHER A DRIP SYSTEM OR POP-UP HEADS. ALL TURF AND SHRUB BEDS SHALL BE ZONED SEPARATELY. OPERATION AND MAINTENANCE OF THE IRRIGATION SYSTEM SHALL MEET THE REQUIREMENTS FOUND IN THE TOWN OF CASTLE ROCK WATER CONSERVATION REGULATIONS.

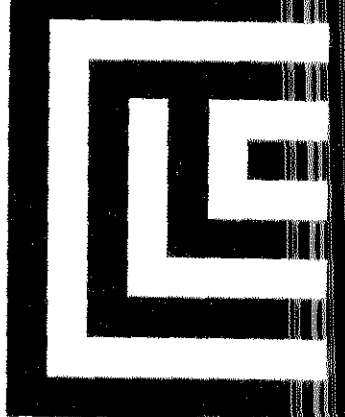
5. MAINTENANCE:
LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN, AND HEALTHY CONDITION. THIS SHALL INCLUDE PROPER PRUNING, MOWING OF LAWNS, WEEDING, REMOVAL OF LITTER, AND THE REGULAR WATERING OF ALL PLANT MATERIAL. SHOULD ANY PLANT MATERIALS DIE IT IS THE RESPONSIBILITY OF THE OWNER'S REPRESENTATIVE TO REPLACE IT WITHIN ONE PLANTING SEASON AND IN CONFORMANCE WITH THE LANDSCAPE REQUIREMENTS SET FORTH BY THIS PLAN OR ALTERNATIVE MATERIAL ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.

LEGEND

	STEEL EDGER		RIPARIAN GRASS SEED with supplemental irrigation
	FESCUE TURF SOD fully irrigated		WETLAND GRASS SEED non-irrigated
	DRYLAND GRASS SEED with supplemental irrigation		WTH see plant list



VICINITY MAP
1" = 2000'



CLC ASSOCIATES
9480 E. DUNLAP RD.
SUITE 2000
GREENWOOD VILLAGE
CO, 80120
303.770.5600
303.770.2549
CLCASSOC.COM

ARCHITECTURE,
ENGINEERING, PLANNING,
LANDSCAPE ARCHITECTURE,
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE: 07/06/03
DESCRIPTION: INITIAL ACCEPTANCE

PROJECT #: 99-135
DRAWN BY: SEW
DESIGNED BY: SEW
CHECKED BY: KDP

FOR
REFERENCE
ONLY
8 OF 11
LP2
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

GENERAL SHEET NOTES

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.

PLAN KEYNOTES

- ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE LANDSCAPE NOTES THIS PAGE FOR SODDING SPECIFICATIONS.
- PROPOSED EVERGREEN SHRUBS (TYPICAL OF 6) JUNIPERUS SCOPIOLORUM 'SKYROCKET' SHRUB SPECIES. MINIMUM PLANT SIZE TO BE 36" HEIGHT, NO. 5 CONTAINER.
- PROPOSED SHRUBS (TYPICAL OF 3) POTENTILLA 'KATHRYN DYKES' SHRUB SPECIES TO MATCH EXISTING ON-SITE. CONTRACTOR TO COORDINATE PLANT SPECIES WITH OWNER. MINIMUM PLANT SIZE TO BE 24" HEIGHT, NO. 5 CONTAINER.
- PROPOSED ORNAMENTAL GRASSES (TYPICAL OF 8) CALAMAGROSTIS X ACUTIFOLIUS 'KARL FOERSTER' GRASS SPECIES. MINIMUM PLANT SIZE TO BE NO. 2 CONTAINER.
- PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 3) CRATAEGUS CRUS-GALLI 'INERMIS'. MINIMUM PLANT SIZE TO BE 1.5" TRUNK DBH, FULL CROWN, B&B CONDITION.
- PROPOSED LANDSCAPE STONE.

LEGEND

	PROPOSED EQUIPMENT CLEAR SPACE
	PROPOSED CONCRETE PAVEMENT, SEE C-111
	PROPOSED ASPHALT PAVEMENT SEE C-111
	PROPOSED ORNAMENTAL TREES SEE DETAIL ON C-203
	PROPOSED SHRUBS & ORNAMENTAL GRASSES, SEE DETAILS ON C-203
	EXISTING PLANT MATERIAL (TREES, SHRUBS)

LANDSCAPE NOTES

GENERAL

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANNING IN THE STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCE.
- PLANT GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.
- ALL DISTURBED AND PROPOSED LANDSCAPE PLANTING BED AREAS SHALL MATCH EXISTING GROUND CONDITIONS IN TYPE AND DEPTH UNLESS OTHERWISE STATED ON PLANS.
- IF NECESSARY, CONTRACTOR SHALL PRUNE EXISTING TREES TO MAINTAIN NECESSARY CLEARANCES. CONTRACTOR SHALL MAKE TREE SHAPELY AND TYPICAL OF SPECIES PER ANSI A300 AND HORTICULTURAL STANDARDS.

MATERIALS

- LANDSCAPE STONE - CONTRACTOR SHALL MATCH EXISTING LANDSCAPE STONE IN TYPE, SIZE, COLOR, AND DEPTH PER PLAN.
- WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH TO BE INSTALLED IN ALL PLANTING BEDS UNDER LANDSCAPE STONE.
- PLANTING SOIL MIX - SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.
- TREES AND SHRUBS - CONTRACTOR TO SELECT TREE AND SHRUB SPECIES FROM THE TOWN OF CASTLE ROCK RECOMMENDED PLANT SPECIES LIST. PLANT SPECIES SHOULD BE DESIGNATED HYDROZONE 1-3, AND SELECTED TO MATCH EXISTING PLANT MATERIAL ON SITE. PLANT SPECIES TO BE COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.

SODDING

- SOD SHALL BE SELECTED PER HARDINESS ZONE AND MATCHED TO EXISTING SITE. SOD SHALL BE A FIRST GRADE CERTIFIED BLEND CONTAINING NO MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
- CONTRACTOR SHALL INSTALL APPROVED FESCUE BLEND, SELECTED TO MATCH EXISTING SOD ON SITE.
- CONTRACTOR SHALL INSTALL SOD PER INDUSTRY STANDARDS. ALL SODDED AREAS INCLUDING SUBGRADE, SHALL BE KEPT THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

MAINTENANCE

- (MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)
- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. PLANTS SHALL BE KEPT DISEASE FREE. RESTORE PLANTING SAJOURS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
 - MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND RESODDING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
 - REPLACE ANY REQUIRED REPLACEMENT(S), WHICH ARE MORE 25% OR MORE DEAD AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

IRRIGATION

- IRRIGATION RELOCATION: CONTRACTOR SHALL VERIFY IF EXISTING IRRIGATION IS PRESENT, DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FIXTURE TYPES, AND POTENTIAL FOR EXPANSION. IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE THEN IT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA. IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPARATUSES NEEDED FOR A COMPLETE IRRIGATION SYSTEM. IRRIGATED AREAS SHALL BE IRRIGATED BY SIMILAR EXISTING FIXTURES BY THE SAME SUPPLIER. CONTRACTOR SHALL ENSURE PAVEMENT AND PROPOSED EQUIPMENT WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES. SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE. PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO OWNER FOR APPROVAL. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

TOWN OF CASTLE ROCK LANDSCAPING NOTES

- SQUARE FOOTAGES ARE ESTIMATED. FINAL LANDSCAPE AREA COVERAGE SHALL MEET OR EXCEED COVERAGE REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- QUANTITIES AND LOCATIONS OF PLANT MATERIALS ARE APPROXIMATED. FINAL QUANTITIES AND LOCATIONS WILL BE REFLECTED ON CONSTRUCTION DOCUMENTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DISTANCE OF TREES TO UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IRRIGATION SYSTEMS ARE TO BE DESIGNED TO OPERATE WITHIN THE TOWN OF CASTLE ROCK WUMP.
- IRRIGATION SYSTEMS ARE TO BE DESIGNED PER THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL SECTION 4.2.3 AND TO CORRELATE WITH THE USE TYPE ON THE PROPERTY.
- PERMANENT IRRIGATION IS REQUIRED FOR ALL LANDSCAPE AREAS GREATER THAN 500 SQUARE FEET, PER SECTION 4.2.3 OF THE LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL.
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ONSITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NO SOLID OBJECT EXCEEDING 30" IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING, BUT NOT LIMITED TO BUILDING, UTILITY CABINETS, WALLS, FENCES, TREES, LANDSCAPE PLANTINGS, CUT SLOPES AND BERMS SHALL BE PLACED IN SIGHT DISTANCE TRIANGLES OR EASEMENTS AS SHOWN ON THE PLAN.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN UTILITY AND DRAINAGE EASEMENTS.
- AN IRRIGATION PLAN IS REQUIRED WITH THE FIRST SUBMITTAL OF THE CONSTRUCTION DOCUMENTS. PLEASE SEE SECTIONS 3.1.2B AND 4.2.3 OF THE TOWN OF CASTLE ROCK LANDSCAPE AND IRRIGATION PERFORMANCE STANDARDS AND CRITERIA MANUAL FOR IRRIGATION SUBMITTAL AND DESIGN REQUIREMENTS. CHANGES TO THE LANDSCAPE PLAN MAY BE NECESSARY DUE TO CONSTRUCTION DOCUMENTS IRRIGATION PLAN REVIEW COMMENTS.
- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.

RADIUS: 5.00'
ARC LENGTH: 10.31'
DELTA ANGLE: 118°06'36"
CHORD BEARING: S69°29'15"E
CHORD LENGTH: 8.58'

LOT 3A
MILESTONE FILING NO. 4
FIFTH AMENDMENT
APN: 2351-263-03-016
OWNER: VALORADO LLC

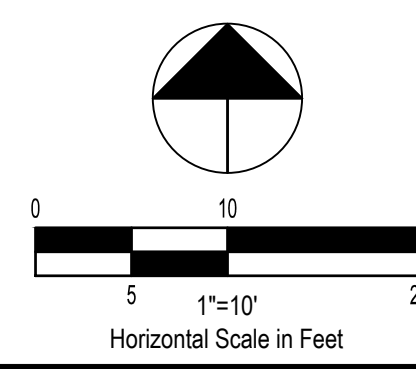
30" DRAINAGE EASEMENT
DOC. NO. 2003133644

25' EXISTING
DRAINAGE EASEMENT

20" GAS EASEMENT
DOC. NO. 2003133644

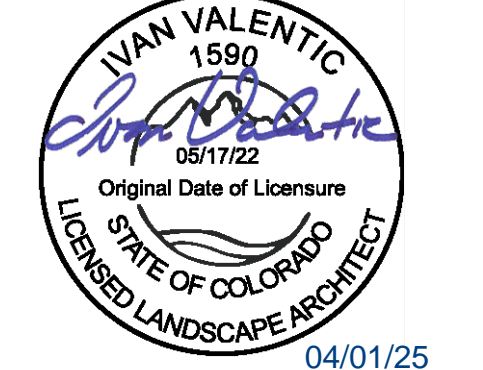
APN: 2351-263-03-017
OWNER: KOHALS DEPARTMENT
STORES, INC.

24" ACCESS, UTILITY &
DRAINAGE EASEMENT
DOC. NO. 2003133644



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	03/07/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
B	10/22/2024	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
C	01/28/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
D	03/26/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW
E	04/01/2025	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



04/01/25

SITE DEVELOPMENT PLAN
LOT 3A, MILESTONE FILING NO. 4 5TH AMENDMENT
4612 MILESTONE LN, CASTLE ROCK, CO 80104

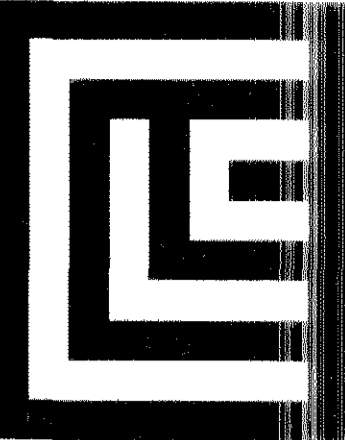
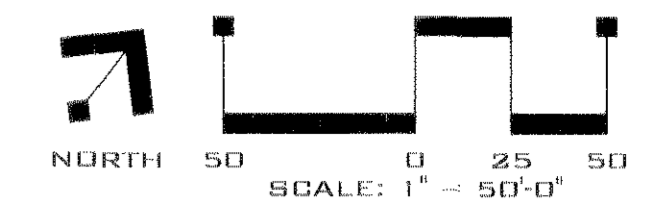
**ENLARGED
LANDSCAPE PLAN**

PROJECT MANAGER	DESIGNER
IM	JLC

JOB NO.
2023241.49

9 OF 11
L-101
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

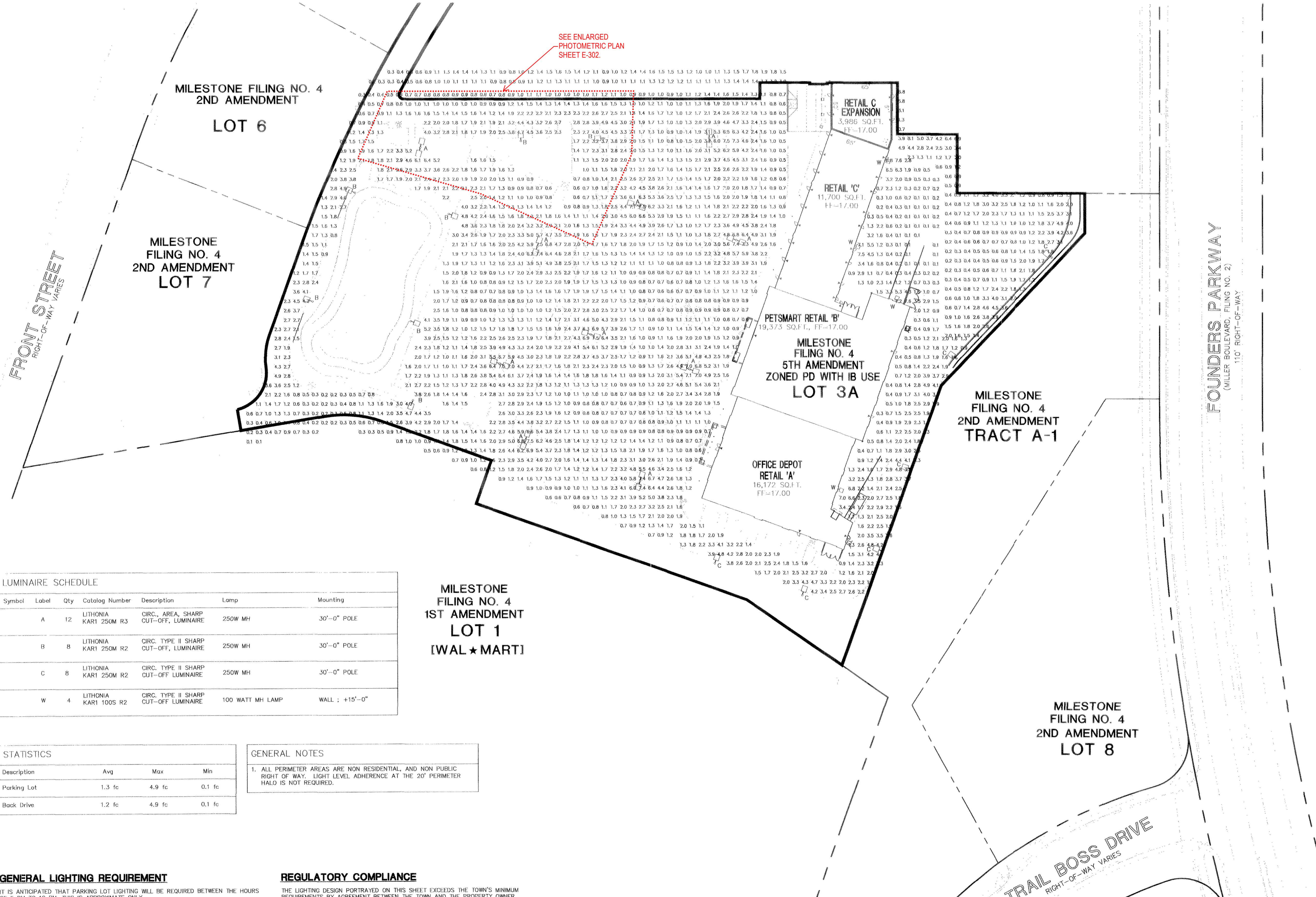
FINAL PD SITE PLAN MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN PHOTOMETRIC PLAN



CLC ASSOCIATES
1840 E. LINCOLN RD
SUITE 2000
GREENWOOD VILLAGE
COLORADO 80111
P: 303.770.5600
F: 303.770.5099
CLCASSOC.COM

ARCHITECTURE
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO



SEE ENLARGED
PHOTOMETRIC PLAN
SHEET E-302.

Symbol	Label	Qty	Catalog Number	Description	Lamp	Mounting
A	LITHONIA KARI 250M R3	12		CIRC., AREA, SHARP CUT-OFF, LUMINAIRE	250W MH	30'-0" POLE
B	LITHONIA KARI 250M R2	8		CIRC. TYPE II SHARP CUT-OFF, LUMINAIRE	250W MH	30'-0" POLE
C	LITHONIA KARI 250M R2	8		CIRC. TYPE II SHARP CUT-OFF LUMINAIRE	250W MH	30'-0" POLE
W	LITHONIA KARI 100S R2	4		CIRC. TYPE II SHARP CUT-OFF LUMINAIRE	100 WATT MH LAMP	WALL : +15'-0"

Description	Avg	Max	Min
Parking Lot	1.3 fc	4.9 fc	0.1 fc
Back Drive	1.2 fc	4.9 fc	0.1 fc

GENERAL NOTES

- ALL PERIMETER AREAS ARE NON RESIDENTIAL, AND NON PUBLIC RIGHT OF WAY. LIGHT LEVEL ADHERENCE AT THE 20' PERIMETER HALO IS NOT REQUIRED.

GENERAL LIGHTING REQUIREMENT

IT IS ANTICIPATED THAT PARKING LOT LIGHTING WILL BE REQUIRED BETWEEN THE HOURS OF 5 PM TO 12 PM. THIS IS APPROXIMATE ONLY.

REGULATORY COMPLIANCE

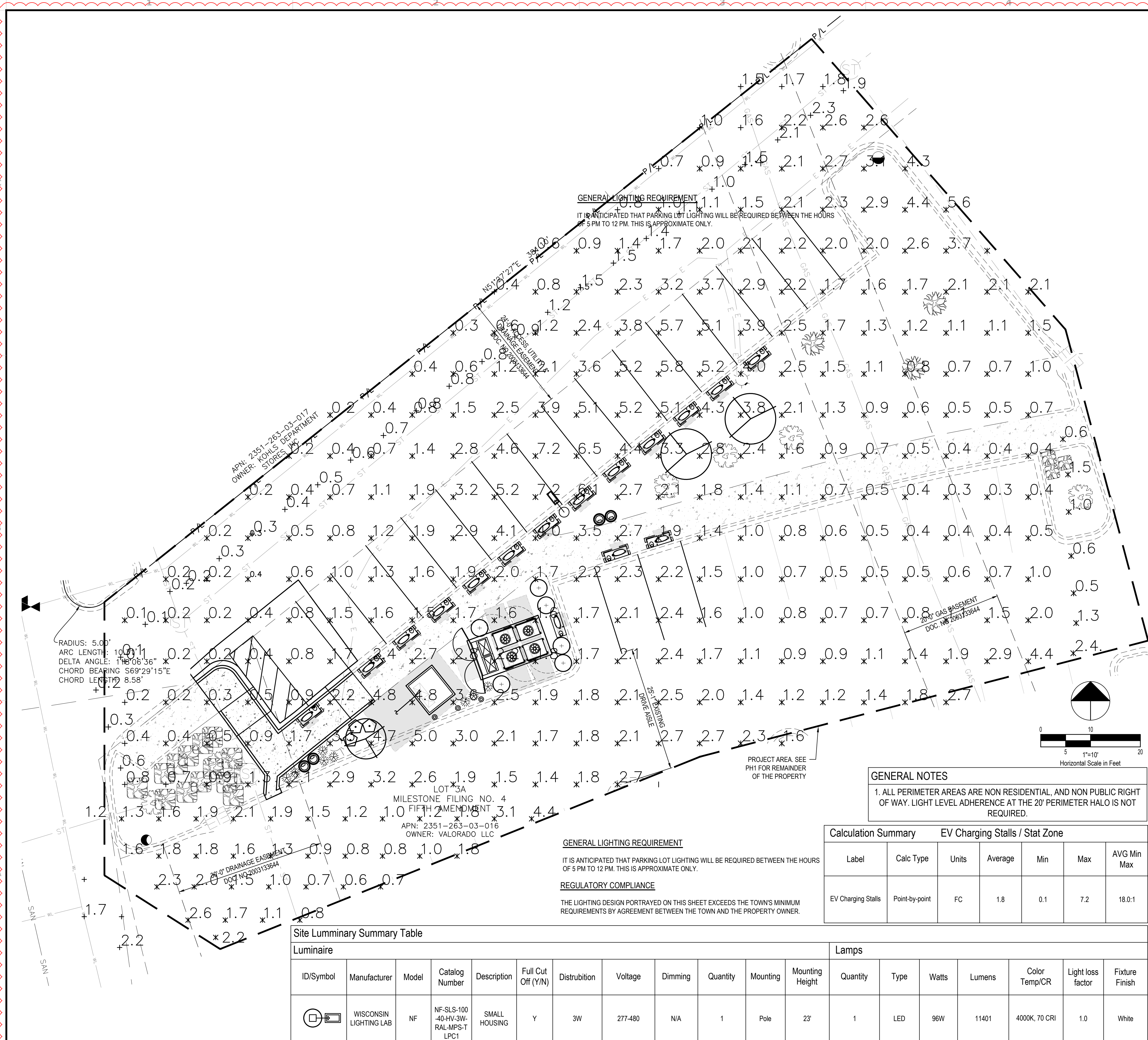
THE LIGHTING DESIGN PORTRAYED ON THIS SHEET EXCEEDS THE TOWN'S MINIMUM REQUIREMENTS BY AGREEMENT BETWEEN THE TOWN AND THE PROPERTY OWNER.

PHOTOMETRIC PLAN

DATE: 07/08/23
DRAWN BY: JLS
DESIGNED BY: JDT
CHECKED BY: JDT

PROJECT #: 99.195
FOR REFERENCE ONLY
10 OF 11
PH1
TOWN OF CASTLE ROCK
PROJECT NUMBER SDP23-0045

Drawing Name: 0120220224149 - RTT 2628 - Castle Rock, CO - Milestone Lighting/022024149 - Castle Rock, CO - Site Development Planning
 March 17, 2025 3:37 AM - R/mjg



GENERAL LIGHTING REQUIREMENT
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LOT 3A
 MILESTONE FILING NO. 4
 FIFTH AMENDMENT
 APN: 2351-263-03-016
 OWNER: VALORADO LLC

GENERAL LIGHTING REQUIREMENT
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GENERAL NOTES
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Calculation Summary		EV Charging Stalls / Stat Zone					
Label	Calc Type	Units	Average	Min	Max	AVG Min Max	
EV Charging Stalls	Point-by-point	FC	1.8	0.1	7.2	18.0:1	

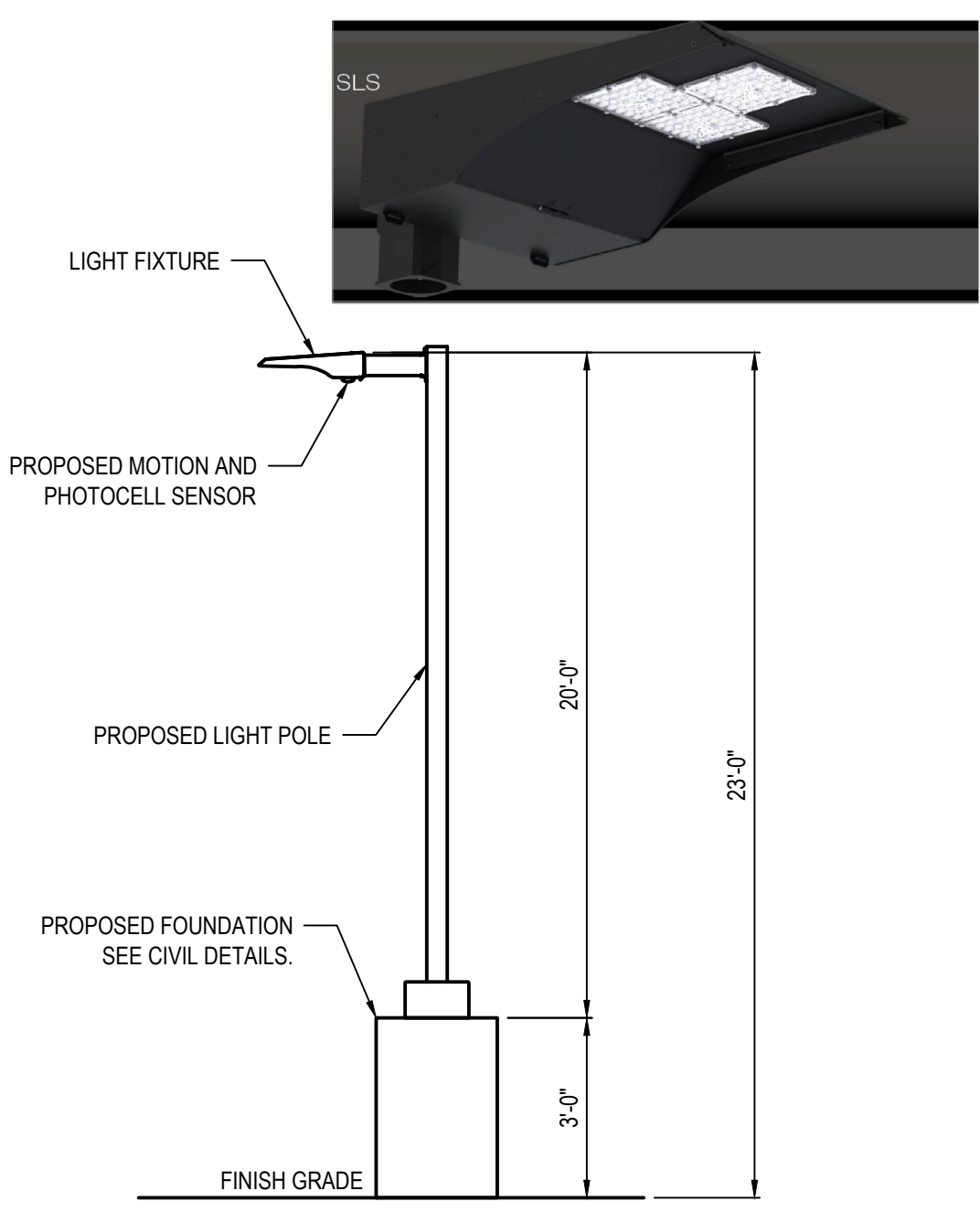
Site Luminaire Summary Table																		
Luminaire							Lamps											
ID/Symbol	Manufacturer	Model	Catalog Number	Description	Full Cut Off (Y/N)	Distribution	Voltage	Dimming	Quantity	Mounting	Mounting Height	Quantity	Type	Watts	Lumens	Color Temp/CR	Light loss factor	Fixture Finish
Ⓜ	WISCONSIN LIGHTING LAB	NF	NF-SLS-100-40-HV-3W-RAL-MPS-T-LPC1	SMALL HOUSING	Y	3W	277-480	N/A	1	Pole	23'	1	LED	96W	11401	4000K, 70 CRI	1.0	White

- LIGHTING NOTES**
- LIGHT LOSS FACTOR IS 1 (MUST BE SHOWN ON THE LUMINARY SUMMARY TABLE)
 - LIST THE HOURS OF LIGHT OPERATION AND HOW THIS WILL BE ACHIEVED. CONTROL DESCRIPTIONS INCLUDING TYPE OF CONTROLS, THE LUMINARIES TO BE CONTROLLED BY EACH TYPE, AND CONTROL SCHEDULE. POST CURFEW CONTROL METHOD AND SCHEDULE MUST BE ADDRESSED IN THE PLAN. TESLA SITE WILL BE OPEN 24 HOURS A DAY. LIGHTING ACTIVATED VIA PHOTOCELL AND MOTION SENSORS FROM DUSK TO DAWN.
 - DESCRIBE THE OBJECTIVE OF EACH AREA OF THE SITE FOR LIGHTING (DESCRIBE HOW THIS WILL BE ACCOMPLISHED.) LIGHTING TO ALLOW FOR OPERATION OF CHARGING EQUIPMENT WHEN THEIR IS NOT SUFFICIENT SUNLIGHT AND TO PROVIDE SECURITY & SAFETY AT NIGHT WHILE CHARGING OR IN THE AREA FOR CHARGING RELATED ACTIVITIES.
 - DESCRIBE THE MITIGATION EFFORTS FOR NEIGHBORING PROPERTIES (DESCRIBE LIGHT POLLUTION ON NEIGHBORING PROPERTIES WILL BE MITIGATED BY THE SELECTION OF THE LIGHT FIXTURE DISTRIBUTION.) EXTERIOR LIGHTING FOR EGRESS TRAVEL (TO THE PUBLIC WAY OR EGRESS COURT) SHALL COMPLY WITH THE CURRENTLY ADOPTED BUILDING CODE.
 - FORWARD THROW LUMINARIES. THE FOLLOWING LIGHTING TYPES ARE PROHIBITED: FORWARD THROW LUMINARIES (TYPE IV DISTRIBUTION), POLE-MOUNTED LIGHTS AIMED AT A BUILDING'S FACADE, AND UNSHIELDED WALL PACKS ARE PROHIBITED.



520 South Main Street, Suite 2531
 Akron, OH 44311
 330.572.2100 Fax 330.572.2101

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A-5 LIGHT POLE DETAIL
 N.T.S.

SITE DEVELOPMENT PLAN
 LOT 3A, MILESTONE FILING NO. 4 FIFTH AMENDMENT
 4612 MILESTONE LN, CASTLE ROCK, CO 80104
ENLARGED PHOTOMETRIC PLAN

PROJECT MANAGER	DESIGNER
IM	JLC

JOB NO.
202324149
 11 OF 11
E-302
 TOWN OF CASTLE ROCK
 PROJECT NUMBER SDP23-0045