

SITE DEVELOPMENT PLAN

MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3 FINAL PD SITE PLAN

LEGAL DESCRIPTION

LOT 3A, MILESTONE FILING NO. 4, FIFTH AMENDMENT, RECORDED SEPTEMBER 5, 2023, UNDER RECEPTION NO. 2003133644, IN THE OFFICIAL RECORDS OF DOUGLAS COUNTY, COLORADO.

SURVEYOR'S STATEMENT

_____, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN AMENDMENT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN AMENDMENT ACCURATELY REPRESENTS THAT SURVEY.

NAME _____ PLS NO. _____

BENCHMARK

NAIL IN CONCRETE, AS SHOWN, IN THE SOUTH WEST CORNER ALONG MILESTONE LN. ELEV. 6203.72' (NAVD 88).

BASICS OF BEARINGS

BEARINGS ARE BASED ON THE WEST LINE OF THE SOUTHWEST ONE-QUARTER OF SECTION 26 ASSUMED TO BEAR NORTH 00°23'28" EAST BETWEEN THE MONUMENTS REFER TO THE FINAL PLAT.

GENERAL NOTES

- THE TOWN OF CASTLE ROCK REQUIRES THAT MAINTENANCE ACCESS BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THIS PROPERTY, UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENTS AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATION AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS. THE MAINTENANCE COSTS SHALL INCLUDE ALL ACTUAL COSTS FOR LABOR, EQUIPMENT AND MATERIALS AND A 25% FEE.
- PURSUANT TO SECTION 4.7 AND 9.3.2 PER 2021 LANDSCAPE CRITERIA MANUAL OF THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED SITE DEVELOPMENT PLAN. LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY IS TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
- THE PROVIDED LANDSCAPE COUNTS IN THE SITE DEVELOPMENT PLAN ARE MINIMUM REQUIRED COUNTS. ANY CHANGES TO THE PROVIDED LANDSCAPE COUNTS SHALL REQUIRE AN SDP AMENDMENT. THE LOCATION OF PLANT MATERIAL IS SUBJECT TO CHANGE DUE TO FIELD CONDITIONS WITH REVIEW OF THE CONSTRUCTION DOCUMENTS.
- NO PORTIONS OF THE SITE ARE WITHIN A FEMA REGULATED FLOODPLAIN PER PRELIMINARY FEMA MAP NUMBER 0803500167G, DATED MARCH 16, 2016.
- ANY STREET SIGNS, STRIPING, STREET LIGHTS AND CURB RAMPS ARE CONCEPTUAL ONLY AND SUBJECT TO TOWN REVIEW WITH THE CONSTRUCTION DOCUMENTS. THESE ITEMS SHALL COMPLY WITH THE TOWN OF CASTLE ROCK'S REGULATIONS, STANDARDS AND REQUIREMENTS.
- THE DEVELOPER SHALL CONFORM TO THE TOWN OF CASTLE ROCK "WATER USE MANAGEMENT PROGRAM IMPLEMENTATION POLICY", AS AMENDED FROM TIME TO TIME, FOR THIS PROJECT.
- APPROVAL OF THIS SITE DEVELOPMENT PLAN DOES NOT CONSTITUTE APPROVAL OF ANY DEVIATIONS FROM TOWN OF CASTLE ROCK REGULATIONS AND STANDARDS. ALL DEVIATIONS FROM TOWN REGULATIONS AND STANDARDS ARE SUBJECT TO THE APPROPRIATE PROCEDURES FOR APPROVAL.
- NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS, TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATIONS OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
- ALL EMERGENCY ACCESS ROADS, EMERGENCY ACCESS GATES AND SIGNAGE SHALL COMPLY WITH THE TOWN OF CASTLE ROCK FIRE DEPARTMENT REQUIREMENTS AND SHALL BE MAINTAINED BY METROPOLITAN DISTRICT, HOMEOWNERS ASSOCIATION, OR OTHER PROPERTY MANAGEMENT ENTITY.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 10-FOOT UTILITY EASEMENT ALONG THE FRONT AND REAR LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY AND SHALL HAVE 5-FOOT UTILITY EASEMENTS ALONG EACH SIDE LOT LINE. THESE UTILITY EASEMENTS ARE FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO STREET LIGHTS, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES.
- A SIGN PERMIT FOR EACH SIGN MUST BE OBTAINED FROM THE TOWN OF CASTLE ROCK BUILDING DIVISION PRIOR TO PLACING ANY SIGN ON THE PROPERTY. ALL SIGNS MUST COMPLY WITH THE PROVISIONS OF TITLE 19 (SIGN CODE REGULATIONS) OF THE MUNICIPAL CODE.
- THE NUMBER OF PARKING SPACES HAS BEEN SET BASED ON THE PROPOSED USES ON THIS SITE DEVELOPMENT PLAN AND CHAPTER 17.54 OF THE CASTLE ROCK MUNICIPAL CODE WILL REQUIRE AN AMENDMENT TO THIS SITE DEVELOPMENT PLAN.

FLOOD PLAIN NOTES

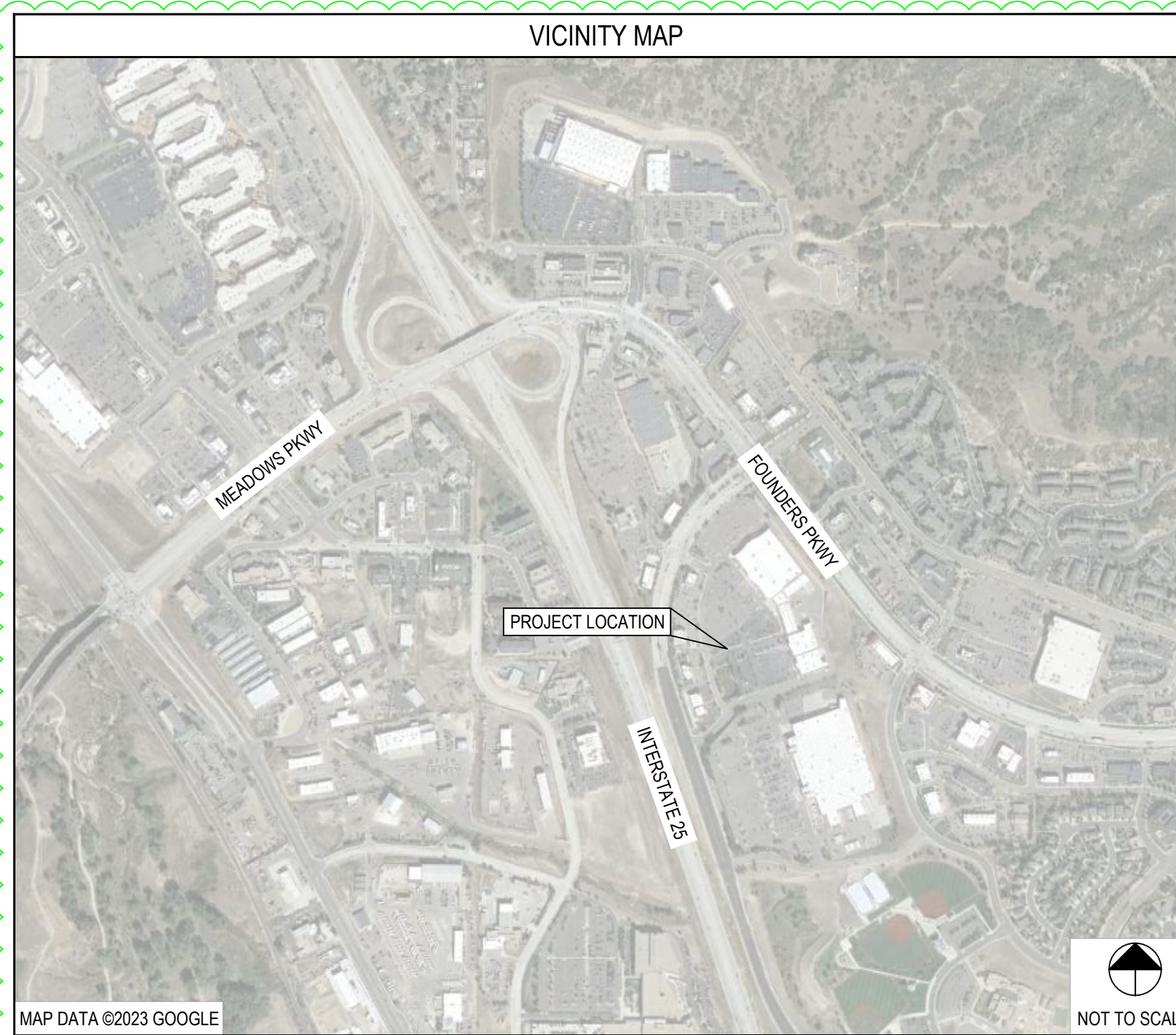
THE SITE IS LOCATED IN FLOOD ZONE "X" (AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER FLOOD INSURANCE MAP NUMBER 0803500186G, EFFECTIVE DATE - 03/16/2016.

LAND USE SUMMARY

ZONING PD WITH IB USE
LOT 3A AREA 366,210 S.F. (8.18 AC.)
BUILDING AREA COVERAGE 51,231 S.F.

DEVELOPMENT STANDARDS - LOT 3A

COMMERCIAL DEVELOPMENT STANDARDS	REQUIRED	PROVIDED
LANDSCAPE AREA	37,069 S.F.	64,482 S.F.
BUILDING FOOTPRINTS	N/A	N/A
PARKING LOT AREA	N/A	N/A
SIDEWALK, STREETS, ETC	N/A	N/A
TOTAL PKG./HARDSCAPE AREA	N/A	N/A
MIN. BUILDING SETBACKS		
BUILDING FRONT (WEST)	N/A	485 FT (APPROX.)
BUILDING SIDE (NORTH)	N/A	0 FT (APPROX.)
BUILDING SIDE (SOUTH)	N/A	85 FT (APPROX.)
BUILDING REAR (EAST)	N/A	38 FT (APPROX.)
MAX. BUILDING HEIGHT	50 FEET - PERMITTED	30 FEET
OFF-STREET PARKING		
STANDARD SPACES	4.0 SP./100 SF GFA	4.70 SP./100 SF GFA
HANDICAP SPACES	205	239
CROSS ACCESS SPACES	7	8
(NOT INCLUDED IN LOT 4 RATIO CALCULATION)	N/A	N/A



PROPERTY OWNER

VALORADO LLC
CONTACT: TBD

CIVIL, ELECTRICAL, ENGINEER

GPD GROUP, INC.
520 SOUTH MAIN STREET, SUITE 2531
AKRON, OH 44311

UTILITY PROVIDERS

WATER	TOWN OF CASTLE ROCK
SEWER	TOWN OF CASTLE ROCK
GAS	AQUILA
ELECTRICITY	CORE ELECTRIC
TELEPHONE	QWEST COMMUNICATIONS
CATV	AT&T BROADBAND

SHEET INDEX

CS1	COVER SHEET
SP1/SP2	SITE PLAN (BY OTHERS)
GP1/GP2	GRADING PLAN (BY OTHERS)
UP1/UP2	UTILITY PLAN (BY OTHERS)
EL1	ARCHITECTURAL ELEVATIONS (BY OTHERS)
LP1-LP3	LANDSCAPE PLAN (BY OTHERS)
LP4	LANDSCAPE DETAILS (BY OTHERS)
PH1	PHOTOMETRIC PLAN (BY OTHERS)
C-111	ENLARGED CIVIL SITE PLAN
C-201-C-203	CIVIL DETAILS
L-101	ENLARGED LANDSCAPE PLAN

TOWN APPROVAL

THIS FINAL PD SITE PLAN FOR MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A, A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN, WAS APPROVED BY DEVELOPMENT SERVICES FOR THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 20____.

DIRECTOR OF DEVELOPMENT SERVICES _____ DATE _____

TITLE CERTIFICATION

_____, AN AUTHORIZED REPRESENTATIVE OF _____ A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS MORTGAGERS AND LIEN HOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP.

AUTHORIZED REPRESENTATIVE _____

TITLE COMPANY _____

SIGNED THIS _____ DAY OF _____, 20____.

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____ AS AUTHORIZED REPRESENTATIVE OF _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____.

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

VALORADO LLC

BY: _____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20____.

BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC _____

MY COMMISSION EXPIRES: _____.

MODIFICATIONS

- ADDITION OF 16 ELECTRIC VEHICLE CHARGING STATIONS AND ALL ASSOCIATED EQUIPMENT.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	01/17/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
 MILESTONE FILING NO. 4 5TH AMENDMENT, LOT 3A
 4612 MILESTONE LN, CASTLE ROCK, CO 80104

SDP COVER SHEET

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

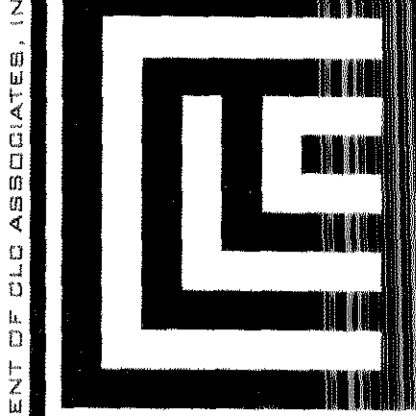
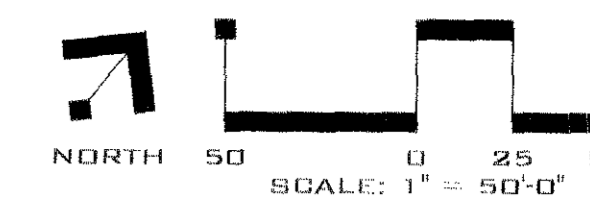
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CS1

FINAL PD SITE PLAN

MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



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 1440 E. BROADWAY RD.
 SUITE 2000
 DENVER, CO 80202
 P 303 733 5600
 F 303 733 5600
 CLC@CLC.COM

ARCHITECTURE
 ENGINEERING PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

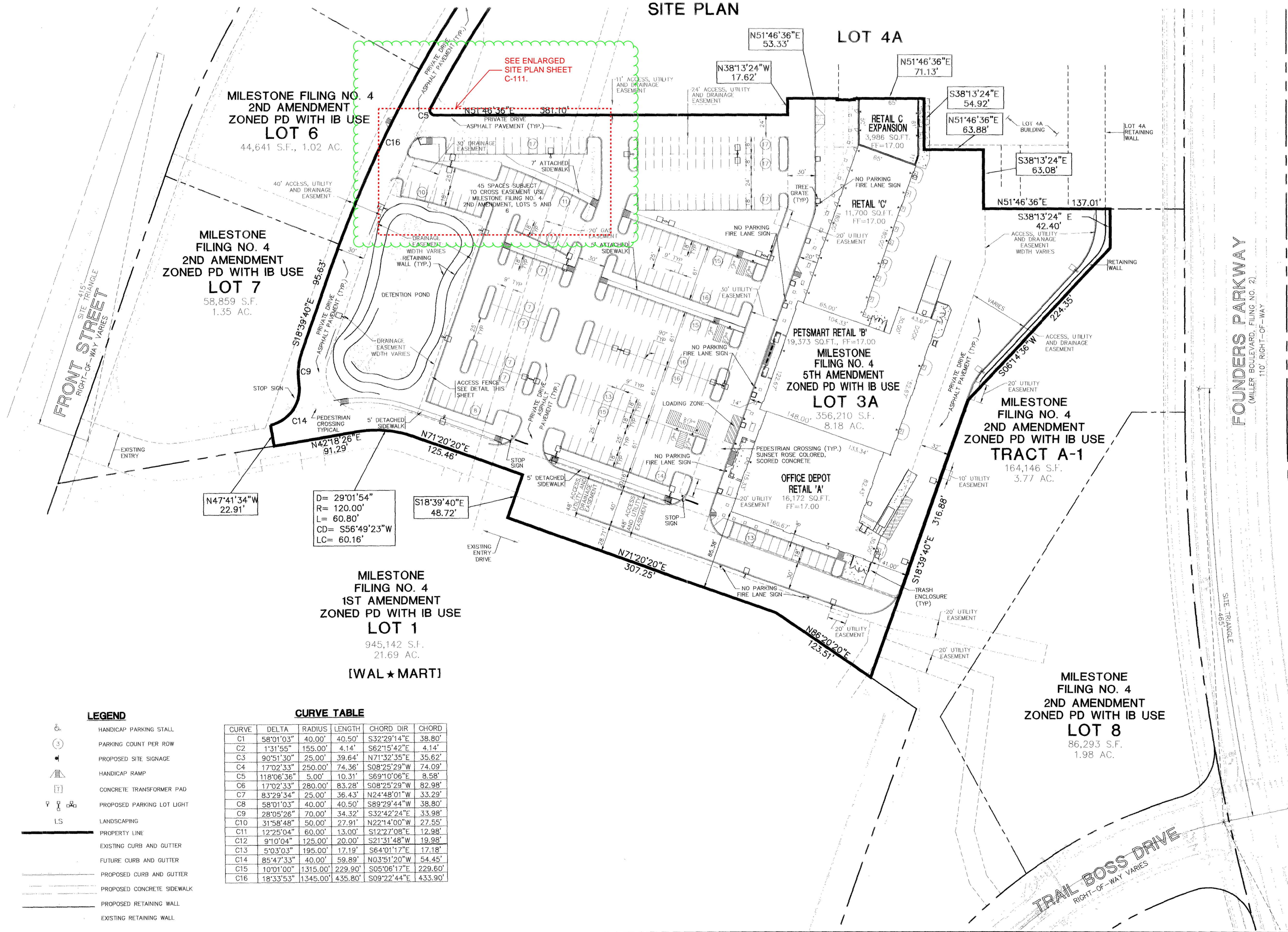
FINAL PD SITE PLAN
 MILESTONE FILING NO. 4
 5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO

DATE: 07/06/03
 DESCRIPTION: INITIAL ACCEPTANCE

PROJECT #: 99.135
 DRAWN BY: JLS
 DESIGNED BY: JDT
 CHECKED BY: JDT

FOR
 REFERENCE
 ONLY
 2 OF 18
 SP1

SITE PLAN



**MILESTONE FILING NO. 4
 2ND AMENDMENT
 ZONED PD WITH IB USE
 LOT 6**
 44,641 S.F., 1.02 AC.

**MILESTONE FILING NO. 4
 2ND AMENDMENT
 ZONED PD WITH IB USE
 LOT 7**
 58,859 S.F.,
 1.35 AC.

**MILESTONE FILING NO. 4
 1ST AMENDMENT
 ZONED PD WITH IB USE
 LOT 1**
 945,142 S.F.,
 21.69 AC.
[WAL * MART]

LEGEND

- HANDICAP PARKING STALL
- PARKING COUNT PER ROW
- PROPOSED SITE SIGNAGE
- HANDICAP RAMP
- CONCRETE TRANSFORMER PAD
- PROPOSED PARKING LOT LIGHT
- LANDSCAPING
- PROPERTY LINE
- EXISTING CURB AND GUTTER
- FUTURE CURB AND GUTTER
- PROPOSED CURB AND GUTTER
- PROPOSED CONCRETE SIDEWALK
- PROPOSED RETAINING WALL
- EXISTING RETAINING WALL

CURVE TABLE

CURVE	DELTA	RADIUS	LENGTH	CHORD DIR	CHORD
C1	58°01'03"	40.00'	40.50'	S32°29'14"E	38.80'
C2	1°31'55"	155.00'	4.14'	S62°15'42"E	4.14'
C3	90°51'30"	25.00'	39.64'	N71°32'35"E	35.62'
C4	17°02'33"	250.00'	74.36'	S08°25'29"W	74.09'
C5	118°06'36"	5.00'	10.31'	S69°10'06"E	8.58'
C6	17°02'33"	280.00'	83.28'	S08°25'29"W	82.98'
C7	83°29'34"	25.00'	36.43'	N24°48'01"W	35.29'
C8	58°01'03"	40.00'	40.50'	S69°29'44"W	38.80'
C9	28°05'26"	70.00'	34.32'	S32°42'24"E	33.98'
C10	31°58'48"	50.00'	27.91'	N22°14'00"W	27.55'
C11	12°25'04"	60.00'	13.00'	S12°27'08"E	12.98'
C12	9°10'04"	125.00'	20.00'	S21°31'48"W	19.98'
C13	5°03'03"	195.00'	17.19'	S64°01'17"E	17.18'
C14	85°47'33"	40.00'	59.89'	N03°51'20"W	54.45'
C15	10°01'00"	1315.00'	229.90'	S05°06'17"E	229.60'
C16	18°33'53"	1345.00'	435.80'	S09°22'44"E	433.90'

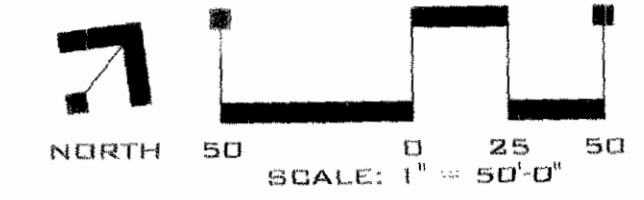
FINAL PD SITE PLAN

MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN

SITE PLAN



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 1440 E. BRIDGEMAN RD.
 SUITE 2000
 GREENWICH VILLAGE
 COLORADO 80111
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 F. 303.770.5649
 CLCASSOCIATES.COM

ARCHITECTURE
 ENGINEERING PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

FINAL PD SITE PLAN
 MILESTONE FILING NO. 4
 5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO

DATE	DESCRIPTION
07/08/09	INITIAL ACCEPTANCE

PROJECT #: 99.135
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 DESIGNED BY: JDT
 CHECKED BY: JDT

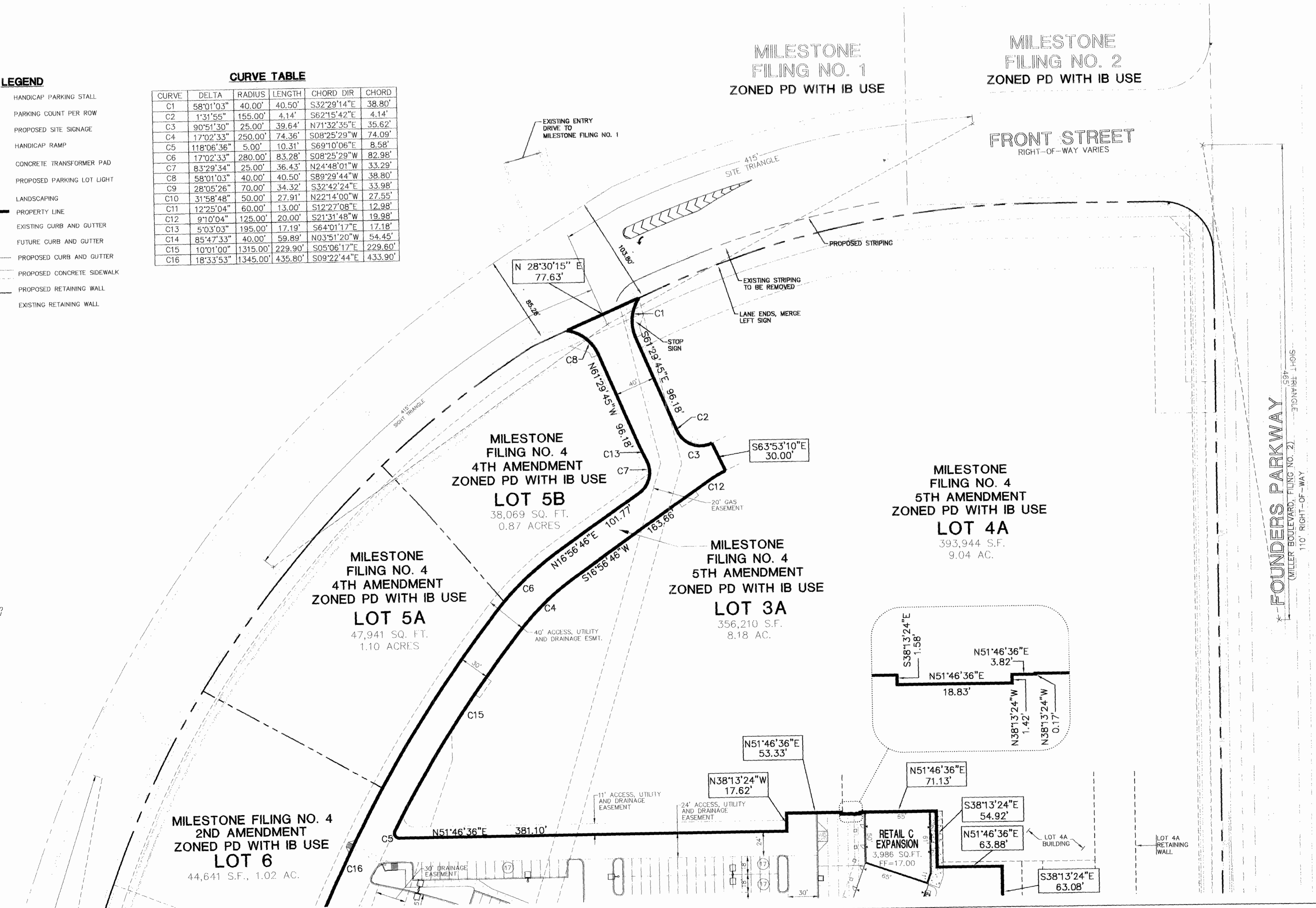
FOR
 REFERENCE
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 3 OF 18
SP2

LEGEND

	HANDICAP PARKING STALL
	PARKING COUNT PER ROW
	PROPOSED SITE SIGNAGE
	HANDICAP RAMP
	CONCRETE TRANSFORMER PAD
	PROPOSED PARKING LOT LIGHT
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	PROPERTY LINE
	EXISTING CURB AND GUTTER
	FUTURE CURB AND GUTTER
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	PROPOSED RETAINING WALL
	EXISTING RETAINING WALL

CURVE TABLE

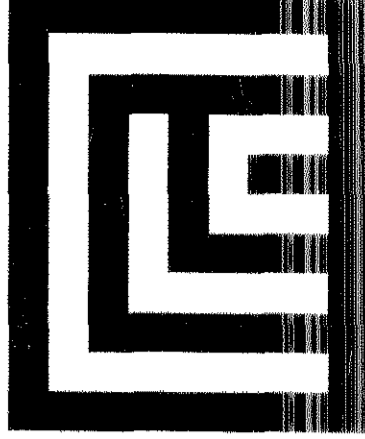
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INTERSTATE
 HIGHWAY 25
 RIGHT-OF-WAY VARIES

SITE PLAN

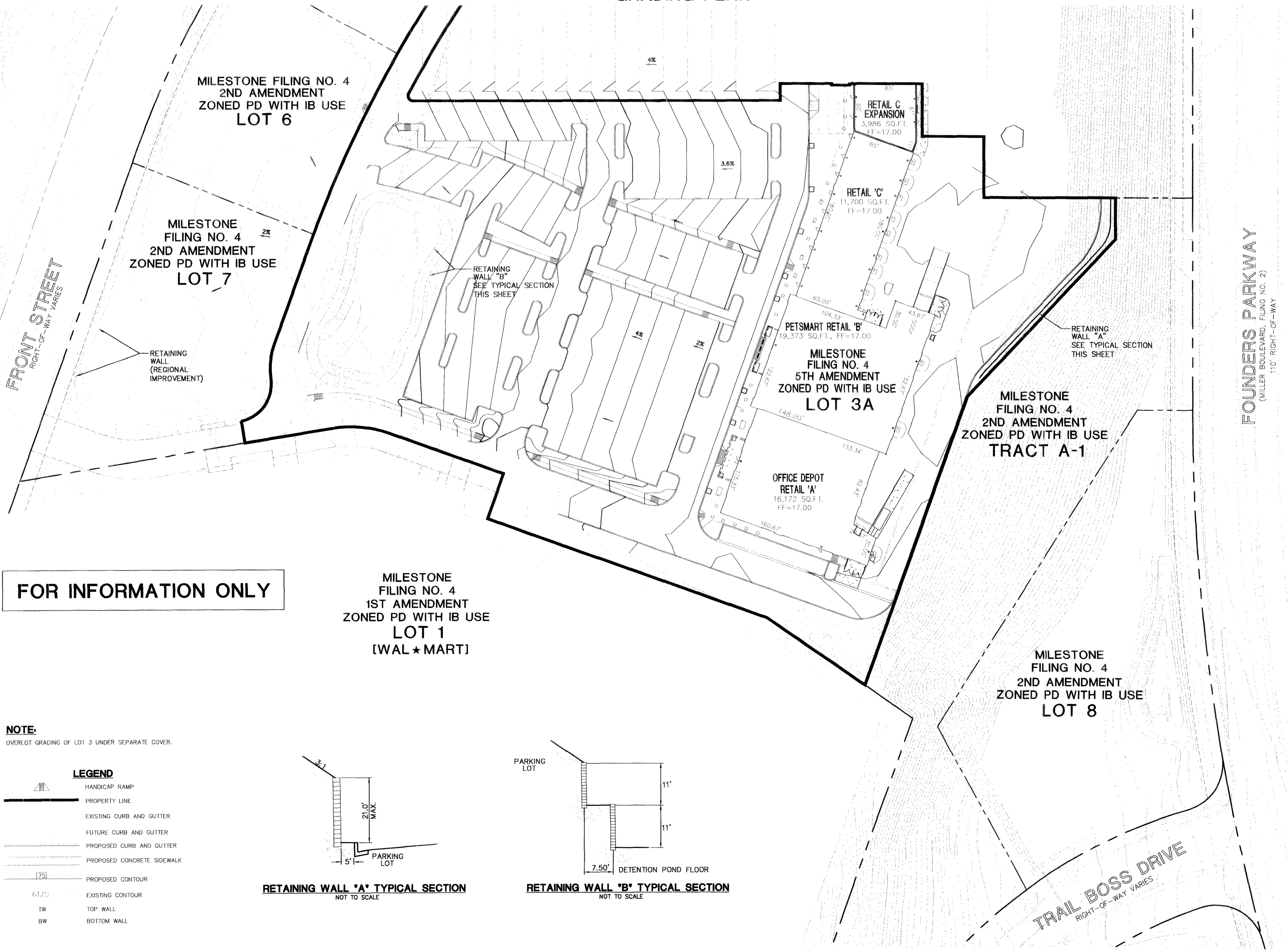
FINAL PD SITE PLAN MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN GRADING PLAN



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ARCHITECTURE
 ENGINEERING PLANNING
 AND LANDSCAPE ARCHITECTURE
 LAND SURVEYING

FINAL PD SITE PLAN
 MILESTONE FILING NO. 4
 5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO



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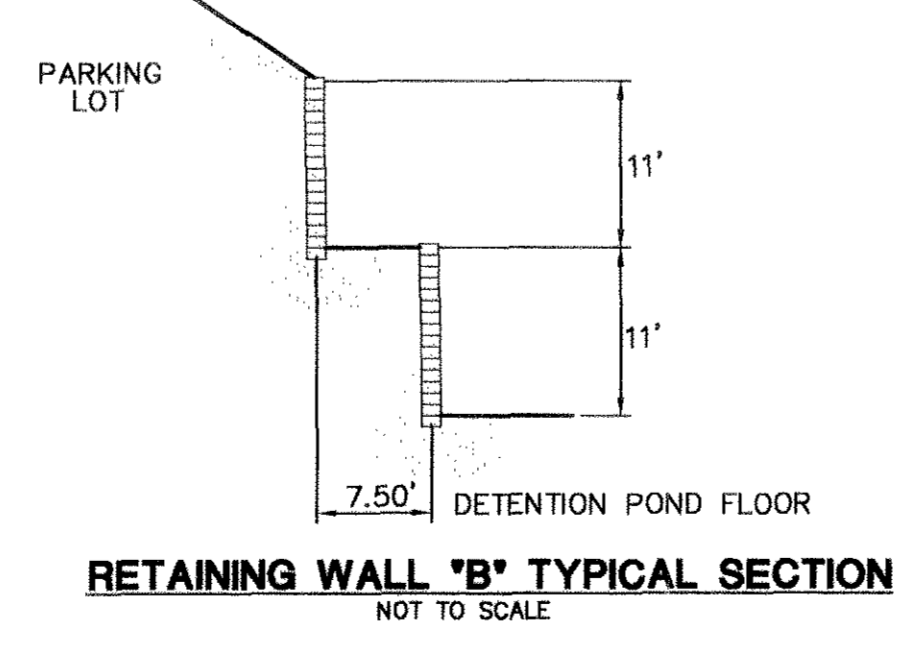
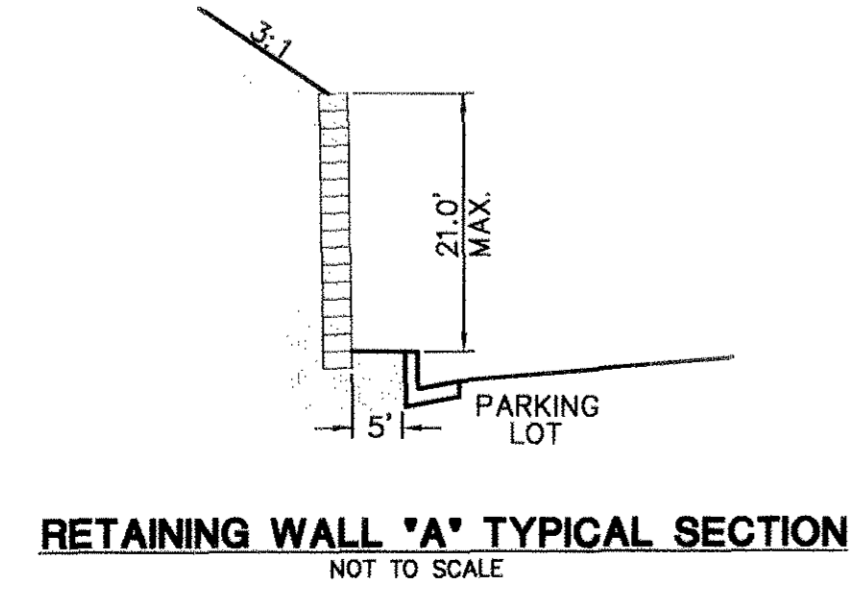
MILESTONE FILING NO. 4
 1ST AMENDMENT
 ZONED PD WITH IB USE
 LOT 1
 [WAL ★ MART]

NOTE:

OVERLOT GRADING OF LOT 3 UNDER SEPARATE COVER.

LEGEND

	HANDICAP RAMP
	PROPERTY LINE
	EXISTING CURB AND GUTTER
	FUTURE CURB AND GUTTER
	PROPOSED CURB AND GUTTER
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CONTOUR
	EXISTING CONTOUR
TW	TOP WALL
BW	BOTTOM WALL



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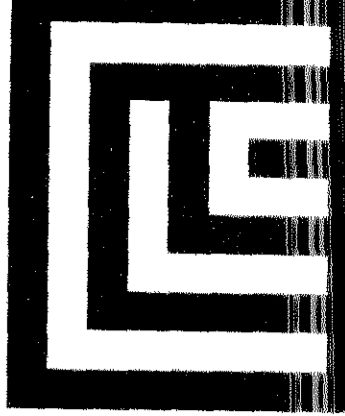
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07/08/09	INITIAL ACCEPTANCE

PROJECT #: 99.135
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 DESIGNED BY: JDT
 CHECKED BY: JDT

FOR
 REFERENCE
 ONLY
 4 OF 18
GP1

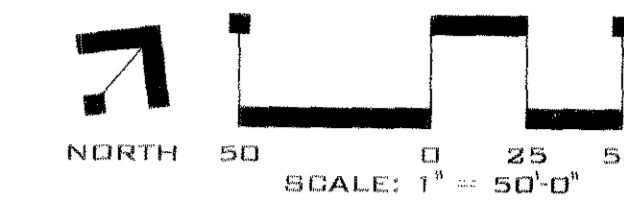
GRADING PLAN

FINAL PD SITE PLAN MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN GRADING PLAN



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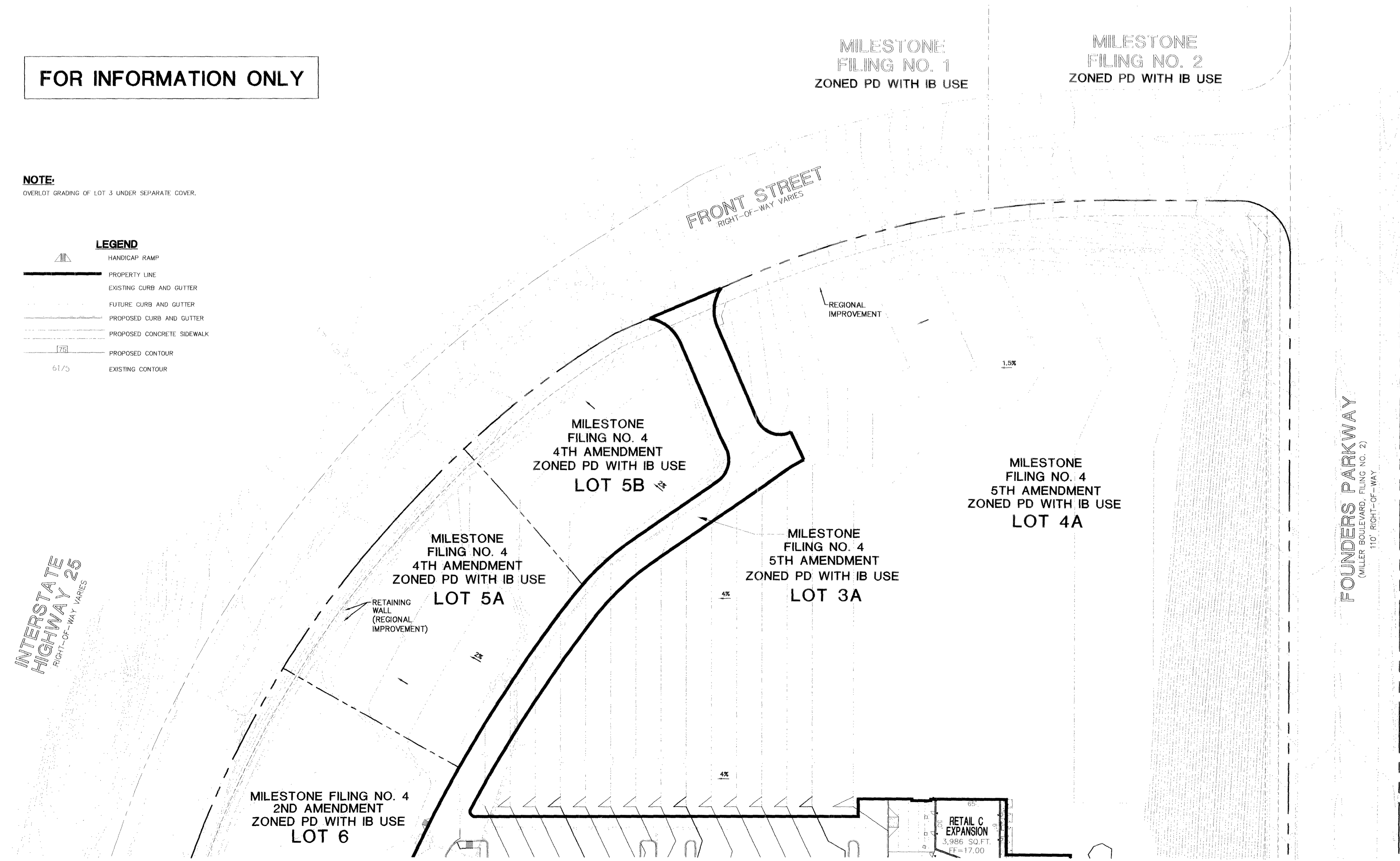
ARCHITECTURE
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING



FOR INFORMATION ONLY

NOTE:
OVERLOT GRADING OF LOT 3 UNDER SEPARATE COVER.

- LEGEND**
- HANDICAP RAMP
 - PROPERTY LINE
 - EXISTING CURB AND GUTTER
 - FUTURE CURB AND GUTTER
 - PROPOSED CURB AND GUTTER
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED CONTOUR
 - EXISTING CONTOUR



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GRADING PLAN

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO

FOR
REFERENCE
ONLY
5 OF 18
GP2

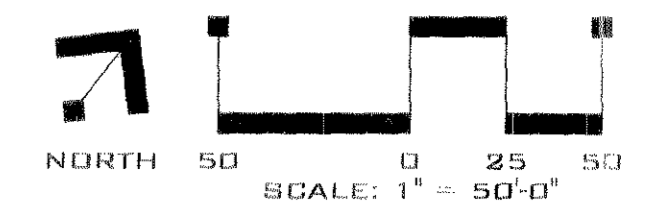
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MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

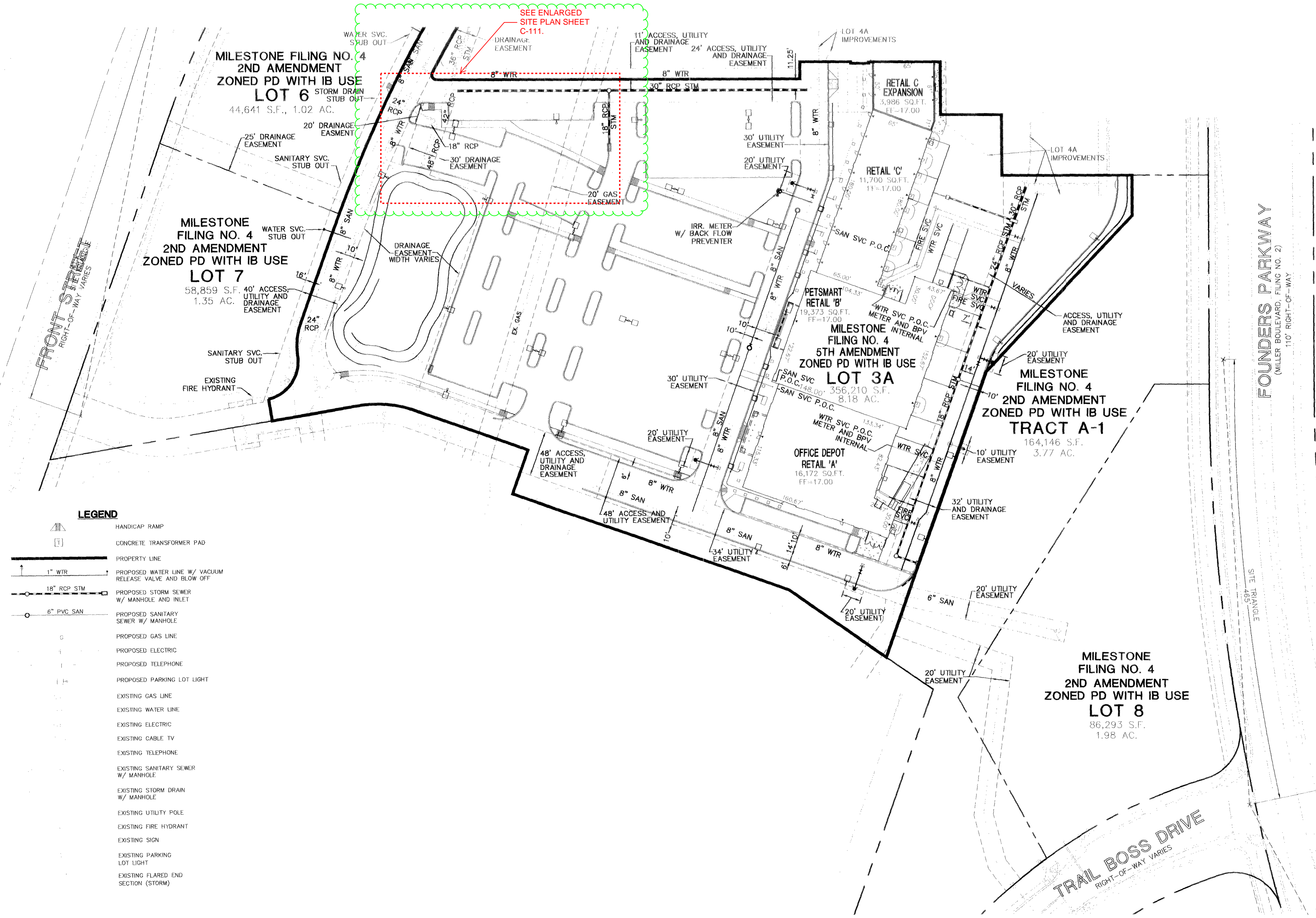
MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN

UTILITY PLAN



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ARCHITECTURE
 ENGINEERING PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING



LEGEND

- HANDICAP RAMP
- CONCRETE TRANSFORMER PAD
- PROPERTY LINE
- PROPOSED WATER LINE W/ VACUUM RELEASE VALVE AND BLOW OFF
- PROPOSED STORM SEWER W/ MANHOLE AND INLET
- PROPOSED SANITARY SEWER W/ MANHOLE
- PROPOSED GAS LINE
- PROPOSED ELECTRIC
- PROPOSED TELEPHONE
- PROPOSED PARKING LOT LIGHT
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING ELECTRIC
- EXISTING CABLE TV
- EXISTING TELEPHONE
- EXISTING SANITARY SEWER W/ MANHOLE
- EXISTING STORM DRAIN W/ MANHOLE
- EXISTING UTILITY POLE
- EXISTING FIRE HYDRANT
- EXISTING SIGN
- EXISTING PARKING LOT LIGHT
- EXISTING FLARED END SECTION (STORM)

FINAL PD SITE PLAN
 MILESTONE FILING NO. 4
 5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO

UTILITY PLAN

DATE	DESCRIPTION
07/28/03	INITIAL ACCEPTANCE

PROJECT #: 99-135
 DRAWN BY: JLS
 DESIGNED BY: JDT
 CHECKED BY: JDT

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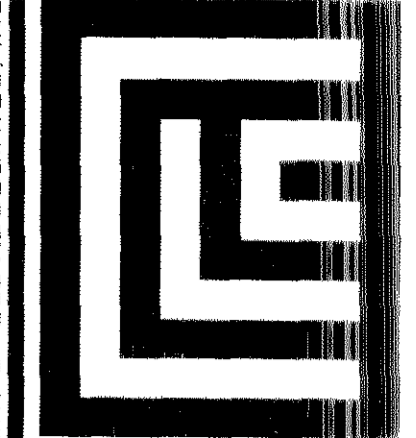
FINAL PD SITE PLAN

MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A

A MINOR SITE PLAN AMENDMENT TO THE

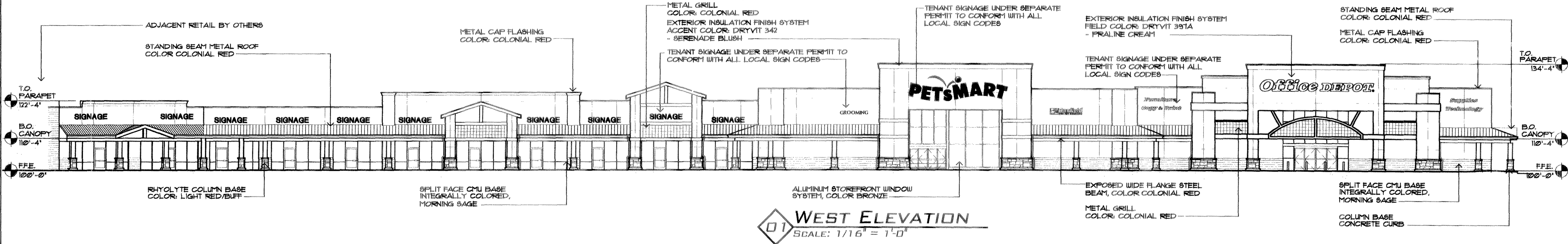
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ARCHITECTURAL ELEVATIONS

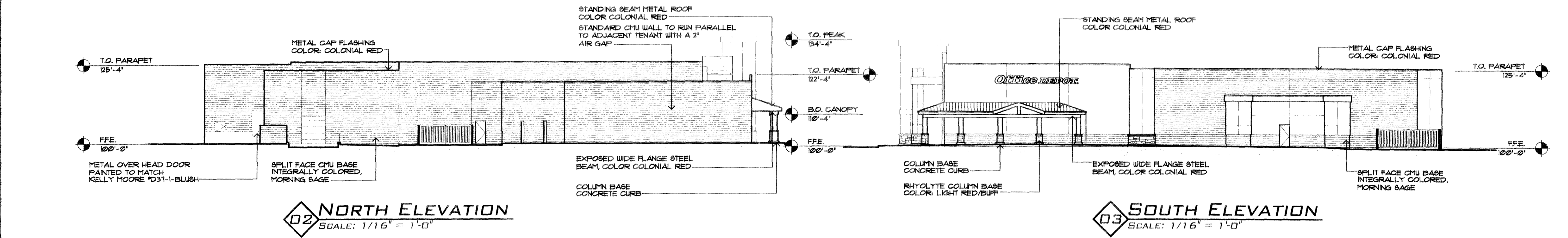


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ARCHITECTURE
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 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

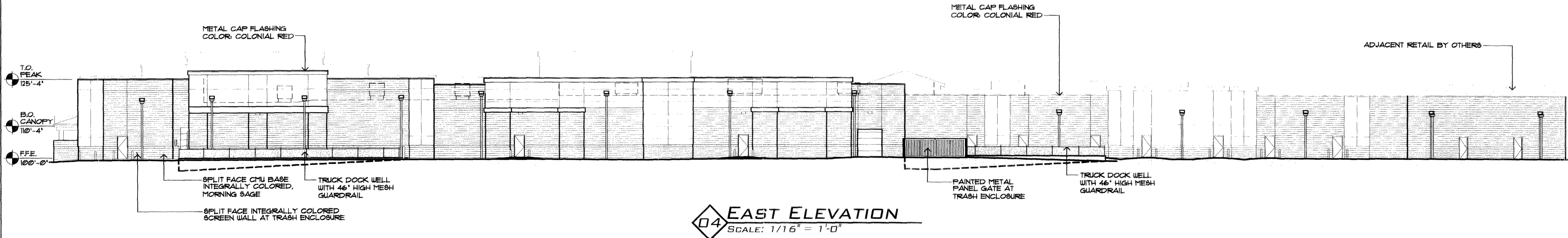


01 WEST ELEVATION
 SCALE: 1/16" = 1'-0"

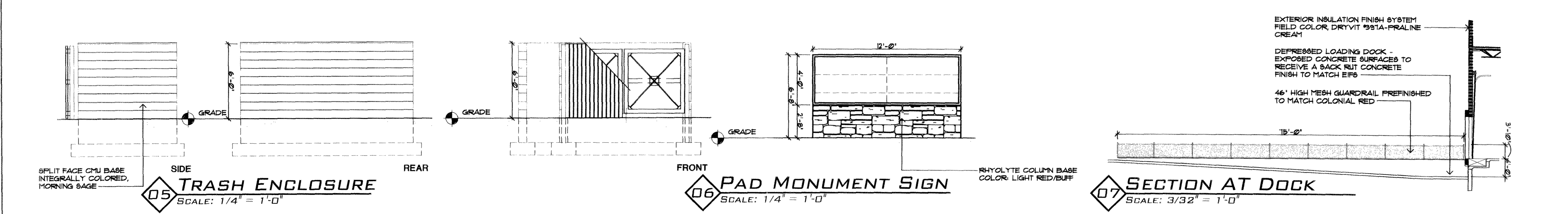


02 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

03 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"



04 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



05 TRASH ENCLOSURE
 SCALE: 1/4" = 1'-0"

06 PAD MONUMENT SIGN
 SCALE: 1/4" = 1'-0"

07 SECTION AT DOCK
 SCALE: 3/32" = 1'-0"

FINAL PD SITE PLAN
 MILESTONE FILING NO. 4
 5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO

ARCHITECTURAL ELEVATIONS
 DATE: 07/06/03
 DESCRIPTION: INITIAL ACCEPTANCE
 PROJECT #: 99-135
 DRAWN BY: SDA
 DESIGNED BY: JAD
 CHECKED BY: JAD

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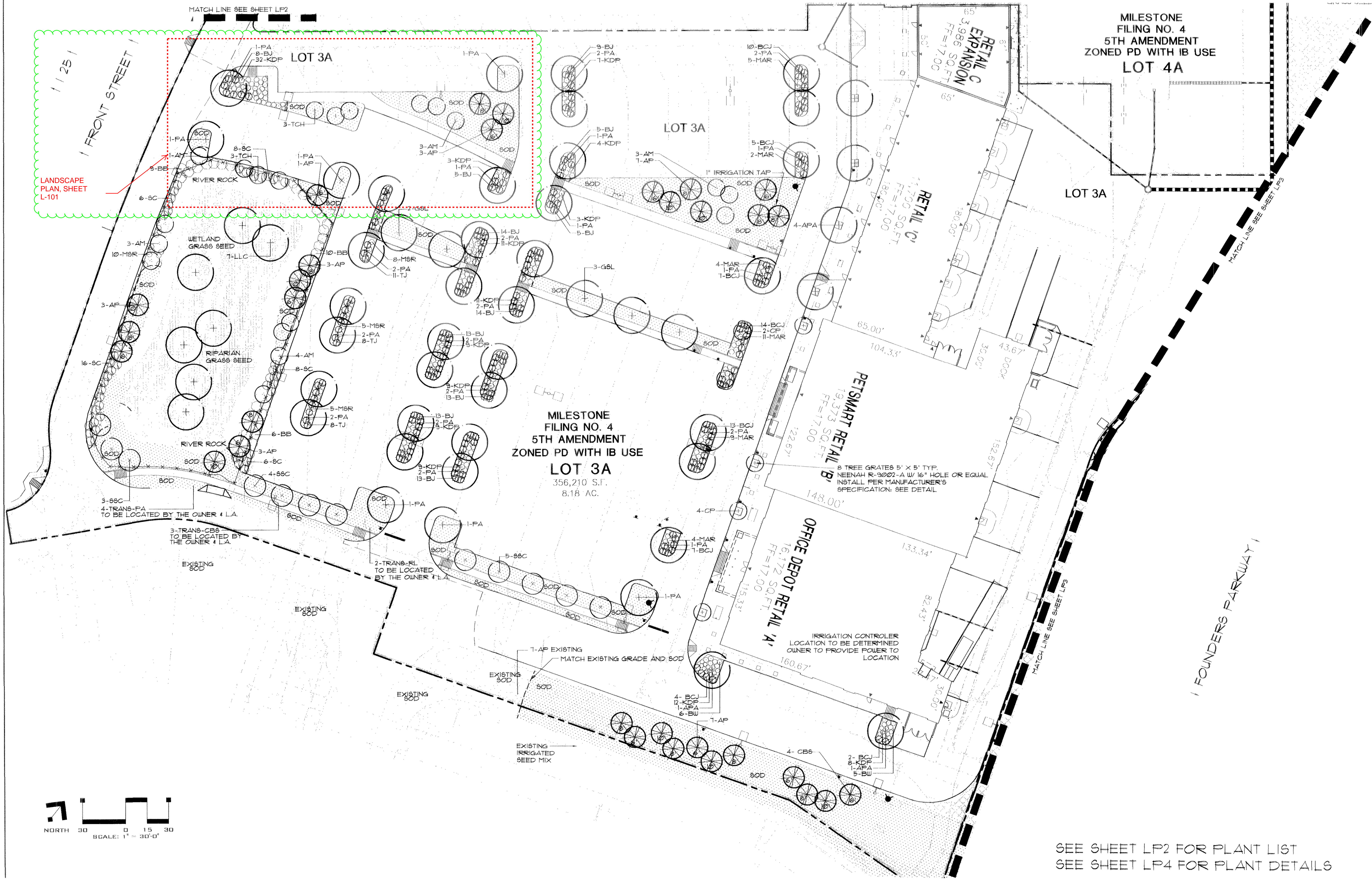
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FINAL PD SITE PLAN

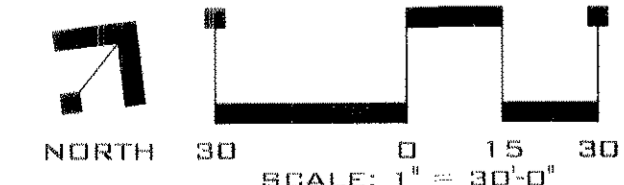
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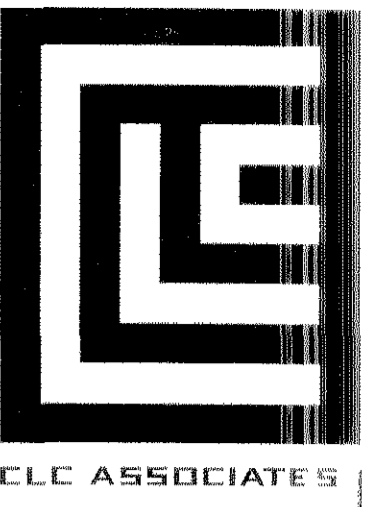
MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



LANDSCAPE PLAN, SHEET L-101



SEE SHEET LP2 FOR PLANT LIST
SEE SHEET LP4 FOR PLANT DETAILS



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ARCHITECTURE
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE	DESCRIPTION	INITIALS
07/05/03	INITIAL ACCEPTANCE	

PROJECT #: 99.135
DRAWN BY: SEW
DESIGNED BY: SEW
CHECKED BY: KDP

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LP1

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LANDSCAPE PLAN

FINAL PD SITE PLAN MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN

FESCUE LAWN SOD MIX

(FULLY IRRIGATED)
(TO BE MOULDED)
PERCENTAGES BY SEED COUNT

90% TURF-TYPE OR FINE BLADE TALL FESCUE
(3 IMPROVED VARIETIES)

10% CANADIAN OR KENTUCKY BLUEGRASS
(2 IMPROVED VARIETIES)

DRYLAND SEED MIX

(SUPPLEMENTAL IRRIGATION)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 211 LB. PLG/ACRE; DRILL SEEDED
ADD 50% IF HYDROSEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

0.5 LB. ALKALI SACATON

5.6 LB. STREAMBANK WHEATGRASS

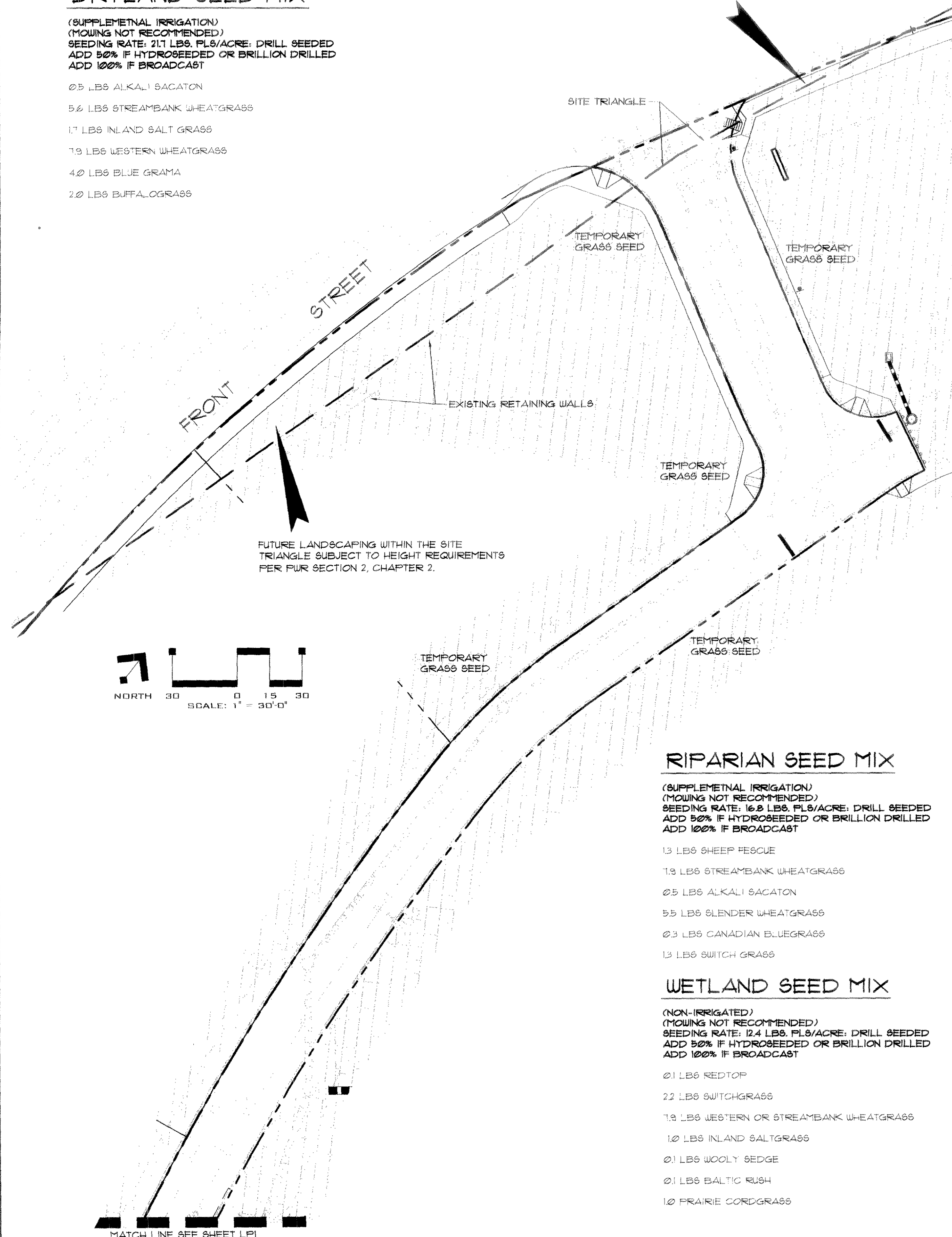
1.7 LB. INLAND SALT GRASS

7.9 LB. WESTERN WHEATGRASS

4.0 LB. BLUE GRAMA

2.0 LB. BUFFALOGRASS

FUTURE LANDSCAPING WITHIN THE SITE
TRIANGLE SUBJECT TO HEIGHT REQUIREMENTS
PER PUR SECTION 2, CHAPTER 2.



RIPARIAN SEED MIX

(SUPPLEMENTAL IRRIGATION)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 16.8 LB. PLG/ACRE; DRILL SEEDED
ADD 50% IF HYDROSEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

- 1.3 LB. SHEEP FESCUE
- 1.3 LB. STREAMBANK WHEATGRASS
- 0.5 LB. ALKALI SACATON
- 5.5 LB. SLENDER WHEATGRASS
- 0.3 LB. CANADIAN BLUEGRASS
- 1.3 LB. SWITCH GRASS

WETLAND SEED MIX

(NON-IRRIGATED)
(MOWING NOT RECOMMENDED)
SEEDING RATE: 12.4 LB. PLG/ACRE; DRILL SEEDED
ADD 50% IF HYDROSEDED OR BRILLION DRILLED
ADD 100% IF BROADCAST

- 0.1 LB. REDTOP
- 2.2 LB. SWITCHGRASS
- 7.9 LB. WESTERN OR STREAMBANK WHEATGRASS
- 1.0 LB. INLAND SALTGRASS
- 0.1 LB. WOOLY SEDGE
- 0.1 LB. BALTIC RUSH
- 1.0 PRAIRIE CORDGRASS

PLANT LIST

QUAN	SYM	COMMON/BOTANICAL NAME	SIZE	REMARKS
DECIDUOUS TREES				
6	APA	AUTUMN PURPLE ASH <i>Fraxinus americana 'Autumn Purple'</i>	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
42	PA	PATMORE ASH <i>Fraxinus pennsylvanica 'Patmore'</i>	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
5	GSL	GREENSPIRE LINDEN <i>Tilia cordata 'Greenspire'</i>	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
1	LLC	LANCELEAF COTTONWOOD <i>Populus x acuminata</i>	2" CAL.	FULL CROWN, B4B, STAKED SPECIMEN QUALITY
ORNAMENTAL TREES				
14	AM	AMUR MAPLE <i>Acer Ginnata</i>	6' CLUMP	3 STEM MIN, B4B SPECIMEN QUALITY
0	SB5	SHADELOW SERVICEBERRY <i>Amelanchier canadensis</i>	6' CLUMP	3 STEM MIN, B4B SPECIMEN QUALITY
4	TCH	THORNLESS COCKSPUR <i>Crataegus crus-galli 'Inermis'</i>	1 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
12	SSC	SPRING SNOW CRABAPPLE <i>Malus 'Spring Snow'</i>	1 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
6	CP	CHANTICLEER PEAR <i>Pyrus calleryana 'Chanticleer'</i>	2 1/2" CAL.	SPECIMEN QUALITY FULL CROWN, B4B, STAKED
EVERGREEN TREES				
21	AP	AUSTRIAN PINE <i>Pinus nigra</i>	6'-10' HT. SEE PLAN	FULL FORM, B4B, GUYED SPECIMEN QUALITY
4	CB5	COLORADO BLUE SPRUCE <i>Picea pungens</i>	6'-10' HT. SEE PLAN	FULL FORM, B4B, GUYED SPECIMEN QUALITY
SHRUBS				
21	TJ	TAMMY JUNIFER <i>Juniperus sabina 'Tamariscifolia'</i>	5 GAL. 18"-24" SPRD.	SPACING 48" O.C.
18	BJ	BUFFALO JUNIFER <i>Juniperus sabina 'Buffalo'</i>	5 GAL. 18"-24" SPRD.	SPACING 48" O.C.
62	BCJ	BLUE CHIP JUNIFER <i>Juniperus horizontalis 'Blue Chip'</i>	5 GAL. 18"-24" SPRD.	SPACING 6" O.C.
25	BB	BURNING BUSH <i>Euonymus alata</i>	5 GAL. 18"-24" HT.	SPACING 8' O.C. 5 CANES MIN.
11	BW	DWARF ARCTIC BLUE WILLOW <i>Salix purpurea 'Nana'</i>	5 GAL. 18"-24" HT.	SPACING 36" O.C. 5 CANES MIN.
44	9C	SPREADING COTONEASTER <i>Cotoneaster divaricatus</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES MIN.
35	MAR	MEIDLAND ALBA ROSE <i>Rosa x 'Meidland Alba'</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES MIN.
28	M8R	MEIDLAND SCARLET ROSE <i>Rosa x 'Meidland Scarlet'</i>	5 GAL. 18"-24" HT.	SPACING 48" O.C. 5 CANES MIN.
128	KDP	KATHRYN DYKES POTENTILLA <i>Potentilla 'Kathryn Dykes'</i>	5 GAL. 18"-24" SPRD.	SPACING 36" O.C. 5 CANES MIN.
10	AJ	ARMSTRONG JUNIFER <i>Juniperus chinensis 'Armstrong'</i>	5 GAL. 18"-24" SPRD.	SPACING 60" O.C.
5	W8C	WESTERN SAND CHERRY <i>Prunus besseyi</i>	5 GAL. 18"-24" HT.	SPACING 60" O.C. 5 CANES MIN.
SPREADING GROUND COVER				
18	WTH	WOOLLY THYME <i>Thymus pra. 'Pseudolanuginosus'</i>	1 GAL. ESTABLISHED	SPACING 14" O.C. 5 CANES MIN.

NOTE: IF QUANTITIES LISTED IN SCHEDULE DO NOT CORRELATE WITH PLANTINGS INDICATED ON PLAN, THE QUANTITIES INDICATED ON THE PLAN SHALL GOVERN.

LANDSCAPE CALCULATIONS

AREAS	REQUIRED SQUARE FOOTAGE	PROPOSED SQUARE FOOTAGE	FORMULA	QUANTITY REQUIRED ON SITE	QUANTITY PROVIDED ON SITE	QUANTITY PROVIDED OFF SITE
LOT 3 GROSS SITE	N/A	356,210 SF.	N/A	N/A	N/A	N/A
PARKING AREA	N/A	10,481 SF.	N/A	N/A	N/A	N/A
PARKING LANDSCAPE	12,480 SF. 10%	18,910 SF. 17%	2 TREES/1,000 SF. 4 SHRUBS/1,000 SF.	38 TREES 16 SHRUBS	52 TREES 351 SHRUBS	N/A
TOTAL LANDSCAPE	37,069 SF. 10%	64,482 SF. 18%	2 TREES/1,000 SF. 4 SHRUBS/1,000 SF.	129 TREES 253 SHRUBS	122 TREES 471 SHRUBS	5 TREES 22 SHRUBS
ROCK MULCH	N/A	15,500 SF. 2%	N/A	N/A	N/A	N/A
IRRIGATED SOD	N/A	33,670 SF. 9%	N/A	N/A	N/A	N/A
DRYLAND SEED	N/A	2,750 SF. 4%	N/A	N/A	N/A	N/A
RIPARIAN SEED	N/A	10,000 SF. 16%	N/A	N/A	N/A	N/A
WETLAND SEED	N/A	1200 SF. 2%	N/A	N/A	N/A	N/A

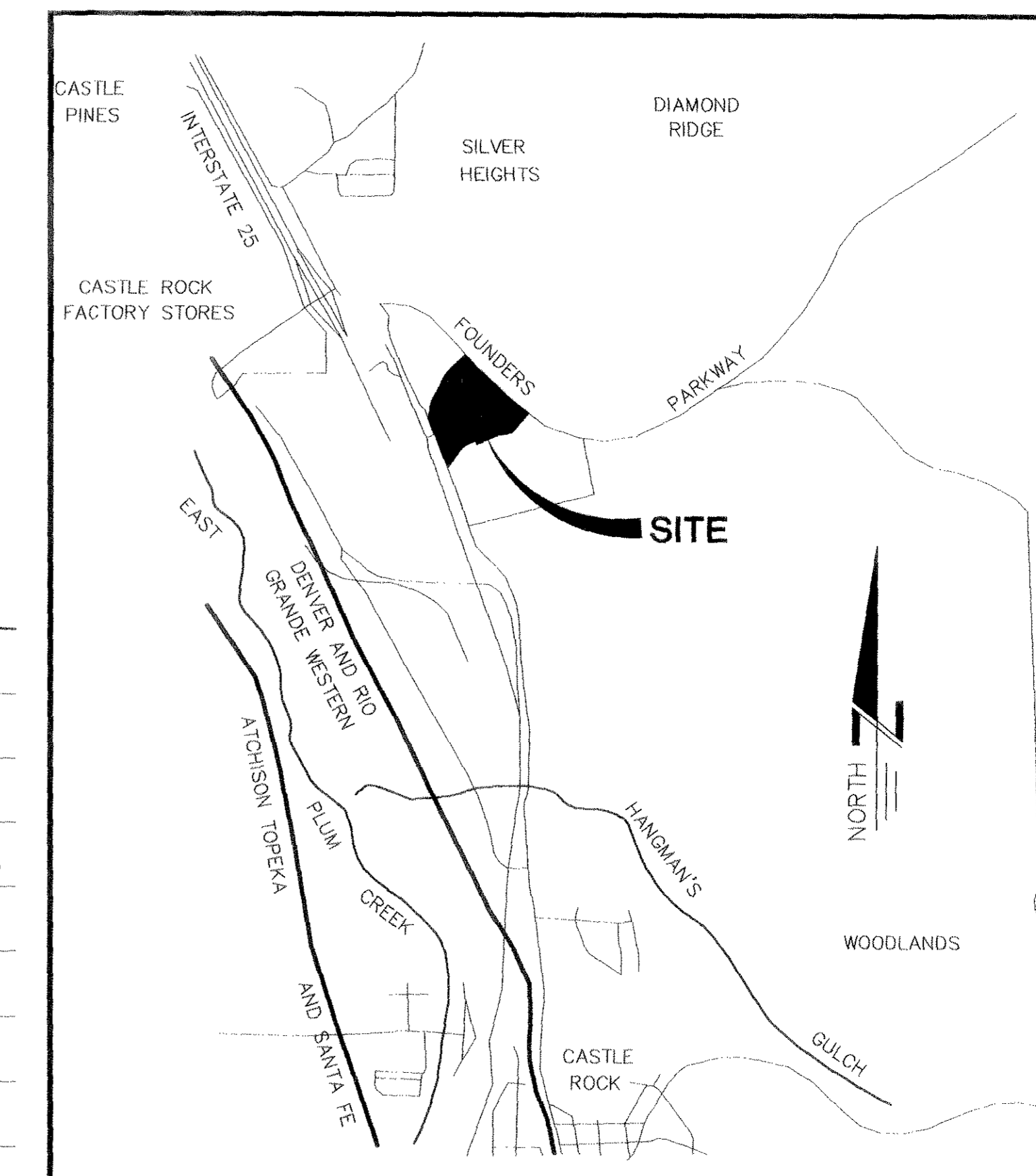
SEE SHEET LP4 FOR PLANT DETAILS

LANDSCAPE NOTES

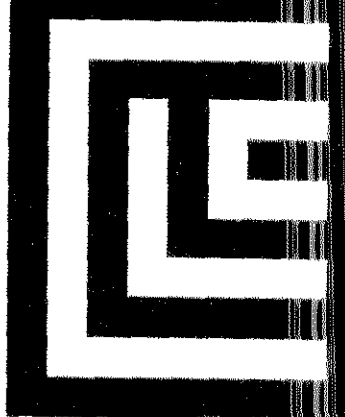
- PLANT MATERIALS:**
ALL PLANT MATERIALS SHALL MEET OR EXCEED SIZE IN SCHEDULES AND THE CODE OF STANDARDS CURRENTLY RECOMMENDED BY THE COLORADO NURSERY ACT AND ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET THE QUALITY REQUIRED FOR THE PROJECT PER SPECIFICATIONS. ALL TREES TO BE STAKED OR GUYED AS DEFINED IN THE DETAILS AND SPECIFICATIONS. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS, ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND.
- MULCH:**
MULCH FOR SHRUB, ORNAMENTAL GRASS AND PERENNIAL BEDS IS TO BE 1 1/2" ROUNDED RIVER ROCK UNLESS OTHERWISE NOTED ON THE PLAN. MULCH FOR TREE BEDS IS TO BE BARK MULCH. PLACE SPECIFIED WEED BARRIER FABRIC UNDER ROCK MULCH. APPLY SPECIFIED PRE-EMERGENT HERBICIDE UNDER THE FABRIC AND ROCK MULCH. PLACE ROCK MULCH A MINIMUM OF THREE INCHES (3") DEEP. PLACE BARK MULCH A MINIMUM OF THREE INCHES (3") DEEP IN ALL AREAS.
- IRRIGATION:**
ALL LANDSCAPE AREAS SHALL BE WATERED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM UNLESS OTHERWISE NOTED. ALL TURF AREAS LESS THAN 25' IN WIDTH SHALL HAVE A POP-UP SPRAY SYSTEM AND ALL TURF AREAS GREATER THAN 25' SHALL HAVE A ROTARY POP-UP SYSTEM PROVIDING HEAD TO HEAD COVERAGE. ALL SHRUB BEDS SHALL HAVE FULL COVERAGE WITH EITHER A DRIP SYSTEM OR OPERATION AND MAINTENANCE OF THE IRRIGATION SYSTEM SHALL MEET THE REGULATIONS FOUND IN THE TOWN OF CASTLE ROCK WATER CONSERVATION.
- MAINTENANCE:**
LANDSCAPING SHALL BE PLANTED AND MAINTAINED IN A NEAT, CLEAN, AND HEALTHY CONDITION. THIS SHALL INCLUDE PROPER PRUNING, MOULDS OF LAWN, WEEDING, REMOVAL OF LITTER, AND THE REGULAR WATERING OF ALL PLANT MATERIAL. SHOULD ANY PLANT MATERIALS DIE IT IS THE RESPONSIBILITY OF THE OWNER'S REPRESENTATIVE TO REPLACE IT WITHIN ONE PLANTING SEASON AND IN CONFORMANCE WITH THE LANDSCAPE REQUIREMENTS SET FORTH BY THIS PLAN OR ALTERNATIVE MATERIAL ACCEPTABLE TO THE OWNER'S REPRESENTATIVE.

LEGEND

STEEL EDGER	RIPARIAN GRASS SEED with supplemental irrigation
FESCUE TURF SOD fully irrigated	WETLAND GRASS SEED non-irrigated
DRYLAND GRASS SEED with supplemental irrigation	WTH see plant list



VICINITY MAP
1" = 2000'



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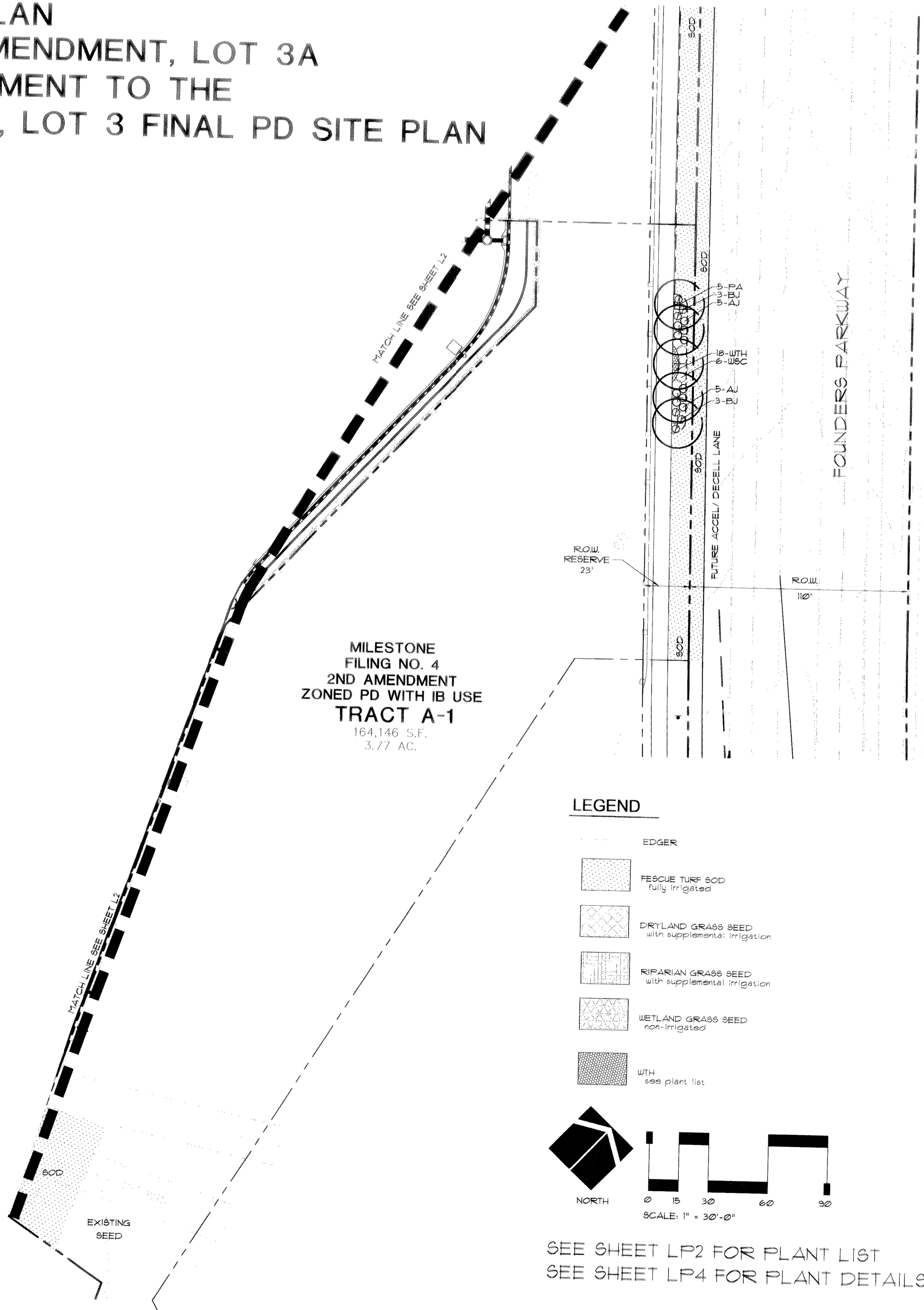
FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

DATE: 07/06/03
DESCRIPTION: INITIAL ACCEPTANCE

PROJECT #: 99.135
DRAWN BY: SEW
DESIGNED BY: SEW
CHECKED BY: KDP

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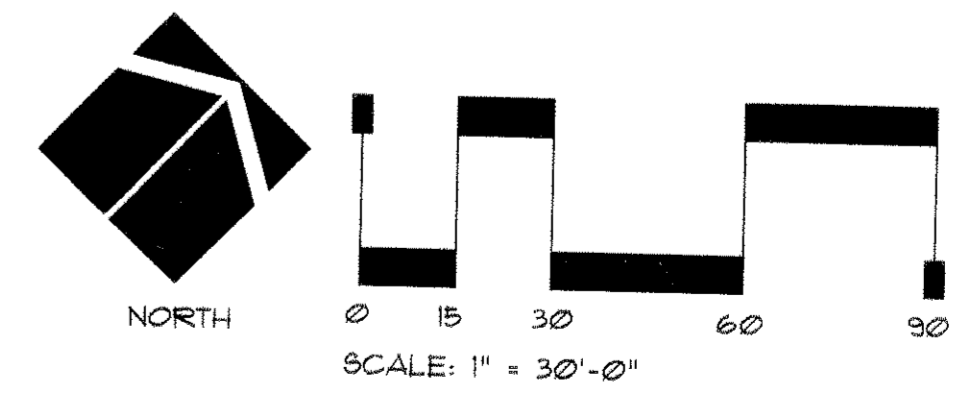
FINAL PD SITE PLAN
 MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A
 A MINOR SITE PLAN AMENDMENT TO THE
 MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN



MILESTONE FILING NO. 4
 2ND AMENDMENT
 ZONED PD WITH IB USE
 TRACT A-1
 164,146 S.F.
 3.77 AC.

LEGEND

- EDGER
- PESQUE TURF SOD
fully irrigated
- DRYLAND GRASS SEED
with supplemental irrigation
- RIPARIAN GRASS SEED
with supplemental irrigation
- WETLAND GRASS SEED
non-irrigated
- WTH
see plant list



SEE SHEET LP2 FOR PLANT LIST
 SEE SHEET LP4 FOR PLANT DETAILS



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 LAND SURVEYING

FINAL PD SITE PLAN
 MILESTONE FILING NO. 4
 5TH AMENDMENT, LOT 3A
 CASTLE ROCK, COLORADO

DATE	DESCRIPTION	INITIAL ACCEPTANCE
07/08/03		

PROJECT #: 99-135
 DRAWN BY: SEW
 DESIGNED BY: SEW
 CHECKED BY: KDP

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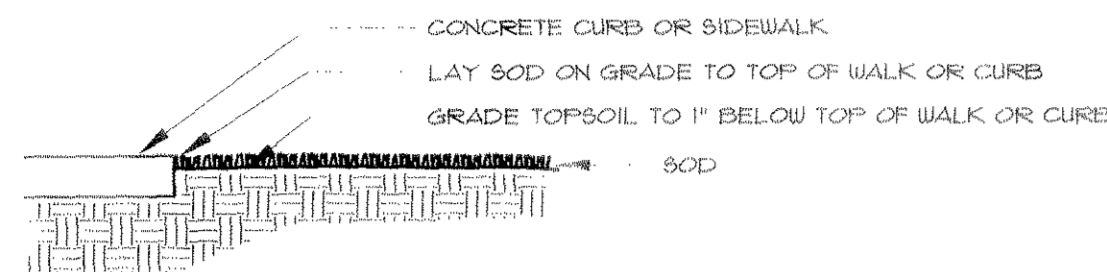
LANDSCAPE PLAN

FINAL PD SITE PLAN

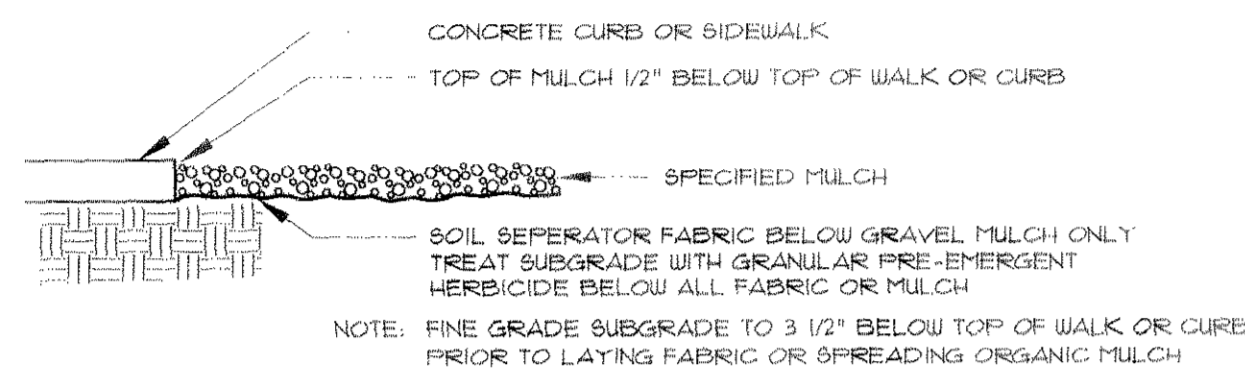
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A MINOR SITE PLAN AMENDMENT TO THE

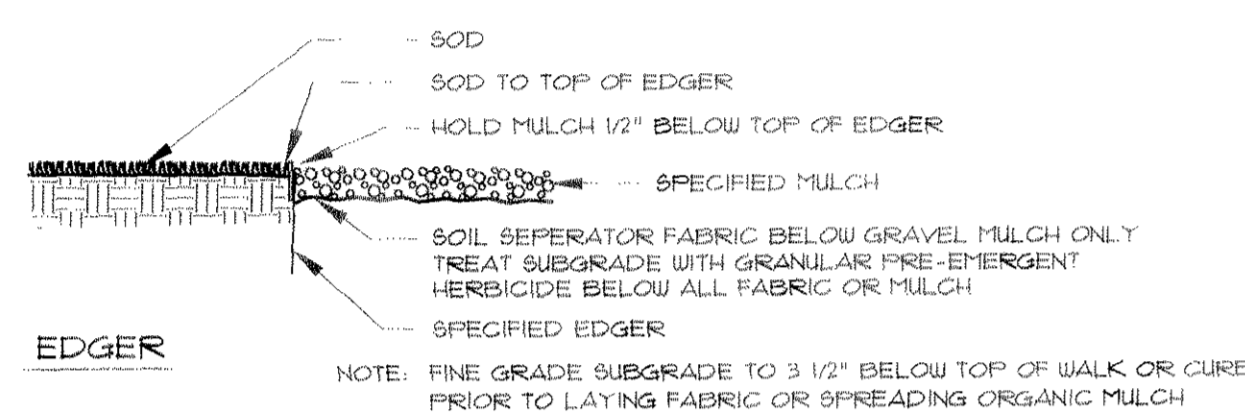
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SOD ADJACENT TO WALKS AND CURBS

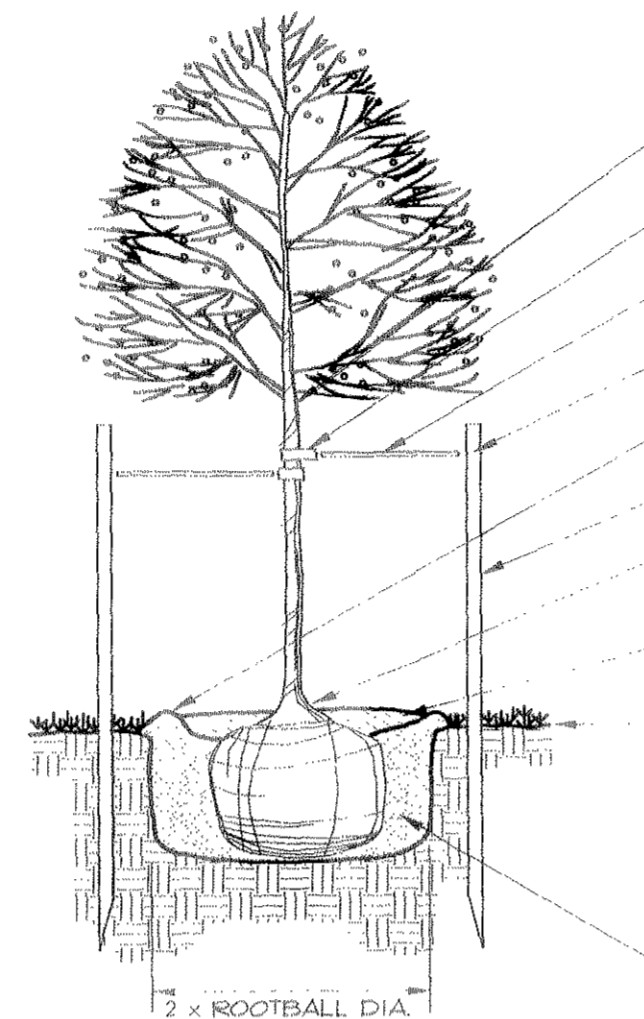


MULCH ADJACENT TO WALKS AND CURBS



EDGE TREATMENT

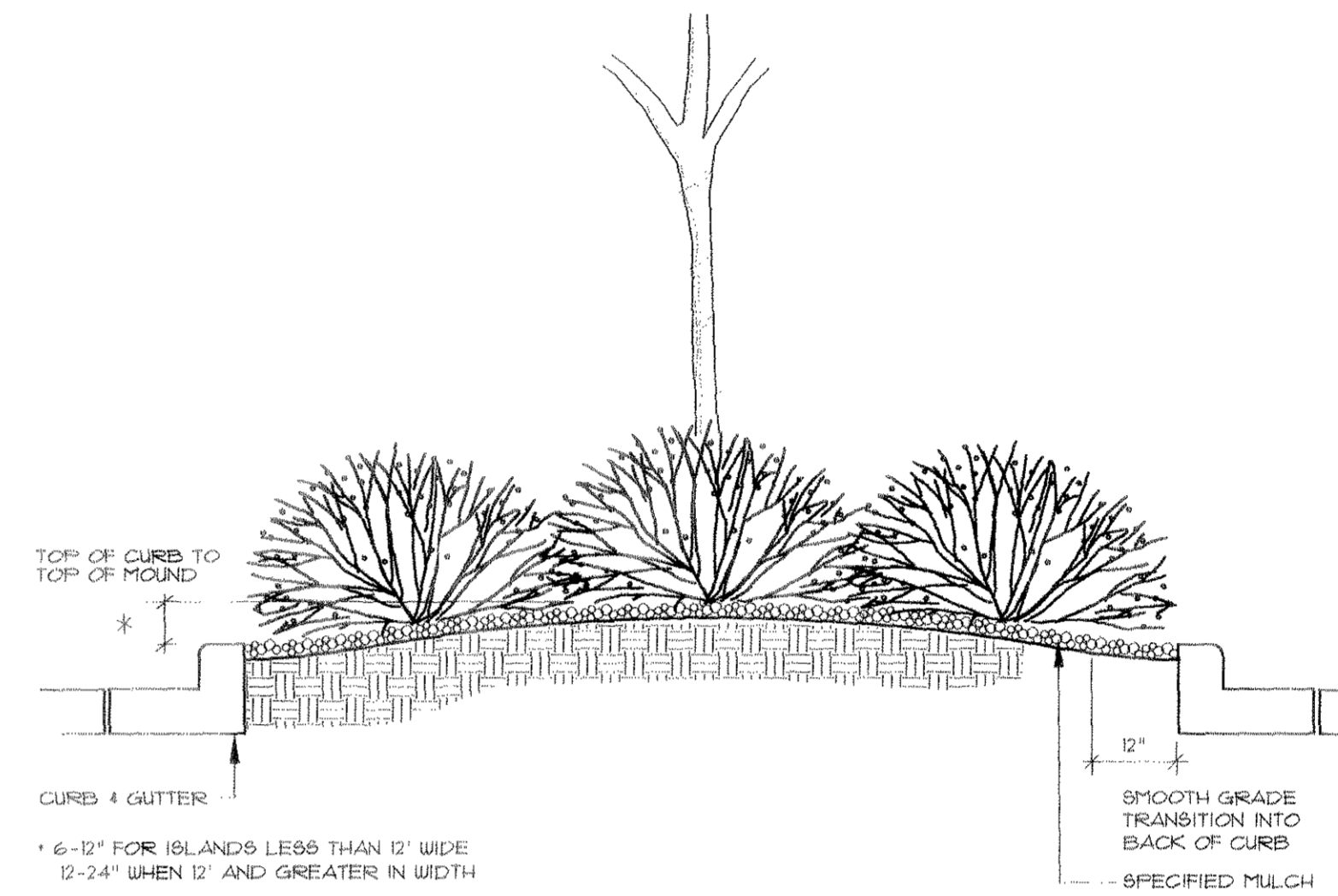
NOT TO SCALE



- DO NOT CUT LEADER, PRUNE DAMAGED OR DEAD WOOD IMMEDIATELY PRIOR TO PLANTING.
- WRAP ENTIRE SURFACE OF TRUNK TO SECOND BRANCH WITH SPECIFIED TREE WRAP MATERIAL AND SECURE.
- SPECIFIED TREE STRAP AT END OF GUY WIRE AROUND TREE TRUNK.
- 1/2" DIA. X 24" LONG PVC PIPE SECTION ON EACH WIRE.
- 1/2 GAUGE GALVANIZED WIRE, DOUBLE STRAND TWISTED.
- 4" DEEP WATER RETENTION BASIN - NOT REQUIRED IN IRRIGATED TURF AREAS
- 6.5" STEEL T-POST (2 MIN.) TO EXTEND MIN. 30" INTO UNDISTURBED SOIL
- PLANT ROOTBALL 3" HIGHER THAN WHICH IT GREW (IN IRRIGATED AREAS) IN NON-IRRIGATED AREAS PLANT TREE AT GRADE WHICH IT GREW.
- APPLY SPECIFIED MULCH 3" DEEP TO REMAIN PERMANENTLY. REFER TO NOTES AND SPECIFICATIONS.
- FINISHED GRADE
- CUT AND REMOVE BURLAP FROM TOP AND SIDES OF ROOTBALL. REMOVE ALL WIRES AND NYLON TIES. IF TREE IS IN FIBER POT, REMOVE PRIOR TO PLANTING.
- ANY BROKEN OR CRUMBLING ROOTBALL WILL BE REJECTED. REMOVING THE WIRE WILL NOT BE AN EXCUSE FOR DAMAGED ROOTBALLS.
- SPECIFIED BACKFILL MIXTURE AND FERTILIZER APPLICATION REFER TO NOTES AND SPECIFICATIONS.
- HOLE SHOULD HAVE ROUGHENED SIDES

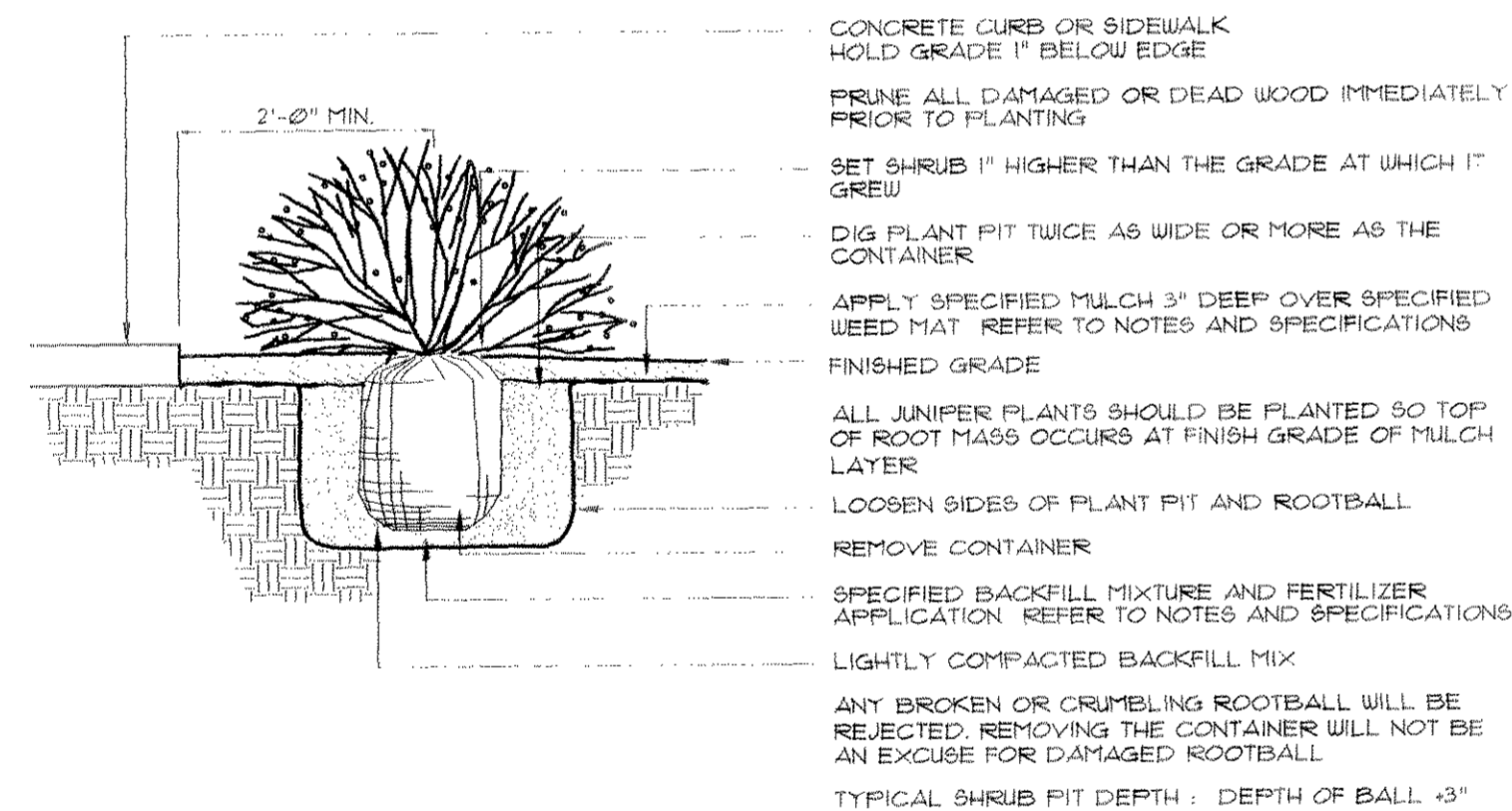
DECIDUOUS TREE PLANTING

NOT TO SCALE



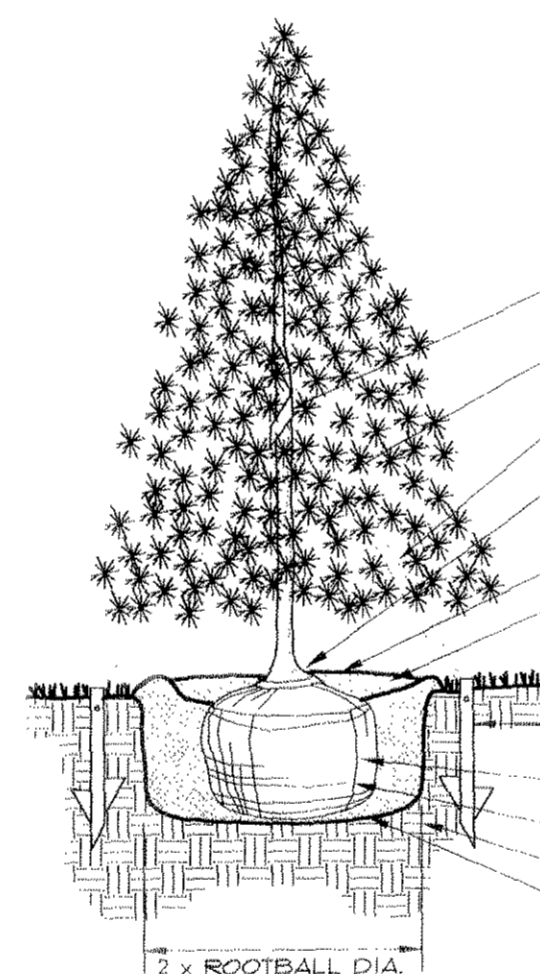
MOUNDED ISLAND - SHRUBS

NOT TO SCALE



SHRUB PLANTING

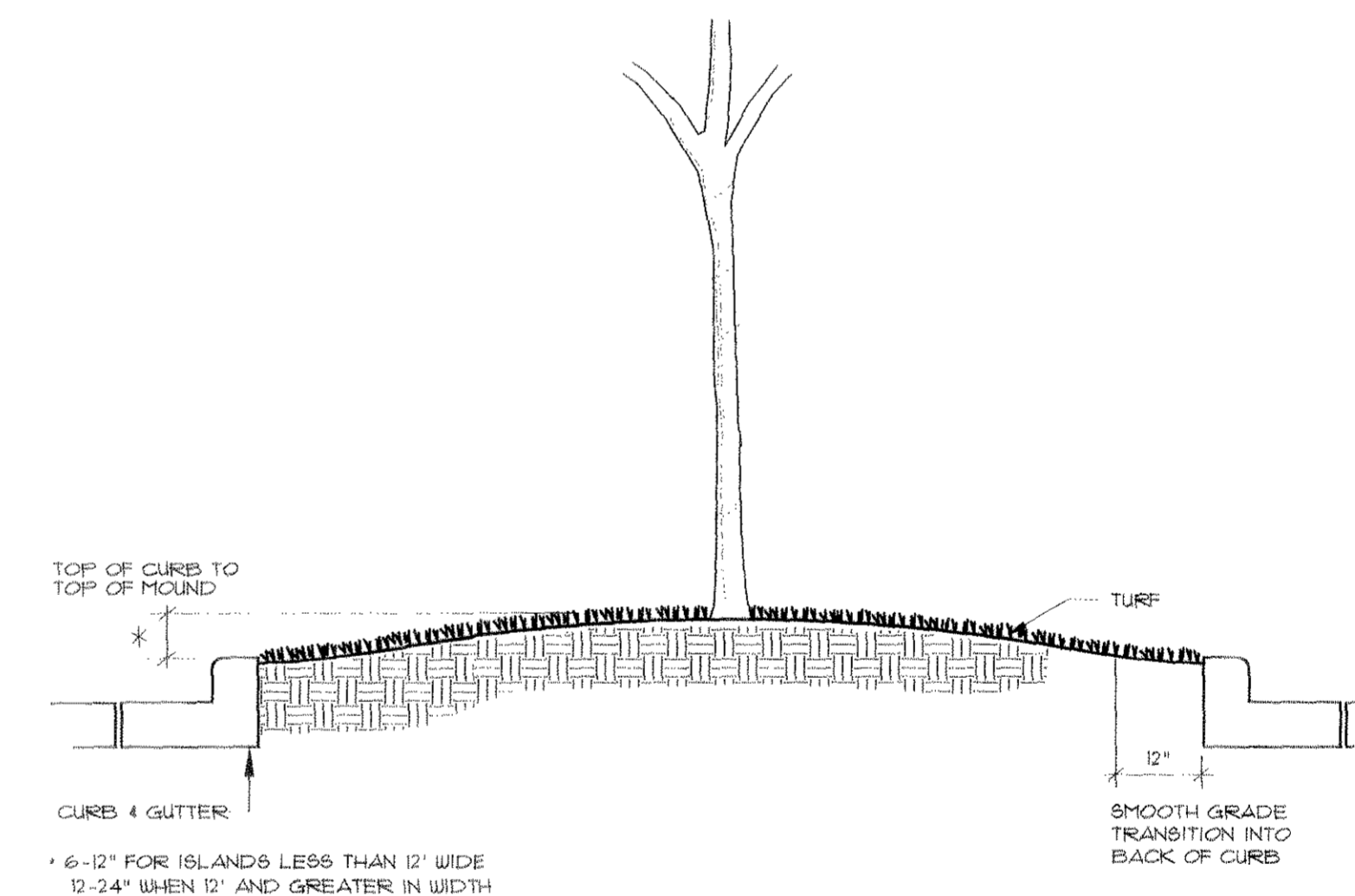
NOT TO SCALE



- DO NOT CUT OR DAMAGE LEADER
- RUBBER HOSE (1/2" DIA.) OR 1/2" NYLON TREE STRAP ON GUY WIRE TO PROTECT TREE
- 1/2 GA. GALVANIZED WIRE TWISTED DOUBLE STRAND MIN. 3 GUY WIRES PER TREE
- 1/2" DIA. X 36" LONG WHITE PVC PIPE ON EACH GUY WIRE
- SET ROOTBALL 3" HIGHER THAN GRADE AT WHICH TREE GREW.
- 4" DEEP WATER RETENTION BASIN - NOT REQUIRED IN IRRIGATED TURF AREAS
- APPLY SPECIFIED MULCH 3" DEEP TO REMAIN PERMANENTLY. REFER TO NOTES AND SPECIFICATIONS.
- FINISHED GRADE
- 3/8" METAL 1" STAKE DRIVE VERTICALLY INTO UNDISTURBED SOIL. FLUSH W/GRADE
- REMOVE BURLAP FROM TOP 2/3 OF ROOTBALL
- REMOVE WIRE COMPLETELY FROM ROOTBALL
- UNDISTURBED SUBGRADE
- SPECIFIED BACKFILL MIXTURE AND FERTILIZER APPLICATION. REFER TO NOTES AND SPECIFICATIONS.
- HOLE SHOULD HAVE ROUGHENED SIDES

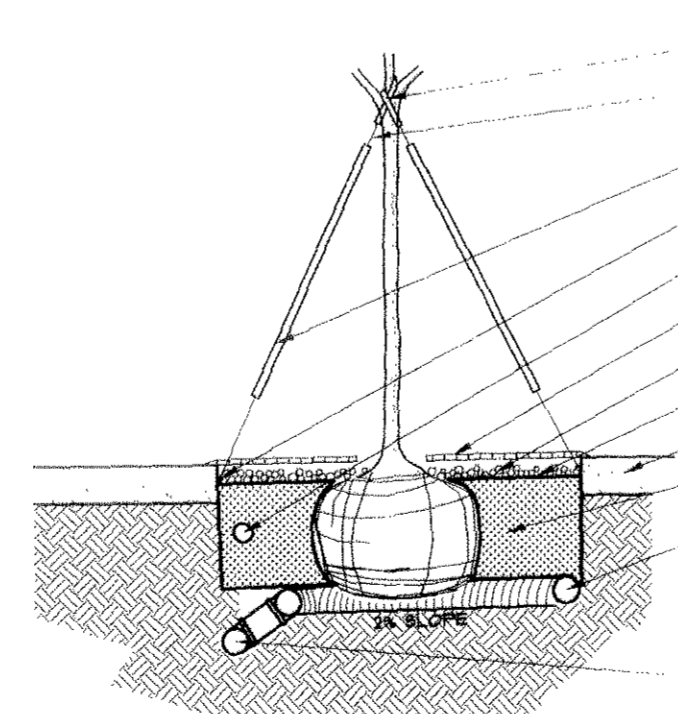
EVERGREEN TREE PLANTING

NOT TO SCALE



MOUNDED ISLAND - TURF

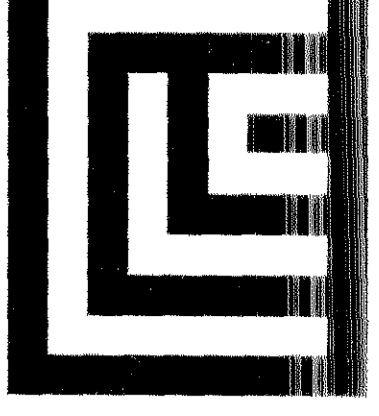
NOT TO SCALE



- ATTACH GUY WIRE TO TRUNK WITH SPECIFIED TREE COLLAR (4 MIN.)
- DOUBLE STRAND OF 1/2 GA. GALVANIZED STEEL WIRE TWISTED (4 MIN.)
- 1/2" DIA. WHITE PVC PIPE OVER WIRE, 24" LONG MIN. (4 MIN.)
- ATTACH WIRE TO EYE BOLT CAST INTO CONCRETE AT CORNER (4 MIN.)
- IRRIGATION SLEEVE TYP.
- 1 TREE GRATE 5X5' TYP.: NEENAH R-9002-A W/ 16" HOLE OR EQUAL
- SPECIFIED MULCH
- SPECIFIED WEED BARRIER FABRIC BETWEEN MULCH AND SOIL
- SIDEWALK
- SPECIFIED IMPORTED AMENDED TOPSOIL AND FERTILIZER APPLICATION
- 4" ADS CORRUGATED PERF. PIPE WRAPPED IN SOIL SEPARATOR FABRIC OR EQUAL PIPE SHALL ENIRCLE ROOT BALL. PLACE BOTTOM OF PIPE LOWER THAN BOTTOM OF ROOTBALL. SLOPE PIPE MIN. 2% TO DRAIN. PLACE BOTTOM OF PERF PIPE MIN. 6" HIGHER THAN BOTTOM OF PVC PIPE.
- CONNECT TO 6" PVC STORM DRAIN. BOTTOM OF PIPE TO BE A MIN. OF 36" BELOW GRADE. SEE CIVIL DRAWINGS SEE CIVIL DRAWINGS

TREE GRATE PLANTING DETAIL

NOT TO SCALE



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ARCHITECTURE
 ENGINEERING PLANNING
 LANDSCAPE ARCHITECTURE
 LAND SURVEYING

FINAL PD SITE PLAN

MILESTONE FILING NO. 4

5TH AMENDMENT, LOT 3A

CASTLE ROCK, COLORADO

DATE: 07/08/03
 DESCRIPTION: INITIAL ACCEPTANCE

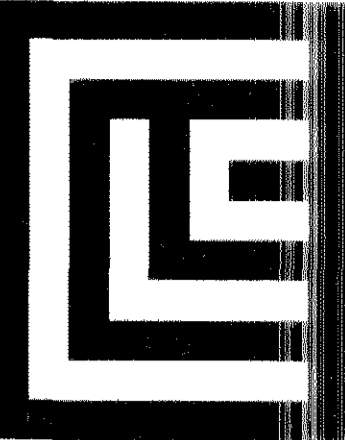
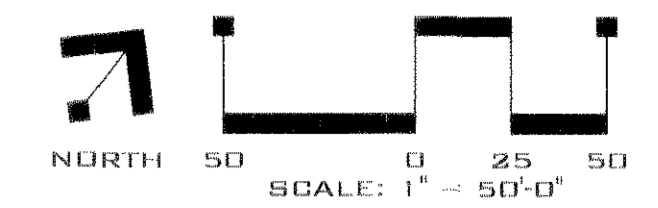
LANDSCAPE DETAILS

PROJECT #: 99.135
 DRAWN BY: SEW
 DESIGNED BY: SEW
 CHECKED BY: KDP

FOR
 REFERENCE
 ONLY
 12 OF 18
 LP4

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FINAL PD SITE PLAN MILESTONE FILING NO. 4, 5TH AMENDMENT, LOT 3A A MINOR SITE PLAN AMENDMENT TO THE MILESTONE FILING NO. 4, 2ND AMENDMENT, LOT 3 FINAL PD SITE PLAN PHOTOMETRIC PLAN



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ARCHITECTURE
ENGINEERING PLANNING
LANDSCAPE ARCHITECTURE
LAND SURVEYING

FINAL PD SITE PLAN
MILESTONE FILING NO. 4
5TH AMENDMENT, LOT 3A
CASTLE ROCK, COLORADO

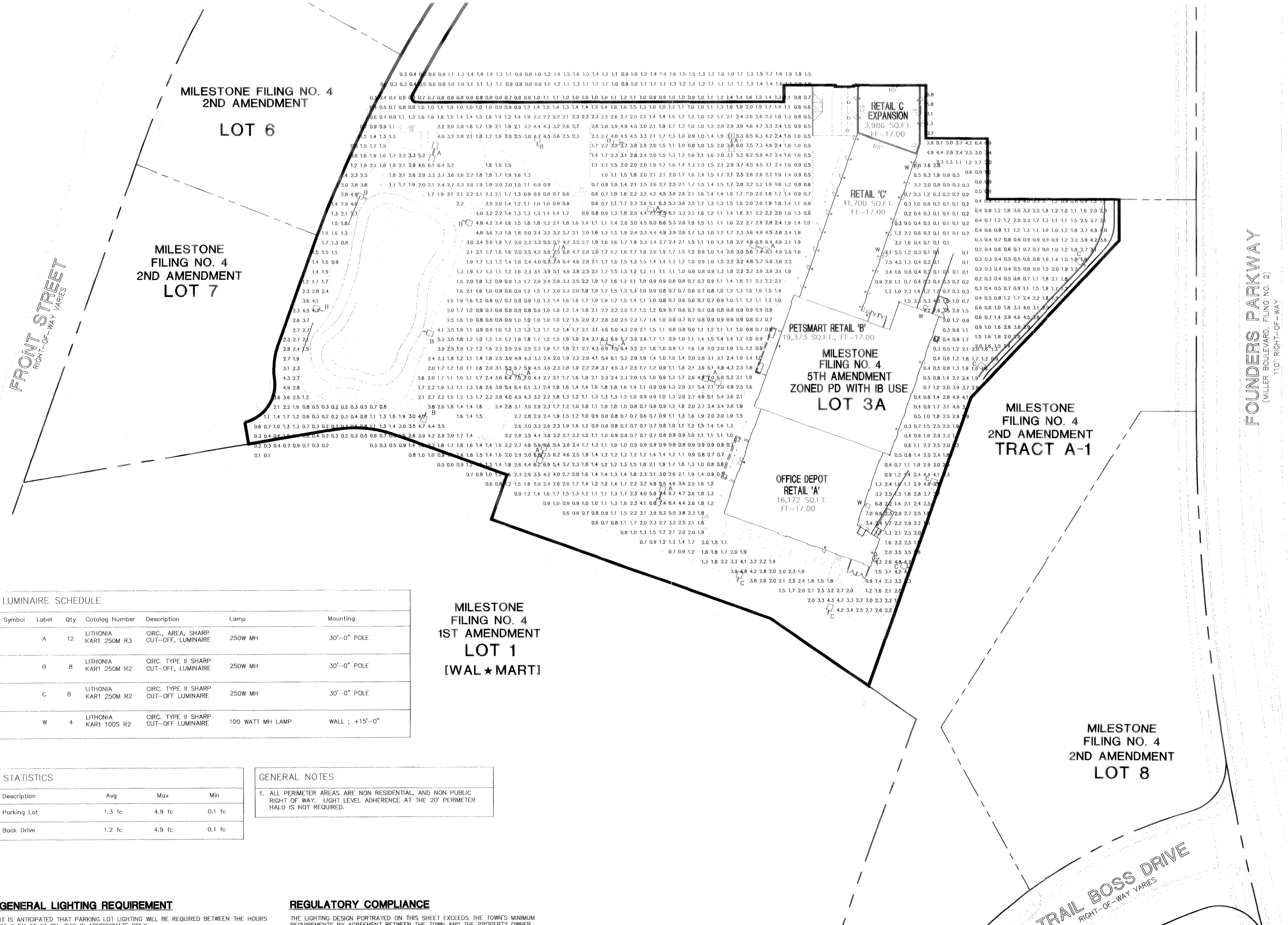
PHOTOMETRIC PLAN

PROJECT #: 99.155
DRAWN BY: JLS
DESIGNED BY: JDT
CHECKED BY: JDT

FOR
REFERENCE
ONLY

13 OF 18

PH 1



Symbol	Label	Qty	Catalog Number	Description	Lamp	Mounting
A	LITHONIA KARI 250M R3	12		CIRC., AREA, SHARP CUT-OFF, LUMINAIRE	250W MH	30'-0" POLE
B	LITHONIA KARI 250M R2	8		CIRC. TYPE II SHARP CUT-OFF, LUMINAIRE	250W MH	30'-0" POLE
C	LITHONIA KARI 250M R2	8		CIRC. TYPE II SHARP CUT-OFF LUMINAIRE	250W MH	30'-0" POLE
W	LITHONIA KARI 100S R2	4		CIRC. TYPE II SHARP CUT-OFF LUMINAIRE	100 WATT MH LAMP	WALL : +15'-0"

Description	Avg	Max	Min
Parking Lot	1.3 fc	4.9 fc	0.1 fc
Back Drive	1.2 fc	4.9 fc	0.1 fc

GENERAL NOTES

- ALL PERIMETER AREAS ARE NON RESIDENTIAL, AND NON PUBLIC RIGHT OF WAY. LIGHT LEVEL ADHERENCE AT THE 20' PERIMETER HALO IS NOT REQUIRED.

GENERAL LIGHTING REQUIREMENT

IT IS ANTICIPATED THAT PARKING LOT LIGHTING WILL BE REQUIRED BETWEEN THE HOURS OF 5 PM TO 12 PM. THIS IS APPROXIMATE ONLY.

REGULATORY COMPLIANCE

THE LIGHTING DESIGN PORTRAYED ON THIS SHEET EXCEEDS THE TOWN'S MINIMUM REQUIREMENTS BY AGREEMENT BETWEEN THE TOWN AND THE PROPERTY OWNER.

SUPERCHARGER POST SCHEDULE

CABINET	POST	SIGN TYPE
1	1A	VAN ACCESSIBLE
	1B	N/A
	1C	N/A
2	2A	N/A
	2B	N/A
	2C	N/A
3	3A	N/A
	3B	N/A
	3C	N/A
4	4A	N/A
	4B	N/A
	4C	N/A

SIGNAGE

VAN ACCESSIBLE



WHITE SYMBOL
WHITE TEXT
SOLID FEDERAL BLUE #15090 IN FED STANDARD 595C BACKGROUND PAINT. SIGNS SHALL BE REFLECTORIZED.

PARKING STALL ANALYSIS

EXISTING STALLS UTILIZED AS A RESULT OF THIS PROJECT	17
PROPOSED DCFC TESLA STALLS	16
PROPOSED NON-EV STALLS	0
NET STALL COUNT*	0

*NOTE: PER COLORADO REVISED STATUTE 31-23-315 SECTION 2(B), "ANY VAN-ACCESSIBLE PARKING SPACE THAT IS DESIGNED TO ACCOMMODATE A PERSON IN A WHEELCHAIR, IS SERVED BY AN ELECTRIC VEHICLE CHARGING STATION, AND IS NOT DESIGNATED AS PARKING RESERVED FOR A PERSON WITH A DISABILITY UNDER SECTION 42-4-1208 MUST BE COUNTED AS AT LEAST TWO STANDARD AUTOMOBILE PARKING SPACES."

GENERAL SHEET NOTES

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- CONTRACTOR SHALL REMOVE EXISTING PAVEMENT AND/OR CURB USING CLEAN SAWCUTS TO INSTALL PROPOSED UNDERGROUND CONDUITS AND REPLACE PAVEMENT AND/OR CURB AFTER CONDUITS HAVE BEEN INSTALLED. SEE ELECTRICAL SHEETS FOR CONDUIT ROUTING, APPROXIMATE CONDUIT RUN LENGTHS AND TRENCH DETAIL. CONTRACTOR SHALL MEET OR EXCEED EXISTING PAVEMENT SPECIFICATIONS. NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO PERFORMING WORK.
- APPLY LIQUID ASPHALT AT ALL JOINTS BETWEEN CONCRETE AND ASPHALT AND WHERE PROPOSED ASPHALT MEETS EXISTING, INCLUDING SAW CUT JOINTS.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING SLOPES AND GRADES PRIOR TO CONSTRUCTION. FINAL GRADES SHALL BE DETERMINED IN FIELD BY THE CONTRACTOR AND APPROVED BY THE CONSTRUCTION MANAGER.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.
- CONTRACTOR SHALL ENSURE SLOPES OF PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S) ARE COMPLIANT WITH NATIONAL ADA STANDARDS. NO SLOPE SHALL EXCEED 2% IN ANY DIRECTION WITHIN PARKING STALL 1A AND ADJACENT TRANSVERSE STRIPED AREA(S). CONTRACTOR SHALL REMOVE AND REGRADE AREA(S) AS REQUIRED TO ACHIEVE NECESSARY SLOPES. CONTRACTOR SHALL INSTALL FINAL PAVEMENT MARKINGS IN ACCORDANCE WITH THE CURRENT AHJ'S REGULATIONS.

PLAN KEYNOTES

- PROPOSED PAD MOUNTED ELECTRICAL UTILITY TRANSFORMER (BY UTILITY). CONTRACTOR SHALL PROVIDE CONCRETE PAD PER UTILITY SPECIFICATIONS. COORDINATE FINAL LOCATION WITH UTILITY.
- PROPOSED UTILITY METER AND CT CABINET MOUNTED IN SWITCHGEAR PER ELECTRIC COMPANY SPECIFICATIONS.
- PROPOSED SWITCHGEAR ASSEMBLY WITH INTEGRATED TESLA SITE CONTROLLER AND PRIMARY BROADCAST UNIT PER ELECTRICAL DRAWINGS. SEE CIVIL DETAILS FOR ANCHORAGE.
- PROPOSED TESLA SUPERCHARGER CABINET (TYPICAL OF 4). SEE CIVIL DETAILS.
- PROPOSED TESLA SUPERCHARGER POST WITH INDIVIDUAL PRECAST CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 15). SEE CIVIL DETAILS.
- PROPOSED TESLA SUPERCHARGER POST WITH CAST-IN-PLACE CONCRETE FOUNDATION AND REBOUNDING DETERRENT BOLLARD (TYPICAL OF 1). SEE CIVIL DETAILS.
- PROPOSED NON-ILLUMINATED PARKING SIGN (TYPICAL OF 1). SEE CIVIL DETAILS. SEE SUPERCHARGER POST SCHEDULE, THIS SHEET. MOUNT SIGN POST IN BOLLARD AS NOTED. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT SIGN TO LIGHT POLE IN LIEU OF POST AND/OR BOLLARD.
- PROPOSED CONCRETE EQUIPMENT PAD. SEE CIVIL DETAILS.
- PROPOSED PAINTED 4" WIDE SOLID STRIPE TO MATCH EXISTING STRIPING IN COLOR.
- PROPOSED PAINTED 4" WIDE TRANSVERSE STRIPING TO MATCH EXISTING STRIPING IN COLOR. STRIPING SHALL BE 3'-0" O.C. SEE CIVIL DETAILS.
- PROPOSED 6" CONCRETE CURB TO MATCH EXISTING. SEE CIVIL DETAILS.
- PROPOSED FLUSH CONCRETE CURB WITH GUTTER. SEE CIVIL DETAILS.
- PROPOSED CRASH CORE DETERRENT BOLLARD (TYPICAL OF 3). SEE CIVIL DETAILS.
- ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE SHEET L-101.
- PROPOSED TRASH CAN (TYPICAL OF 2). SEE CIVIL DETAILS.
- PROPOSED INTEGRATED CONCRETE RAMP (TYPICAL 2). SEE CIVIL DETAILS.
- PROPOSED FLUSH TO PAVEMENT CONCRETE WALK. SEE CIVIL DETAILS.
- PROPOSED WIRELESS ACCESS POINT (TYPICAL OF 2). MOUNT PER MANUFACTURER'S SPECIFICATIONS AT MINIMUM 10'-0" ABOVE GRADE. WHERE APPLICABLE, CONTRACTOR SHALL MOUNT TO EXISTING LIGHT POLE.
- PROPOSED SHRUBS (TYPICAL OF 6). SEE SHEET L-101.
- PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 1). SEE SHEET L-101.
- PROPOSED LANDSCAPE STONE. SEE SHEET L-101.

LEGEND

(SEE SHEET C-003 FOR EXISTING LEGEND)

- PROPOSED EQUIPMENT CLEAR SPACE
- PROPOSED CONCRETE PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED. CONTRACTOR SHALL REPLACE ANY FABRIC ENCOUNTERED DURING EXCAVATION INCLUDING BUT NOT LIMITED TO: GEOTEXTILE, WATER-PROOFING, PAVING FABRICS, ETC. THE REPLACEMENT MATERIAL(S) SHALL BE EQUAL TO OR BETTER THAN EXISTING AND SHALL BE CONFIRMED BY THE MANUFACTURER'S REPRESENTATIVE TO BE COMPATIBLE WITH THE EXISTING INSTALLATION.
- PROPOSED ASPHALT PAVEMENT TO MATCH EXISTING IN TYPE AND DEPTH. INCLUDE ENGINEERED COMPACTED BACKFILL BELOW PAVEMENT SECTION. TRENCHING NOT INCLUDED. FOR FULL DEPTH REPLACEMENT, CONTRACTOR SHALL REPLACE ANY FABRIC ENCOUNTERED DURING EXCAVATION INCLUDING BUT NOT LIMITED TO: GEOTEXTILE, WATER-PROOFING, PAVING FABRICS, ETC. THE REPLACEMENT MATERIAL(S) SHALL BE EQUAL TO OR BETTER THAN EXISTING AND SHALL BE CONFIRMED BY THE MANUFACTURER'S REPRESENTATIVE TO BE COMPATIBLE WITH THE EXISTING INSTALLATION. IN LIEU OF FULL DEPTH REPLACEMENT, CONTRACTOR CAN MILL AND OVERLAY (1.5" MIN.) PROPOSED ASPHALT PROVIDED THAT THE FINAL ASPHALT SECTION IS EQUAL TO OR GREATER THAN THE EXISTING SECTION AND DRAINAGE AND ADA COMPLIANCE IS NOT NEGATIVELY AFFECTED.



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Akron, OH 44311
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A	01/17/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



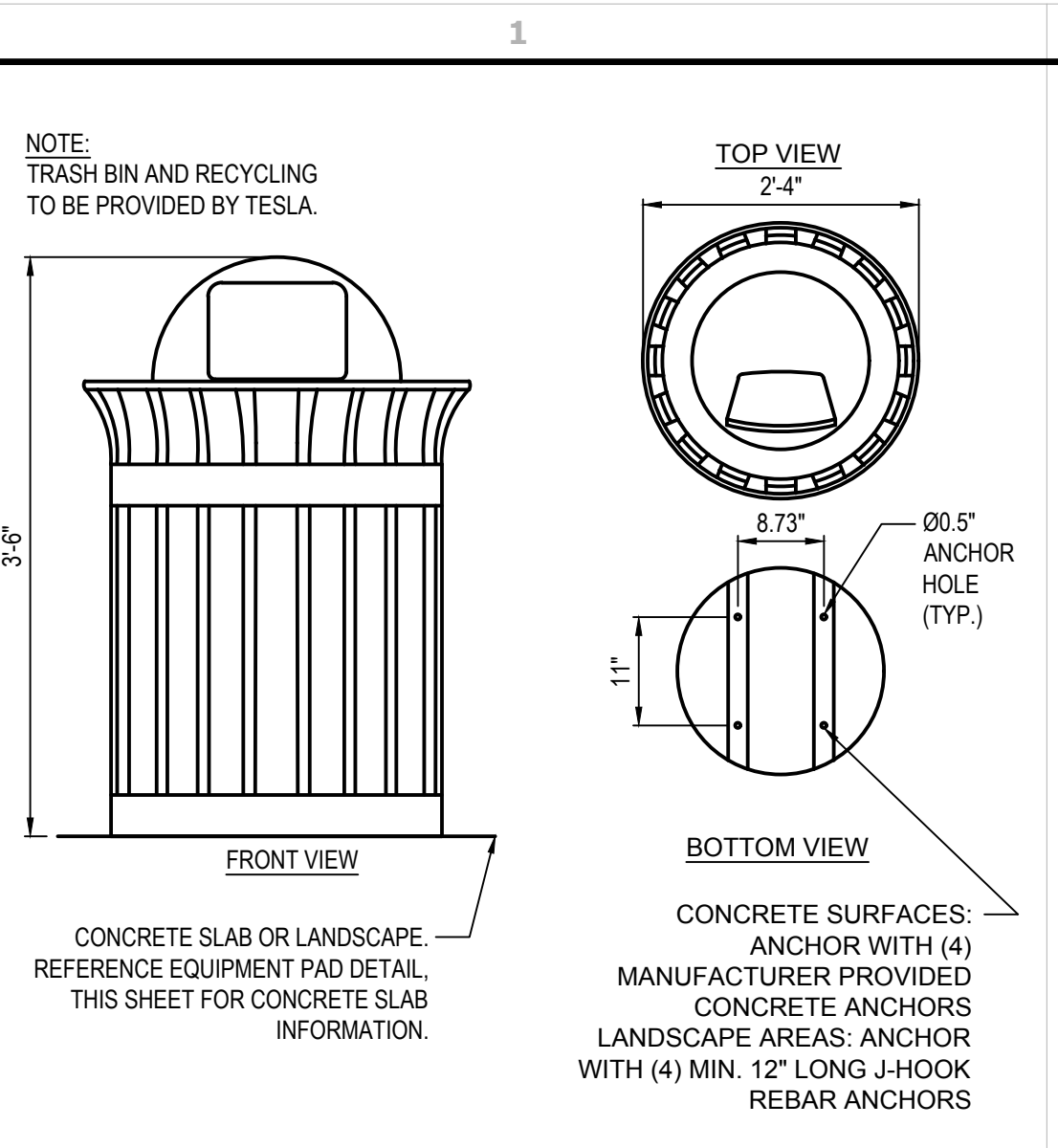
SITE DEVELOPMENT PLAN
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A
4612 MILESTONE LN, CASTLE ROCK, CO 80104

PROJECT MANAGER	DESIGNER
IM	MAM

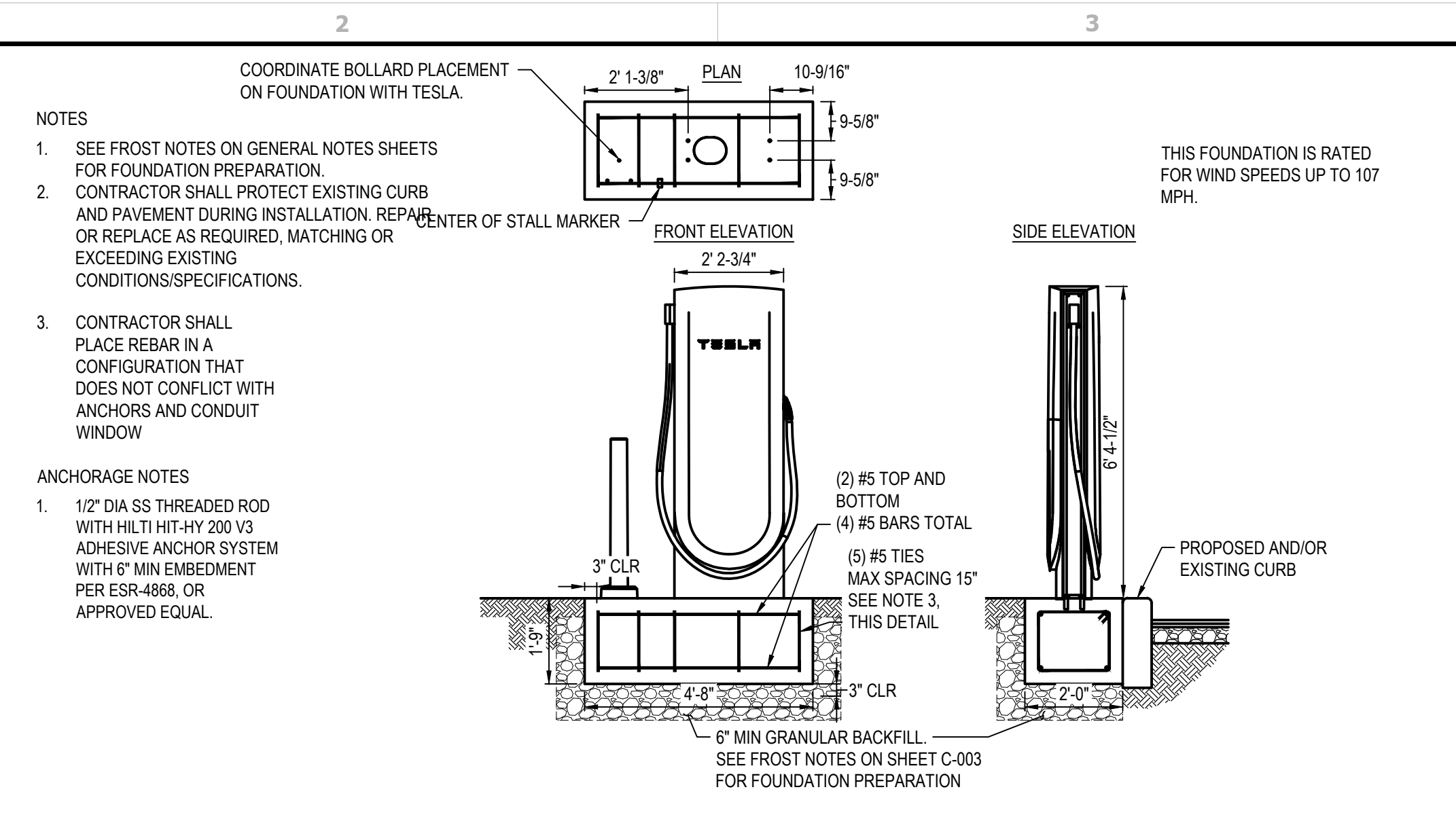
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2023241.49

14 OF 18
C-111

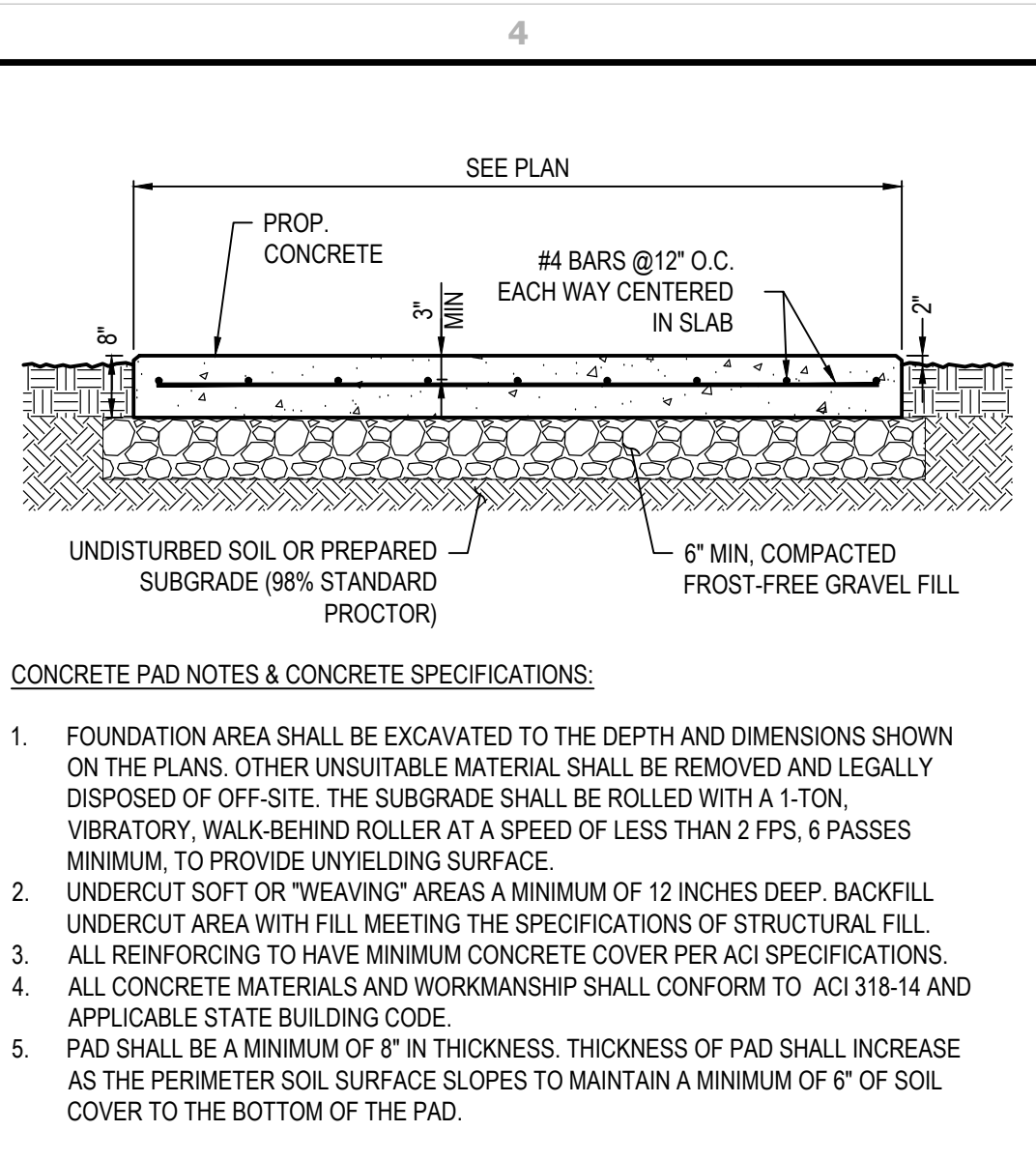
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January 17, 2024 7:20 AM - rreinegar



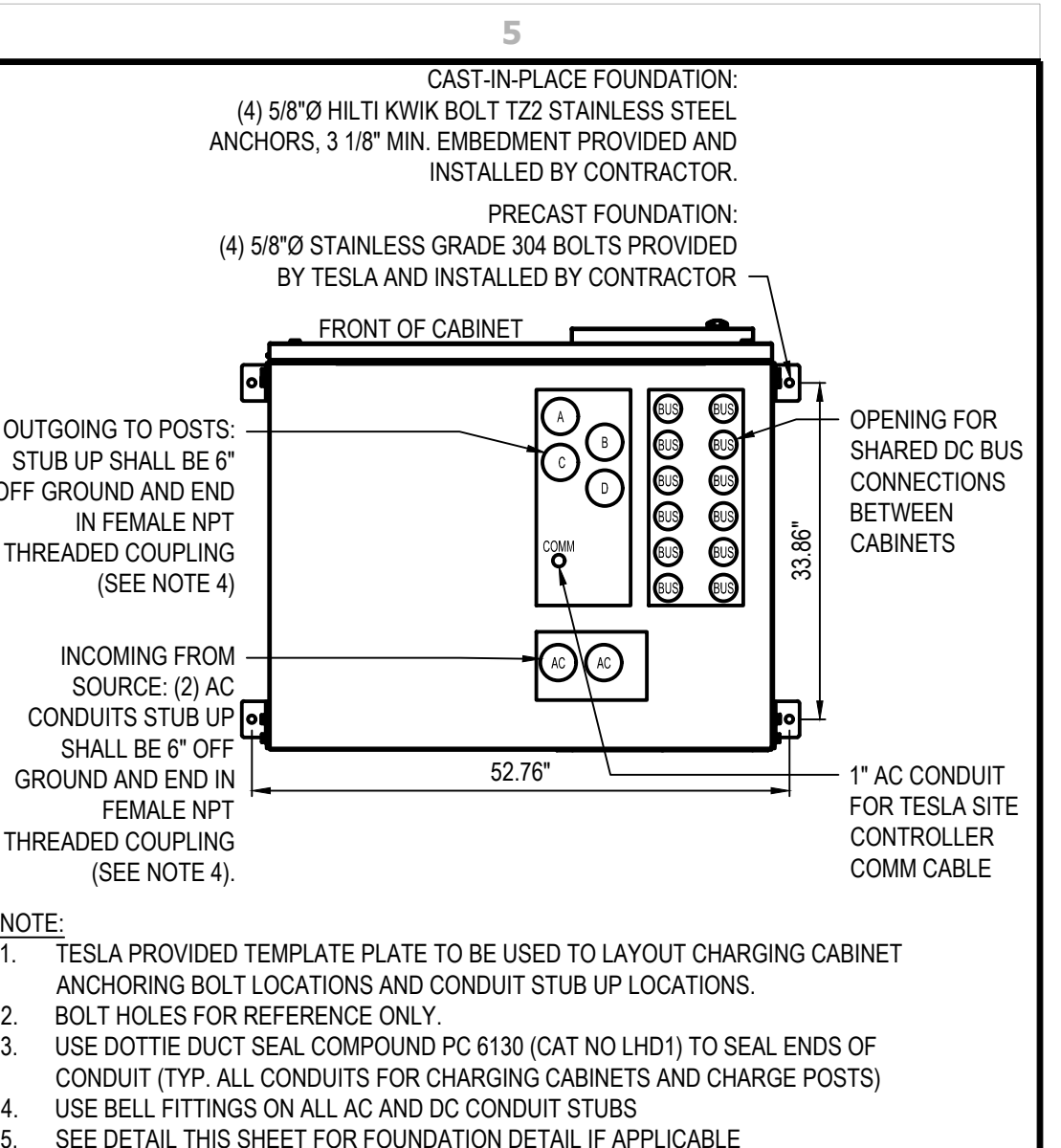
C-1 TRASH CAN
N.T.S.



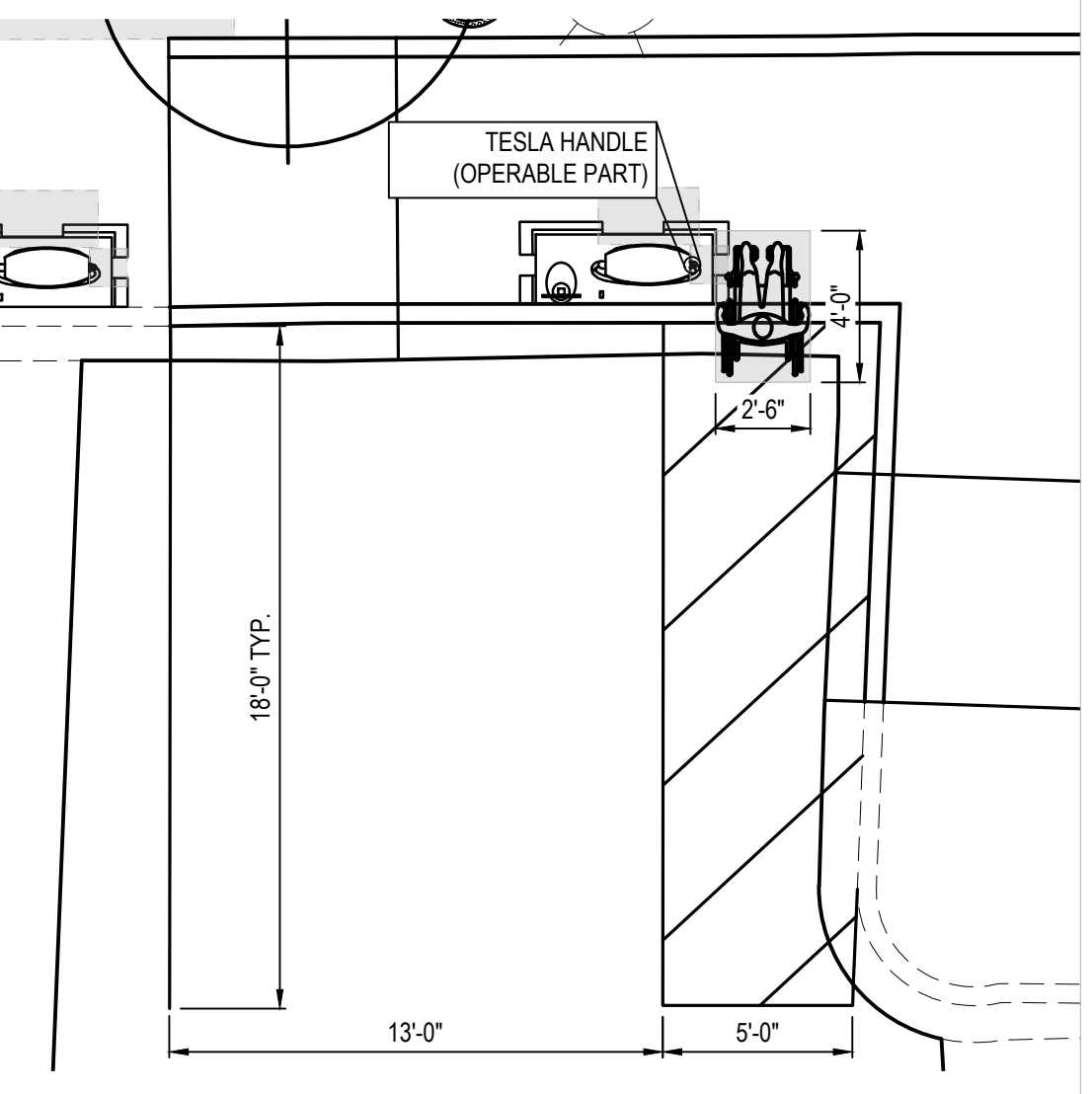
C-2 TESLA SUPERCHARGER CAST-IN-PLACE FOUNDATION
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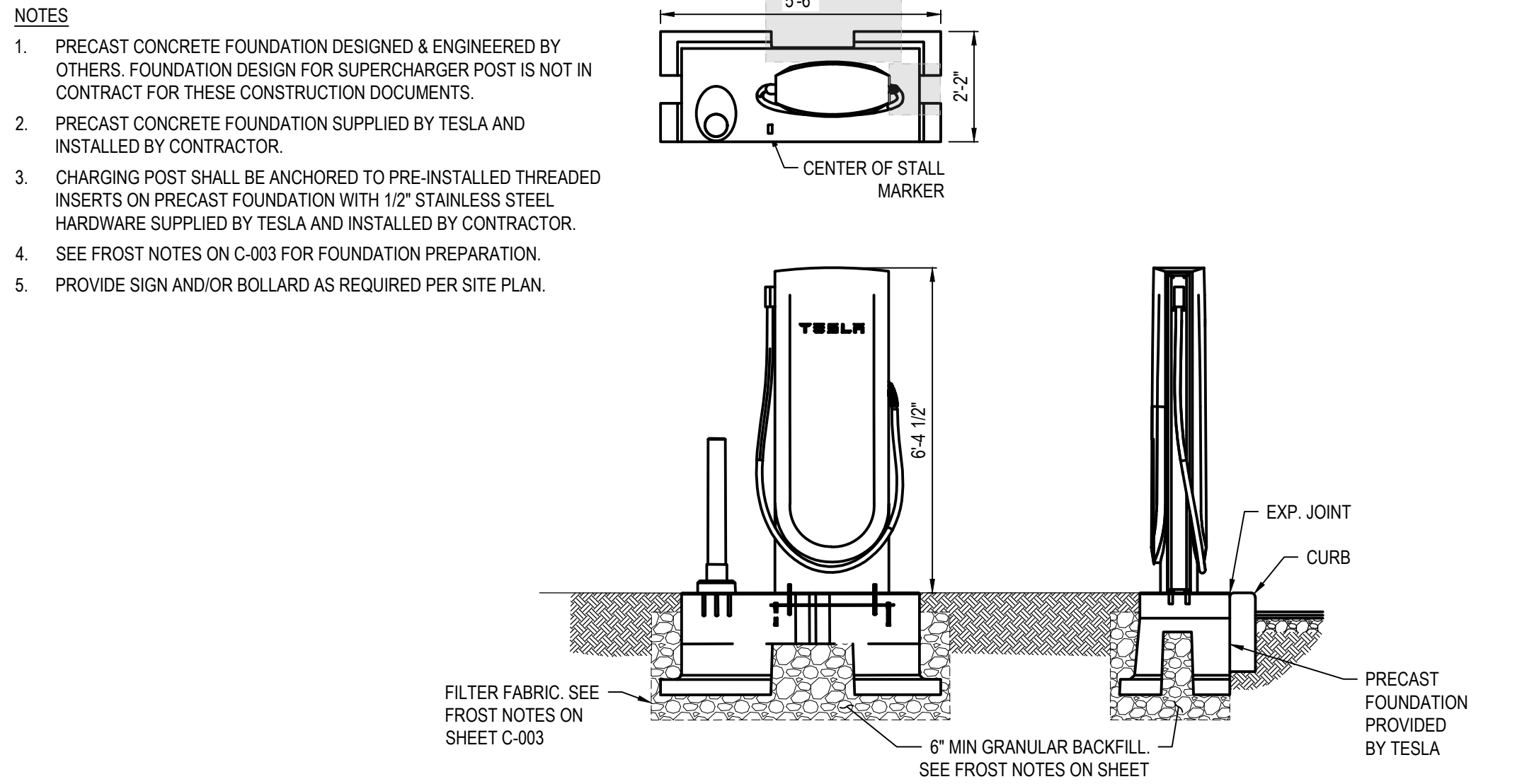
C-4 EQUIPMENT PAD
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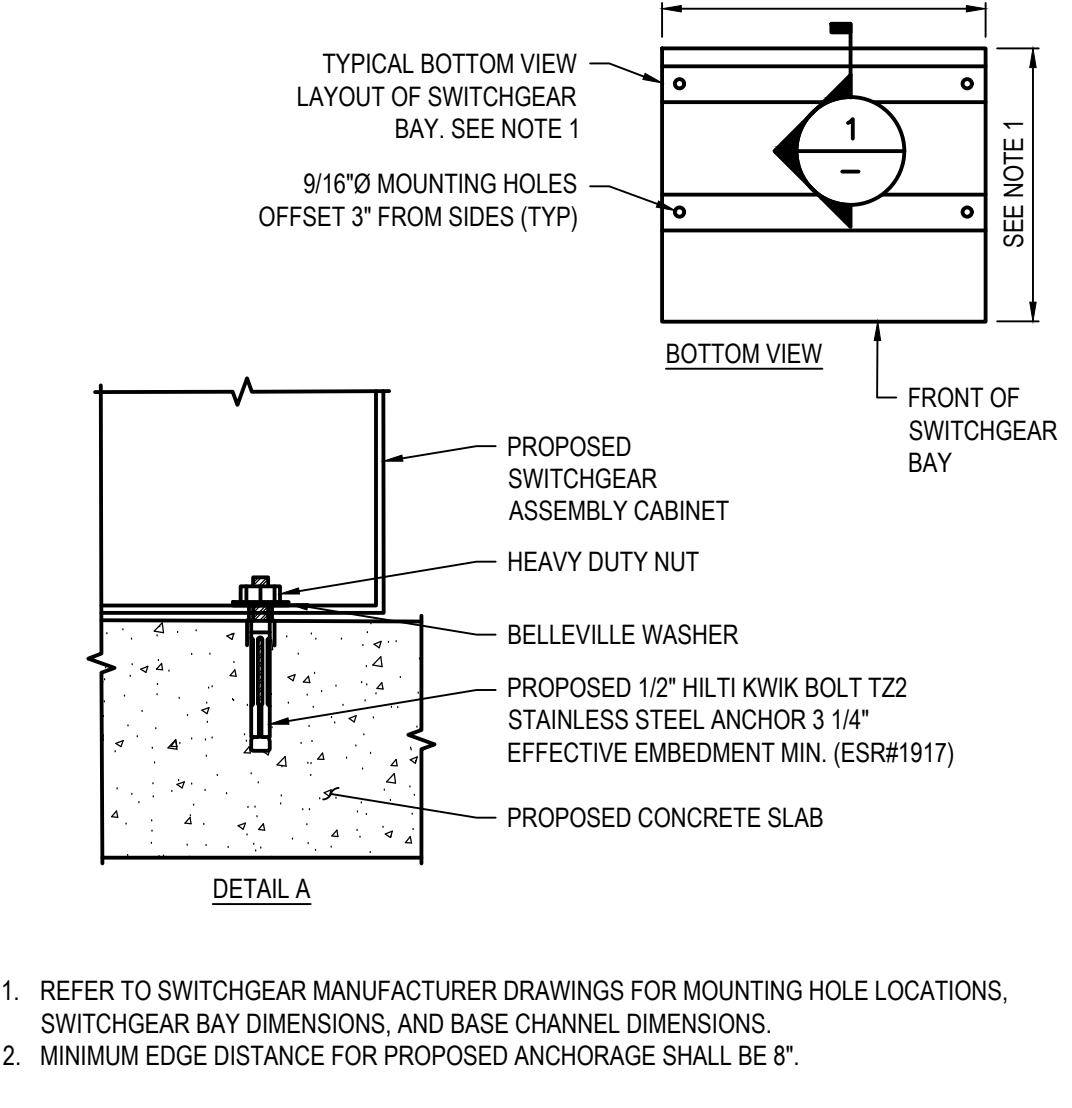
C-5 TESLA SUPERCHARGER CABINET ANCHOR BOLT PLAN
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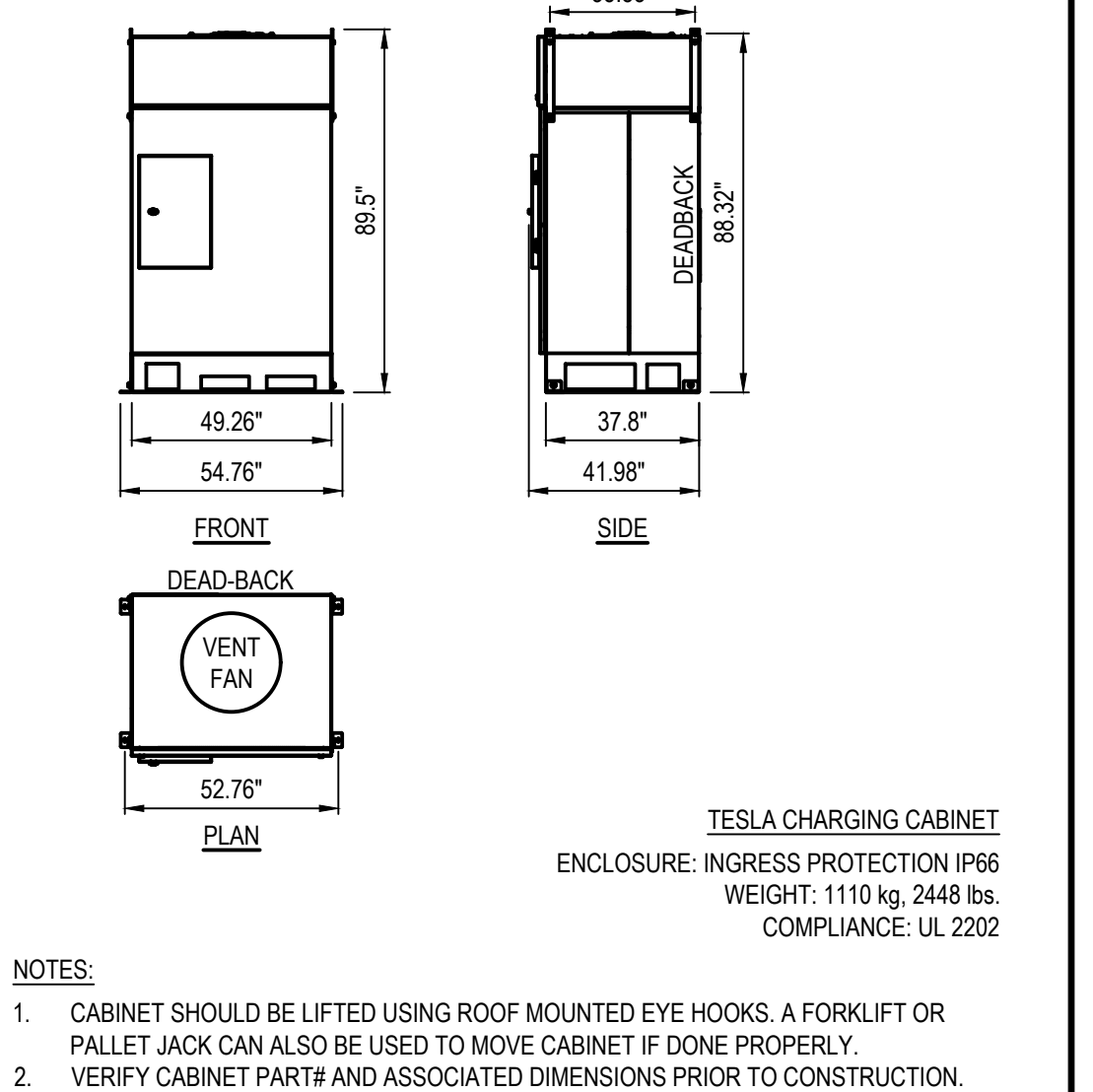
B-1 ACCESSIBLE REACH PLAN
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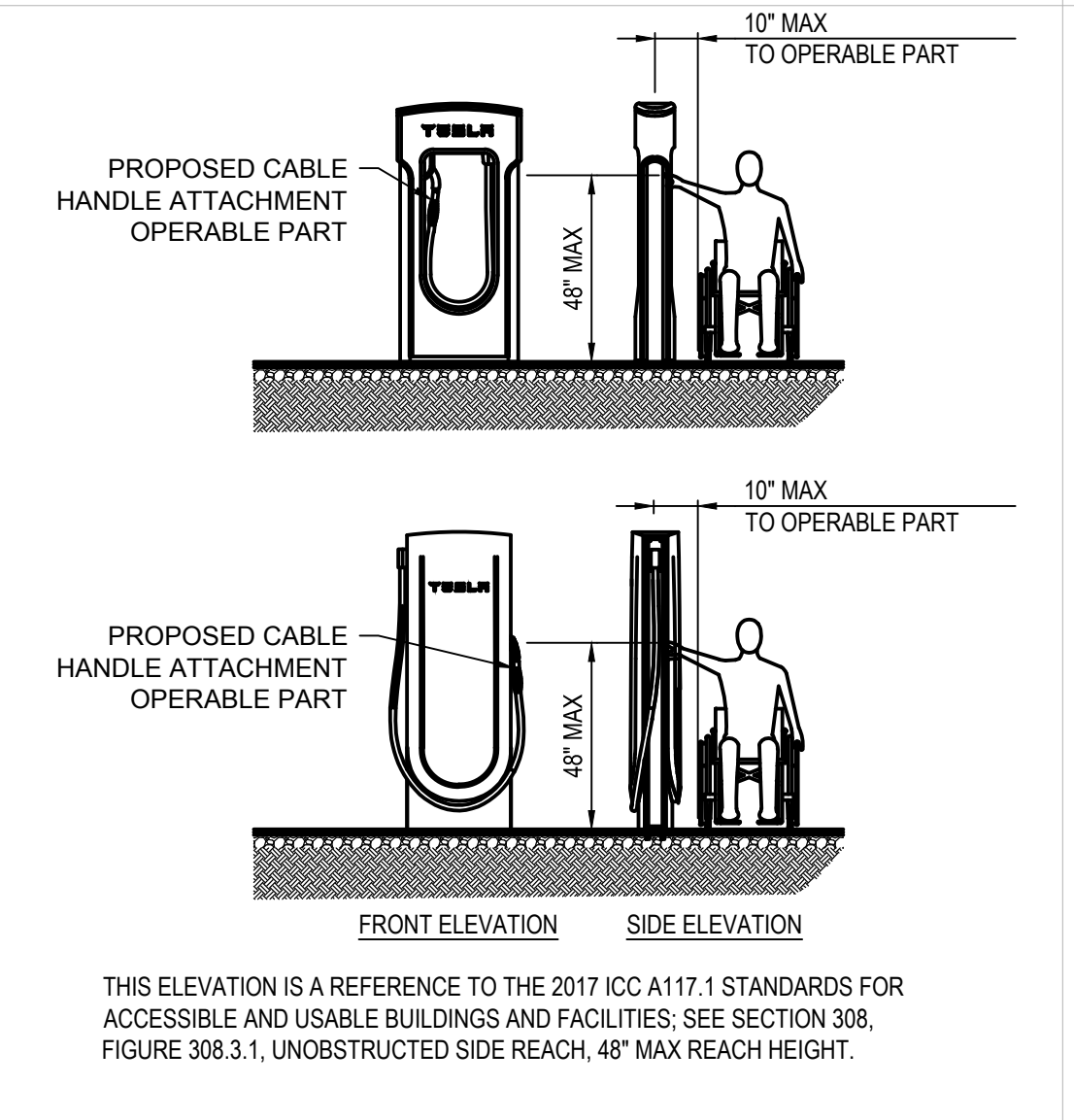
B-2 TESLA SUPERCHARGER ON PRECAST FOUNDATION
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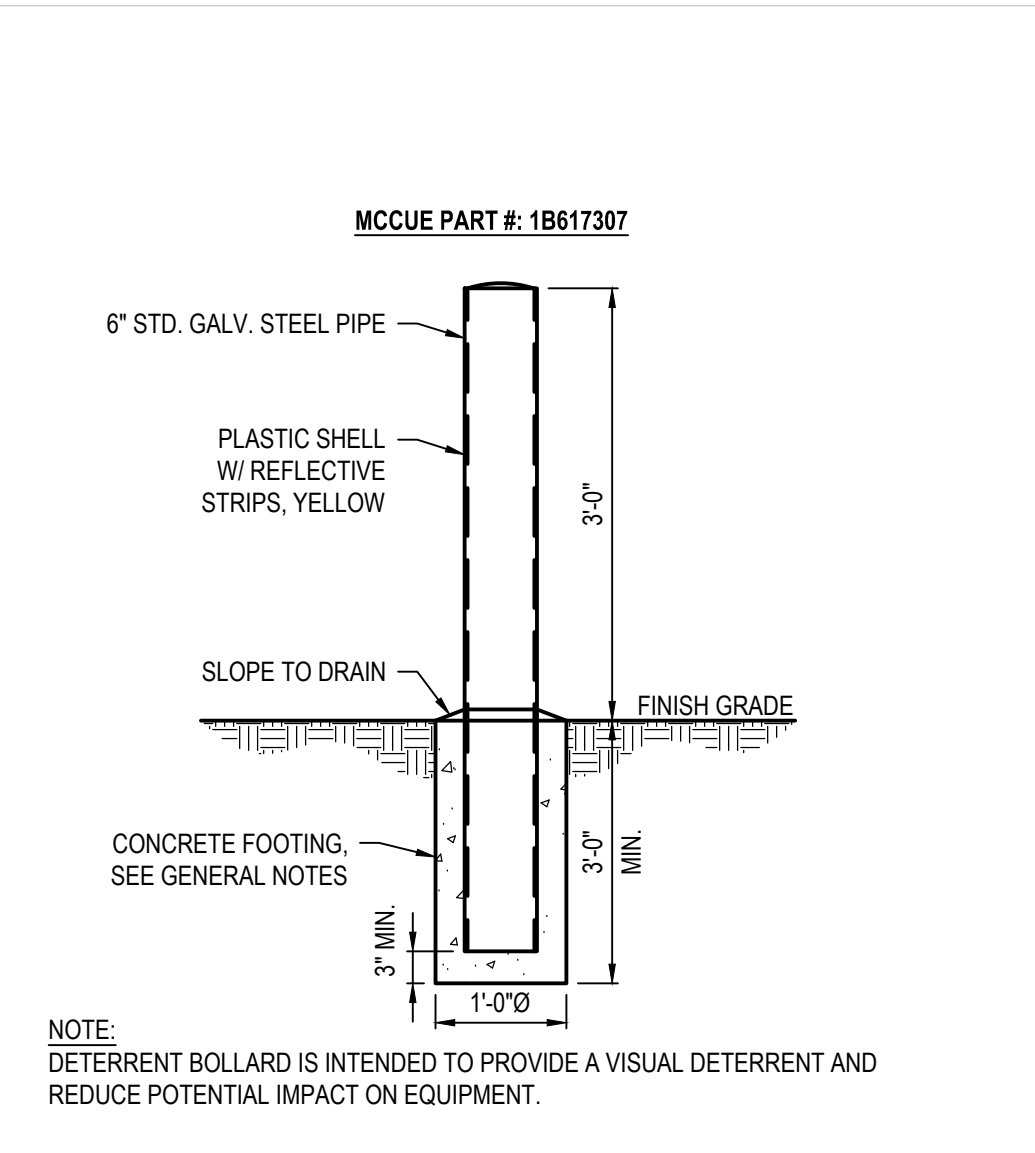
B-4 MOUNTING FOR Z-POWER SWITCHGEAR
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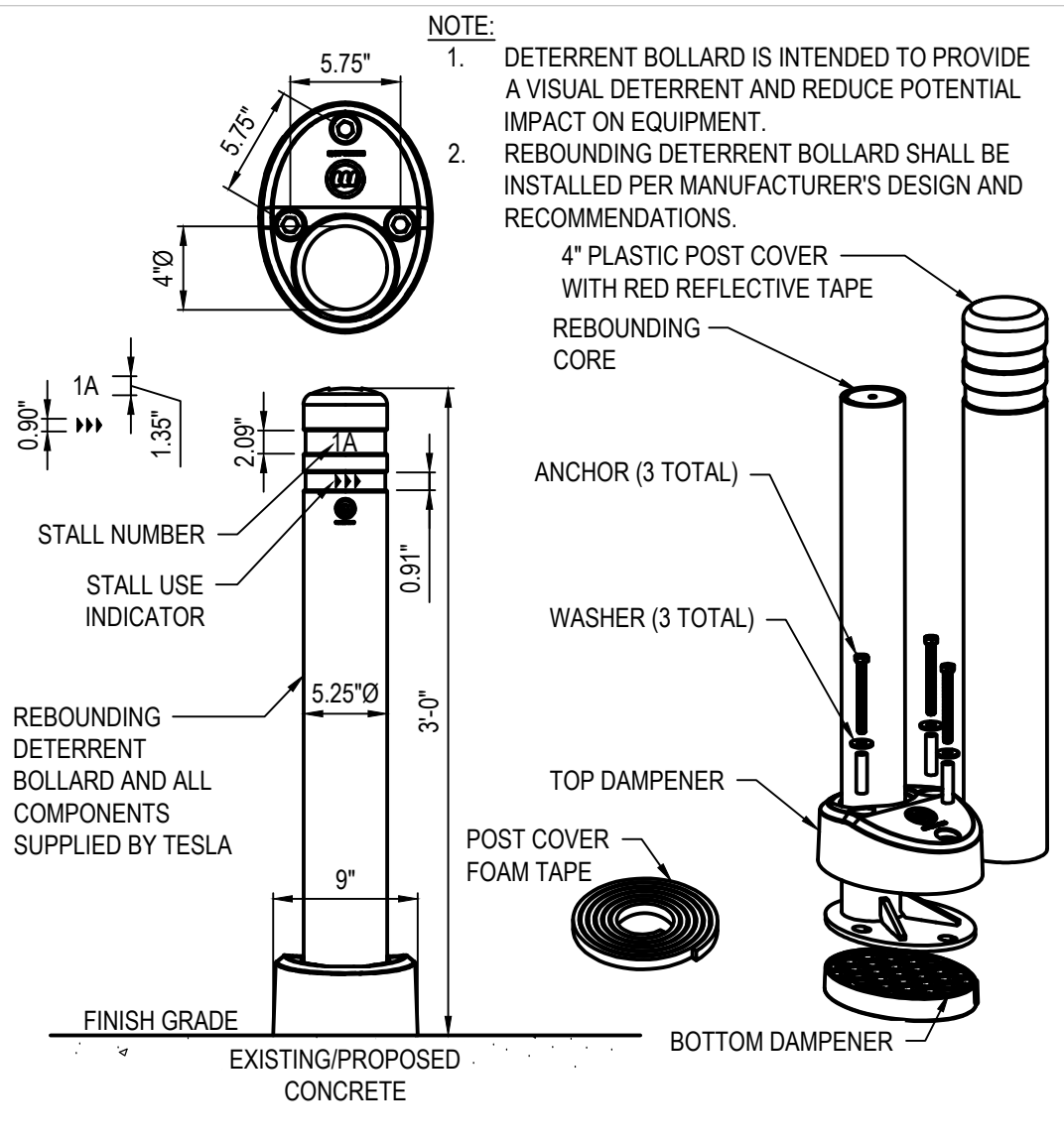
B-5 TESLA SUPERCHARGER CABINET DIMENSIONS
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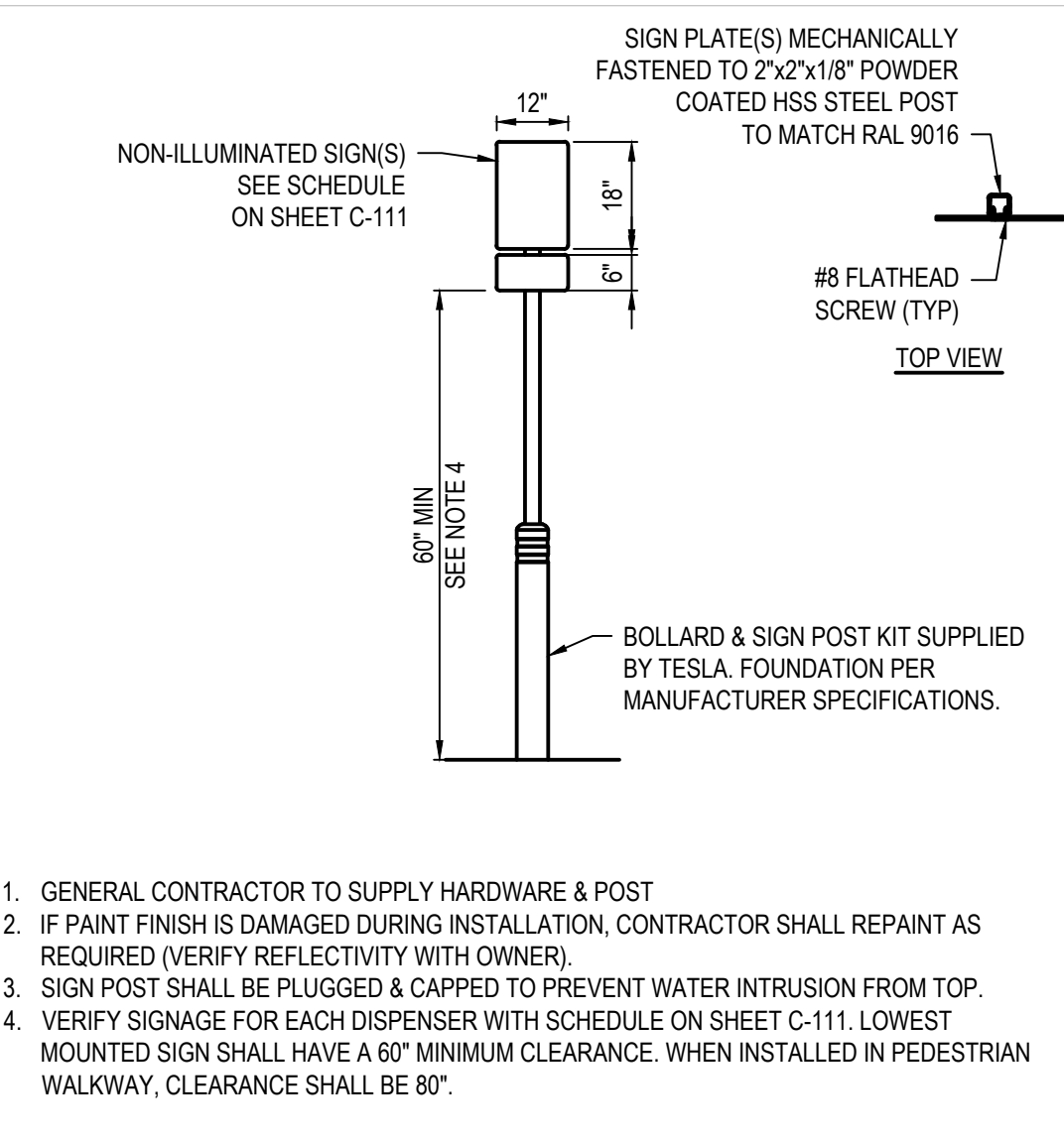
A-1 ACCESSIBLE REACH ELEVATION
N.T.S.



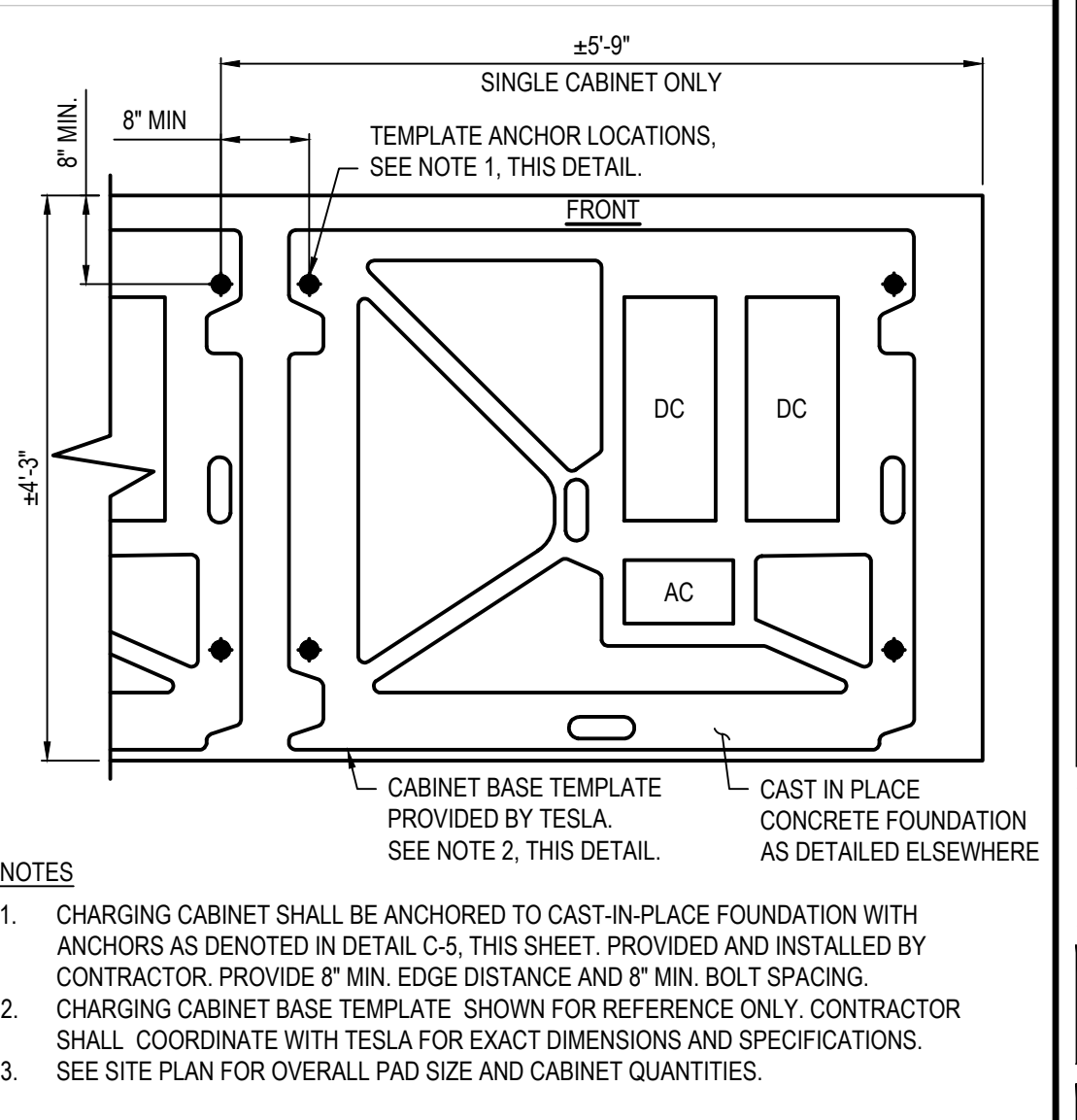
A-2 DEEP MOUNT DETERRENT BOLLARD
N.T.S.



A-3 REBOUNDED DETERRENT BOLLARD
N.T.S.



A-4 NON-ILLUMINATED SIGN
N.T.S.



A-5 TESLA SUPERCHARGER CABINET BASE TEMPLATE
N.T.S.



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SITE DEVELOPMENT PLAN
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A
4612 MILESTONE LN, CASTLE ROCK, CO 80104

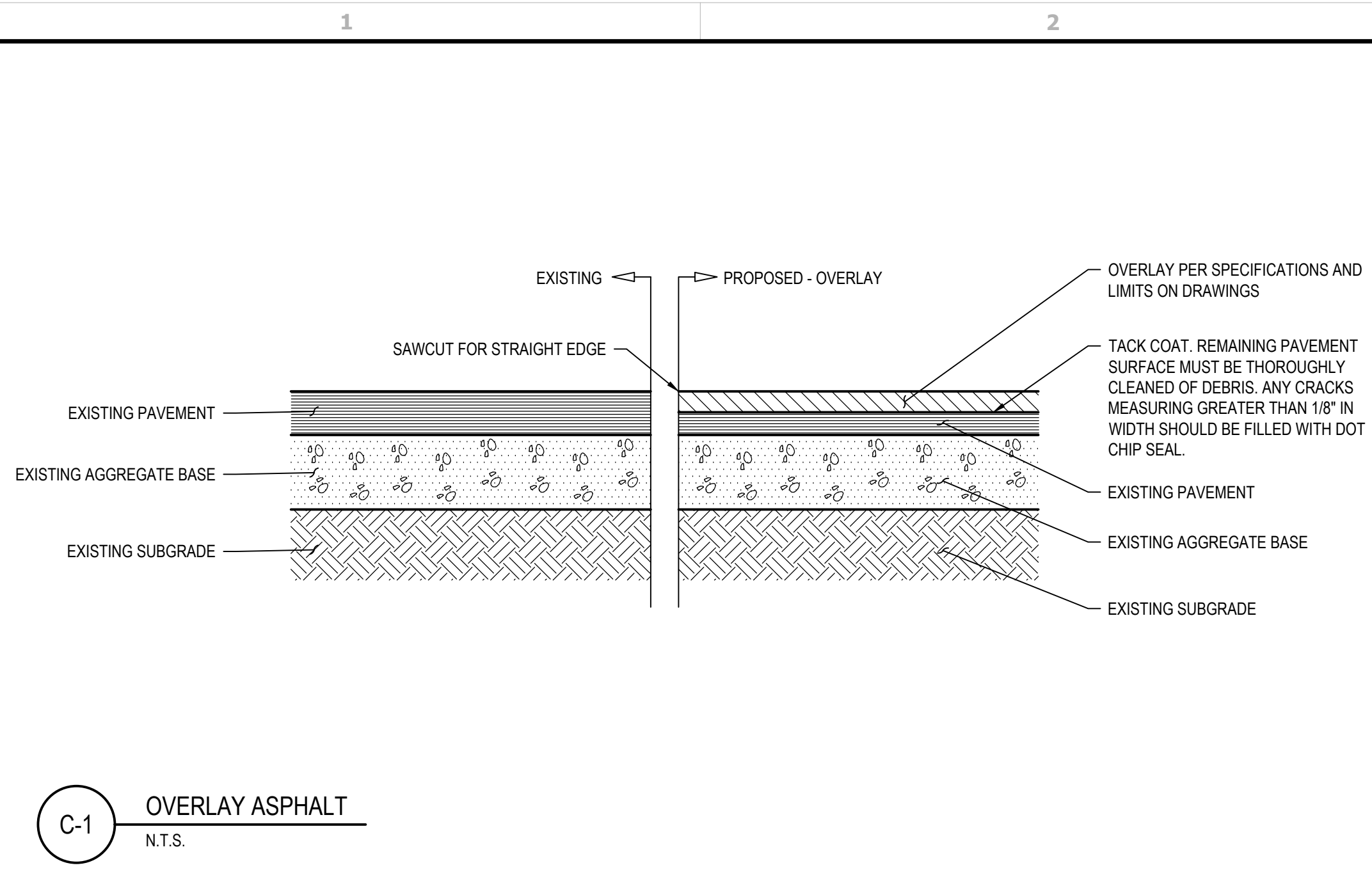
PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

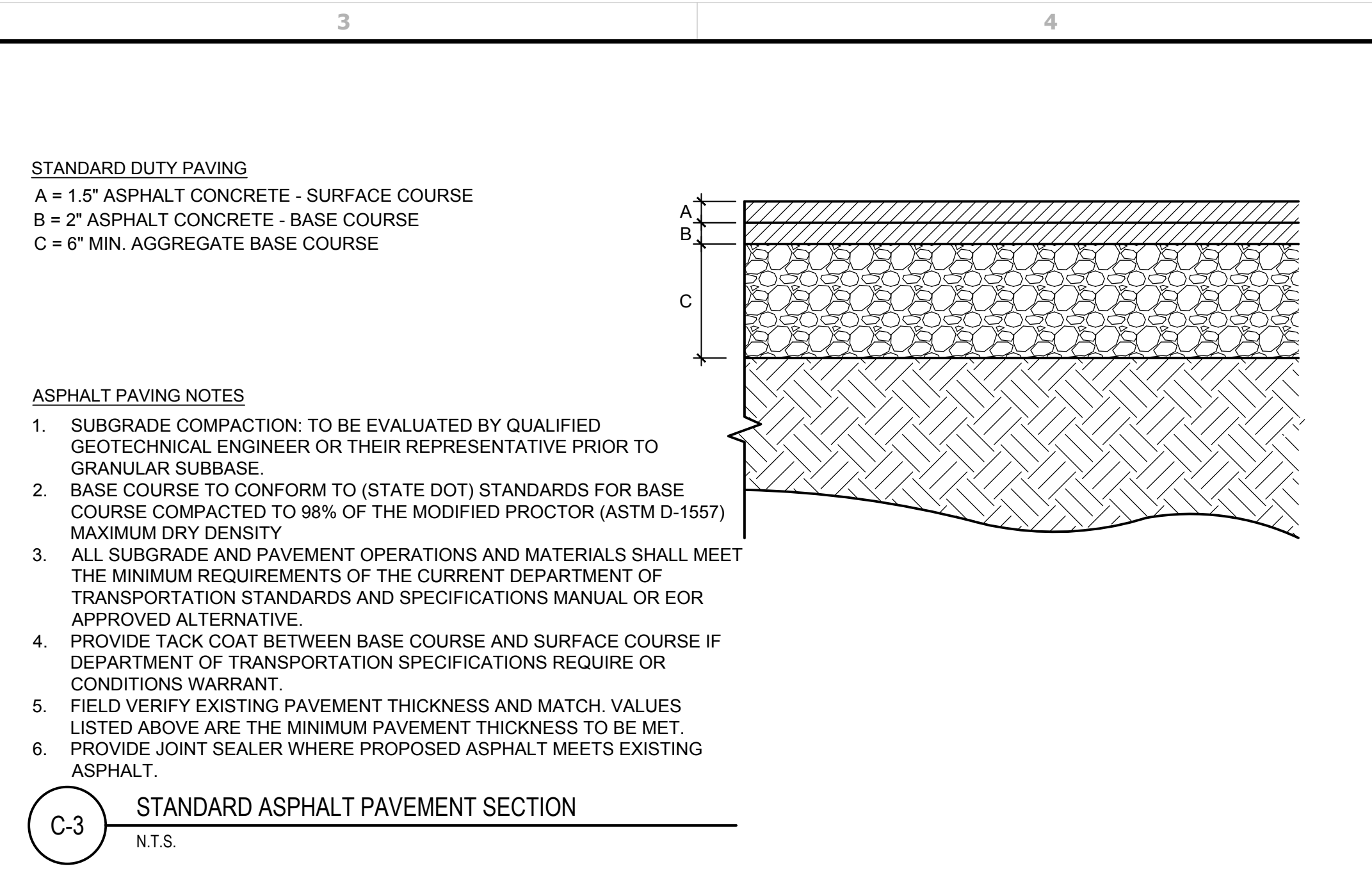
15 OF 18
C-201

CIVIL DETAILS

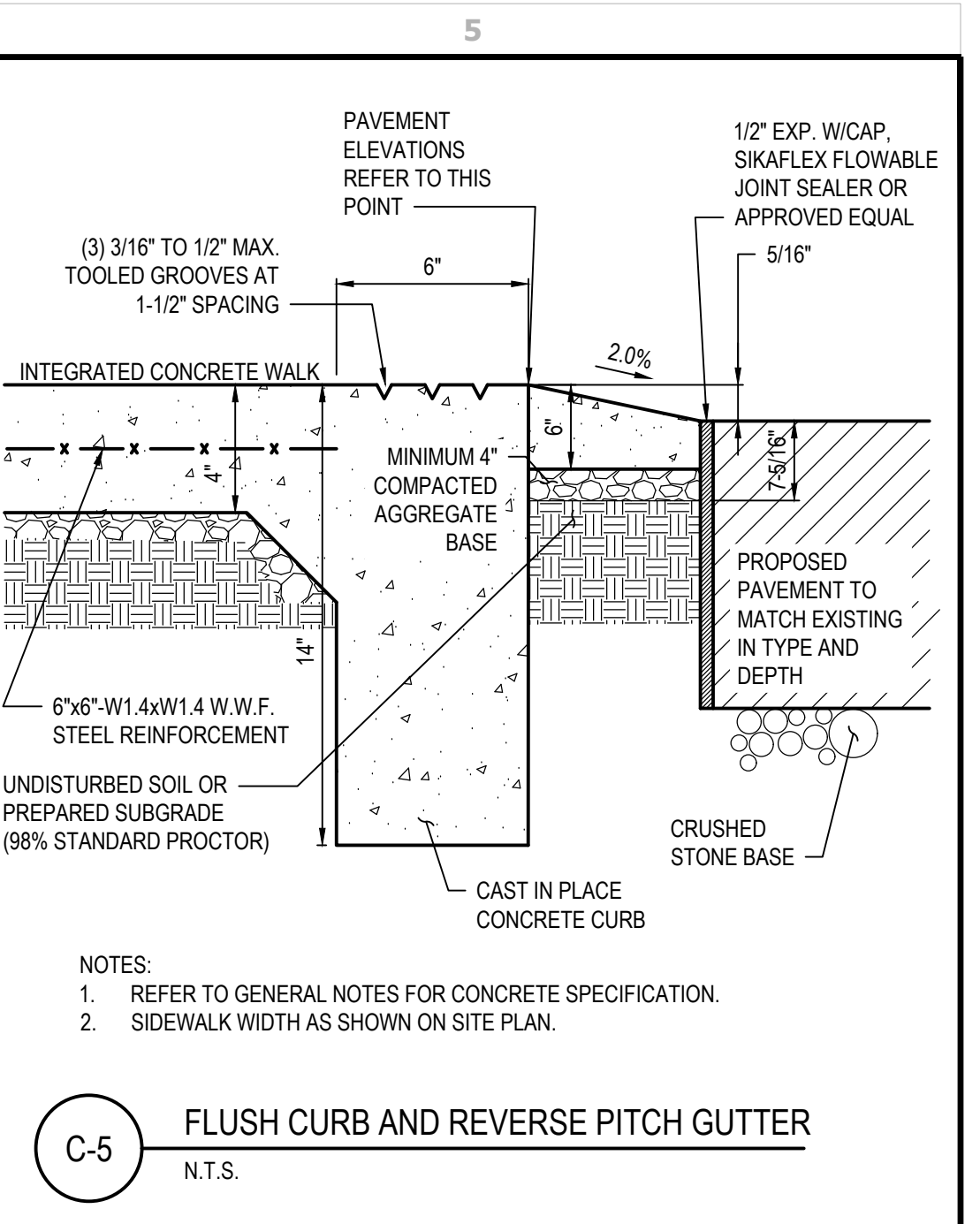
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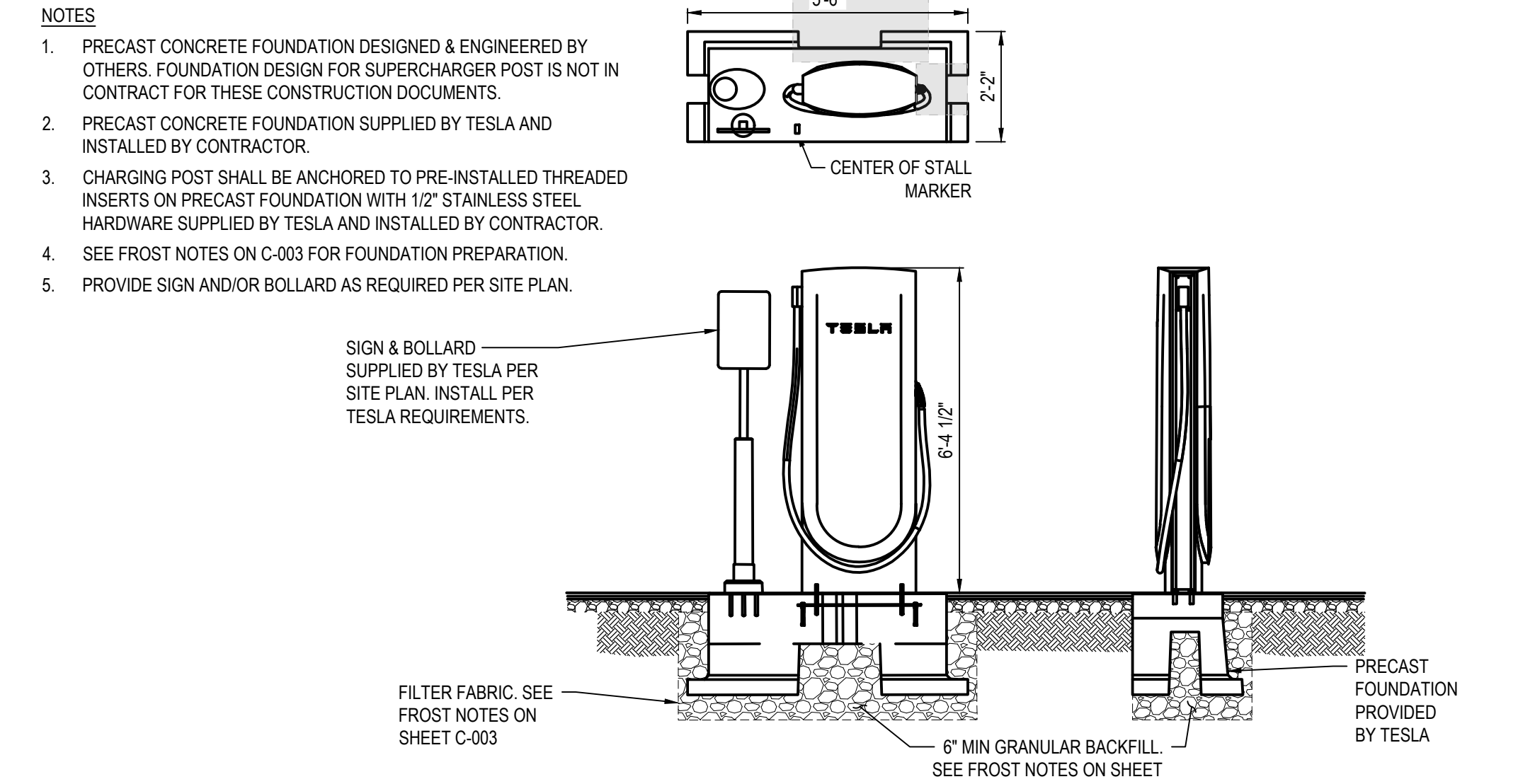
C-1 OVERLAY ASPHALT
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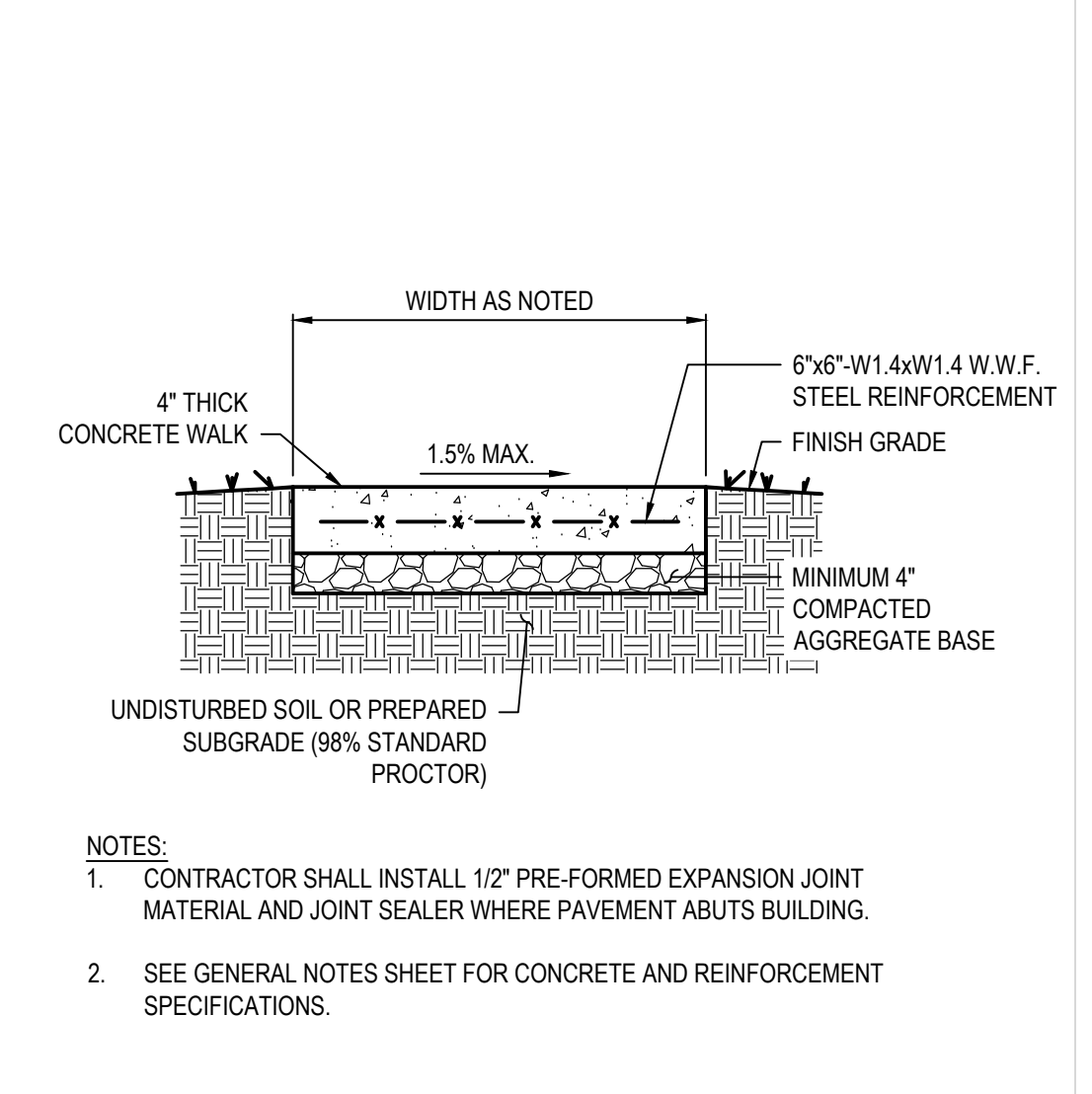
C-3 STANDARD ASPHALT PAVEMENT SECTION
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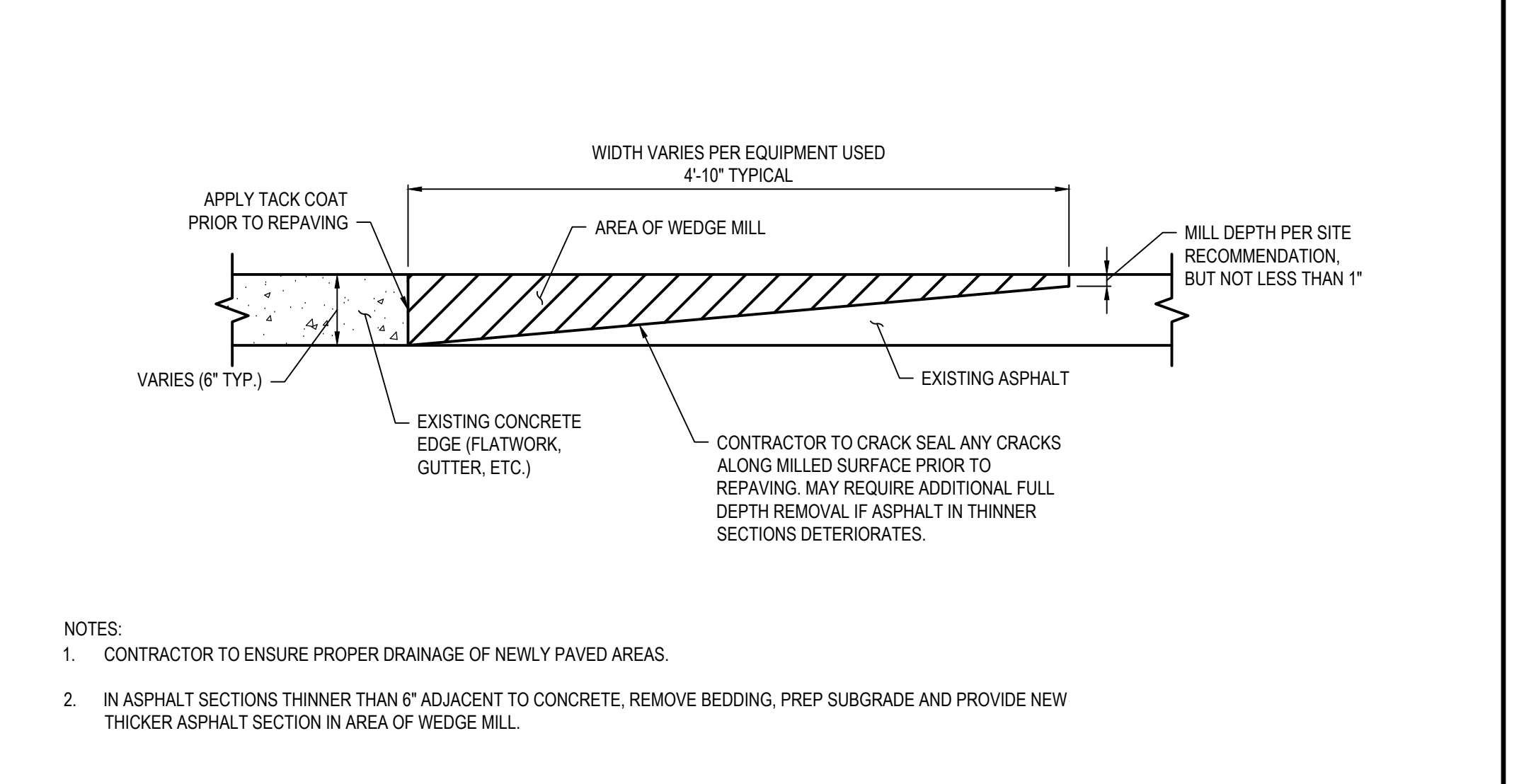
C-5 FLUSH CURB AND REVERSE PITCH GUTTER
N.T.S.



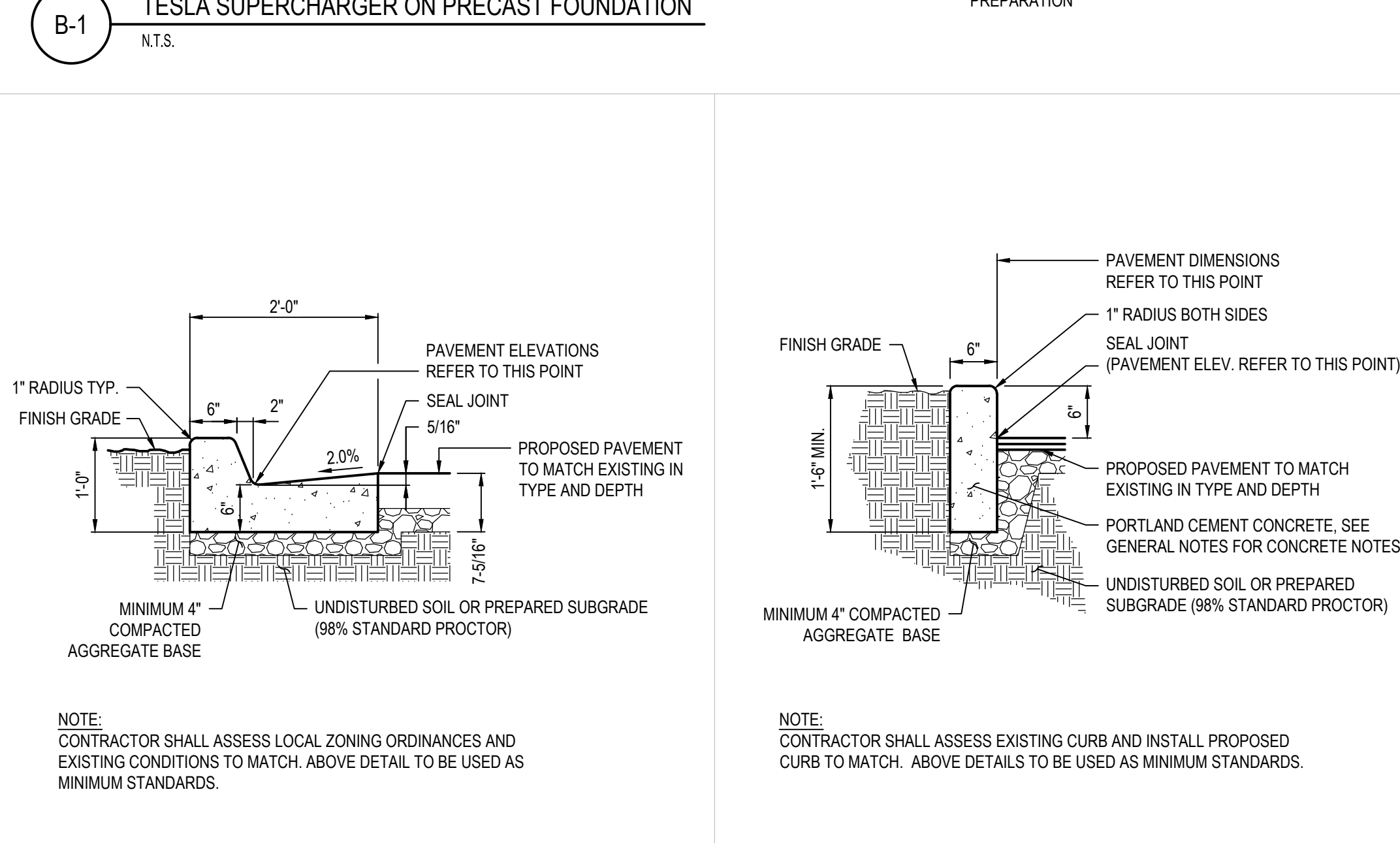
B-1 TESLA SUPERCHARGER ON PRECAST FOUNDATION
N.T.S.



B-3 CONCRETE WALK
N.T.S.

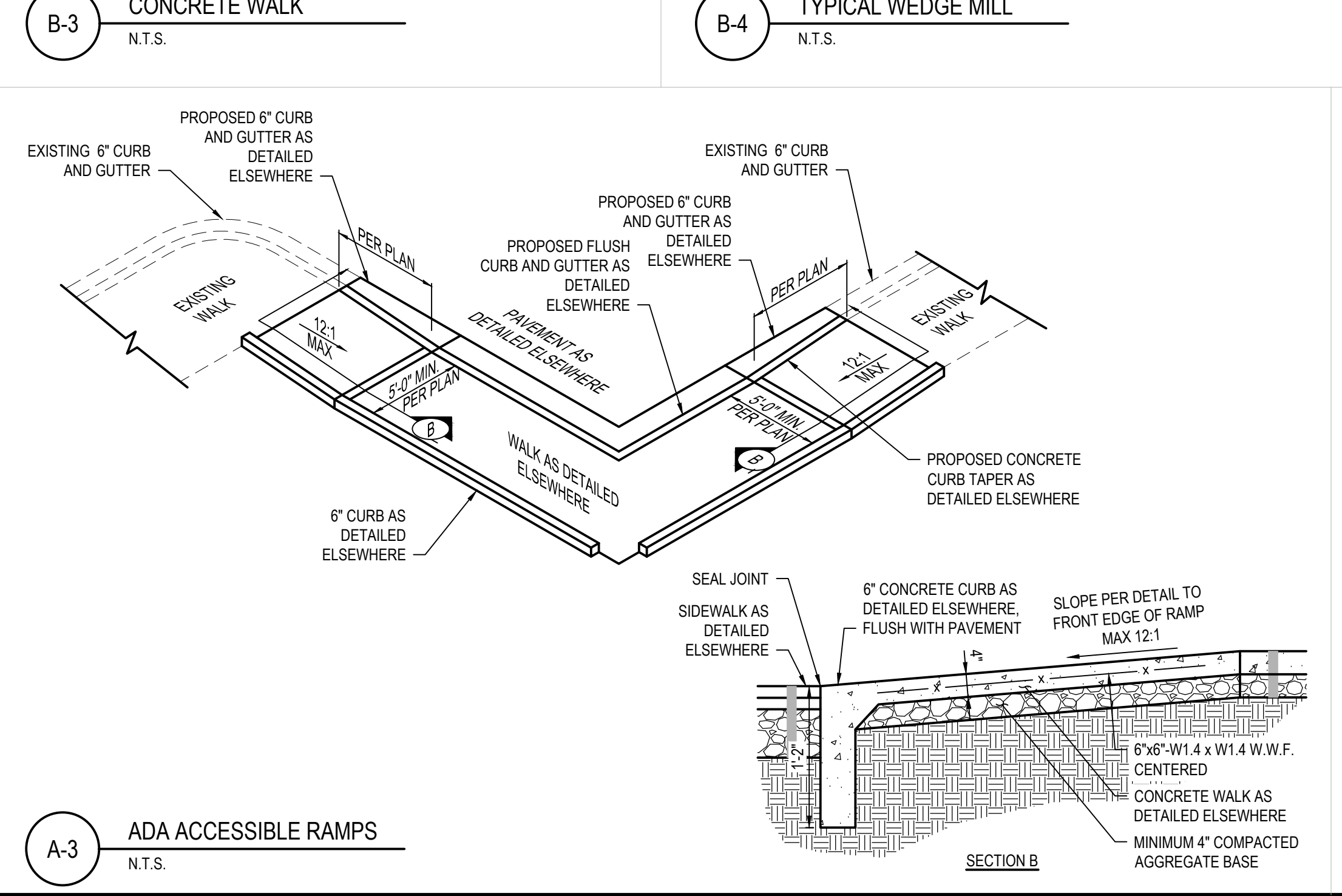


B-4 TYPICAL WEDGE MILL
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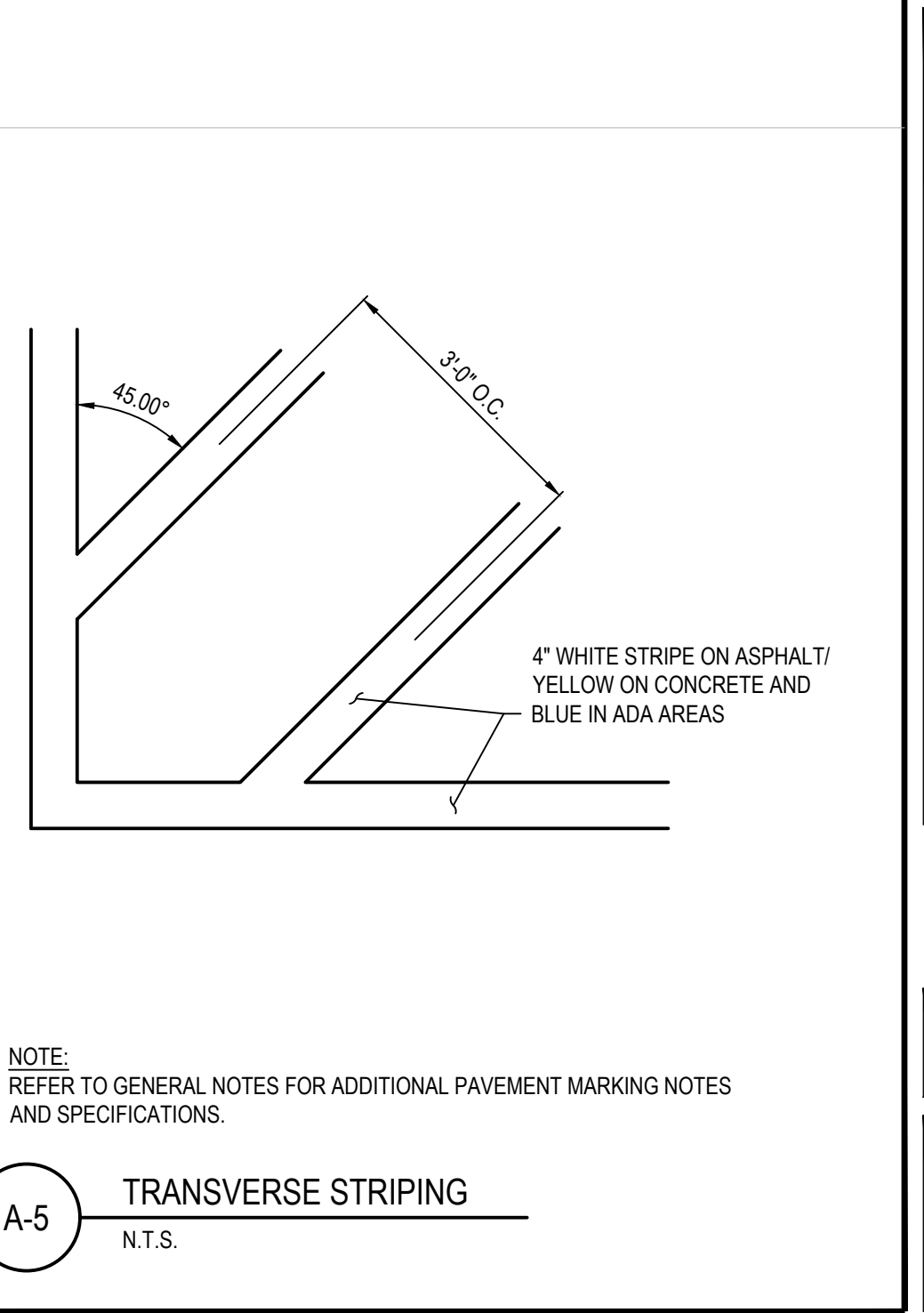


A-1 CONCRETE CURB AND GUTTER
N.T.S.

A-2 CONCRETE CURB
N.T.S.



A-3 ADA ACCESSIBLE RAMPS
N.T.S.



A-5 TRANSVERSE STRIPING
N.T.S.

STANDARD DUTY PAVING
 A = 1.5" ASPHALT CONCRETE - SURFACE COURSE
 B = 2" ASPHALT CONCRETE - BASE COURSE
 C = 6" MIN. AGGREGATE BASE COURSE

ASPHALT PAVING NOTES

- SUBGRADE COMPACTION: TO BE EVALUATED BY QUALIFIED GEOTECHNICAL ENGINEER OR THEIR REPRESENTATIVE PRIOR TO GRANULAR SUBBASE.
- BASE COURSE TO CONFORM TO (STATE DOT) STANDARDS FOR BASE COURSE COMPACTED TO 98% OF THE MODIFIED PROCTOR (ASTM D-1557) MAXIMUM DRY DENSITY
- ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS MANUAL OR EOR APPROVED ALTERNATIVE.
- PROVIDE TACK COAT BETWEEN BASE COURSE AND SURFACE COURSE IF DEPARTMENT OF TRANSPORTATION SPECIFICATIONS REQUIRE OR CONDITIONS WARRANT.
- FIELD VERIFY EXISTING PAVEMENT THICKNESS AND MATCH. VALUES LISTED ABOVE ARE THE MINIMUM PAVEMENT THICKNESS TO BE MET.
- PROVIDE JOINT SEALER WHERE PROPOSED ASPHALT MEETS EXISTING ASPHALT.

NOTES:

- REFER TO GENERAL NOTES FOR CONCRETE SPECIFICATION.
- SIDEWALK WIDTH AS SHOWN ON SITE PLAN.

Drawing Name: C:\2023\20230224\149 - TRT 2628 - Castle Rock, CO - Milestone Undeveloped Planning January 17, 2024 F:\31 - Rev\1.dwg
 Drawing Number: 202324149 - TRT 2628 - Castle Rock, CO - Milestone Undeveloped Planning January 17, 2024 F:\31 - Rev\1.dwg



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SITE DEVELOPMENT PLAN
 MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A
 4612 MILESTONE LN, CASTLE ROCK, CO 80104

CIVIL DETAILS

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
202324149

16 OF 18
C-202

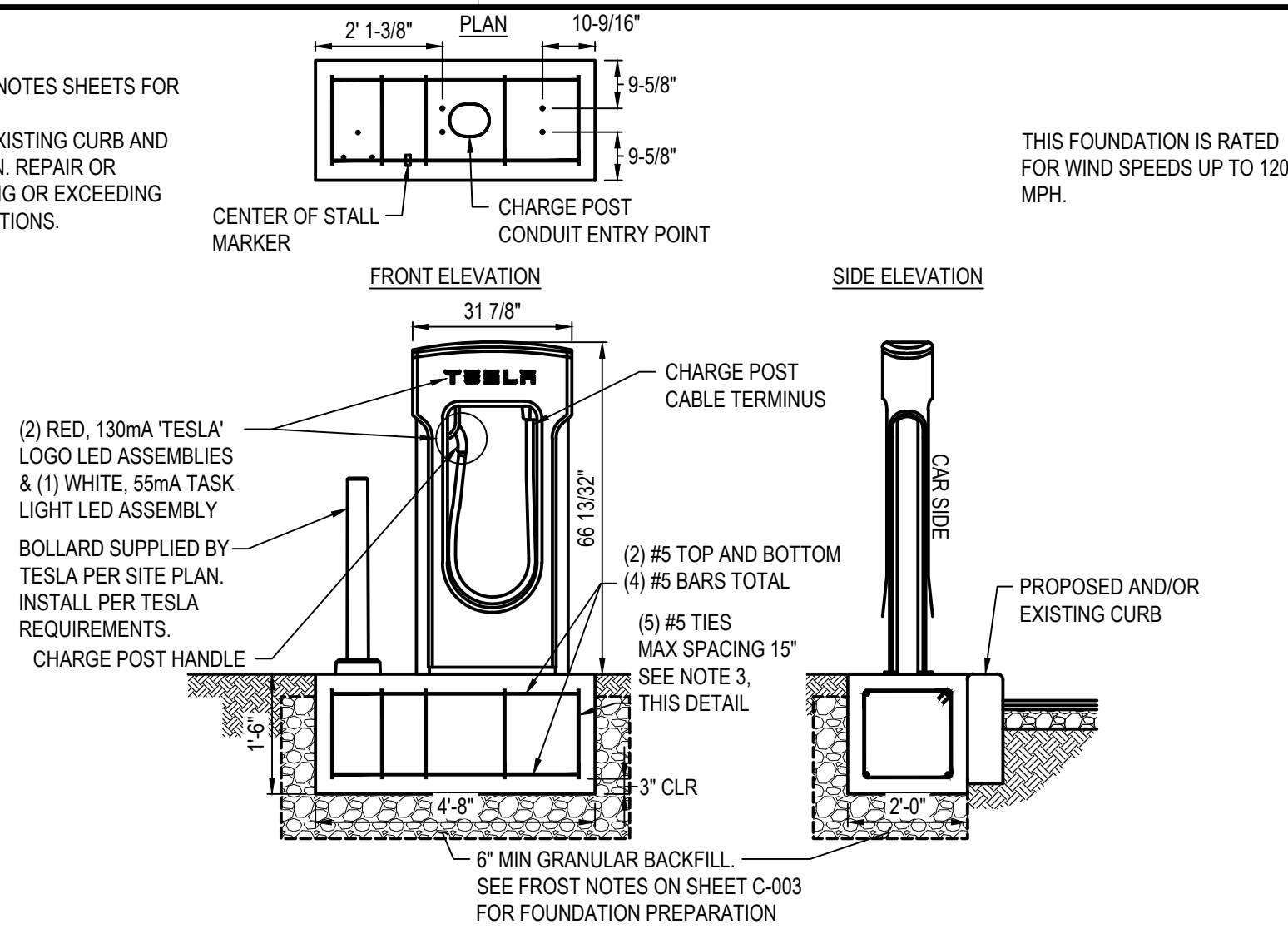
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January 17, 2024 7:32 AM - R01/sgd

NOTES

- SEE FROST NOTES ON GENERAL NOTES SHEETS FOR FOUNDATION PREPARATION.
- CONTRACTOR SHALL PROTECT EXISTING CURB AND PAVEMENT DURING INSTALLATION. REPAIR OR REPLACE AS REQUIRED, MATCHING OR EXCEEDING EXISTING CONDITIONS/SPECIFICATIONS.
- CONTRACTOR SHALL PLACE REBAR IN A CONFIGURATION THAT DOES NOT CONFLICT WITH ANCHORS AND CONDUIT WINDOW

ANCHORAGE NOTES

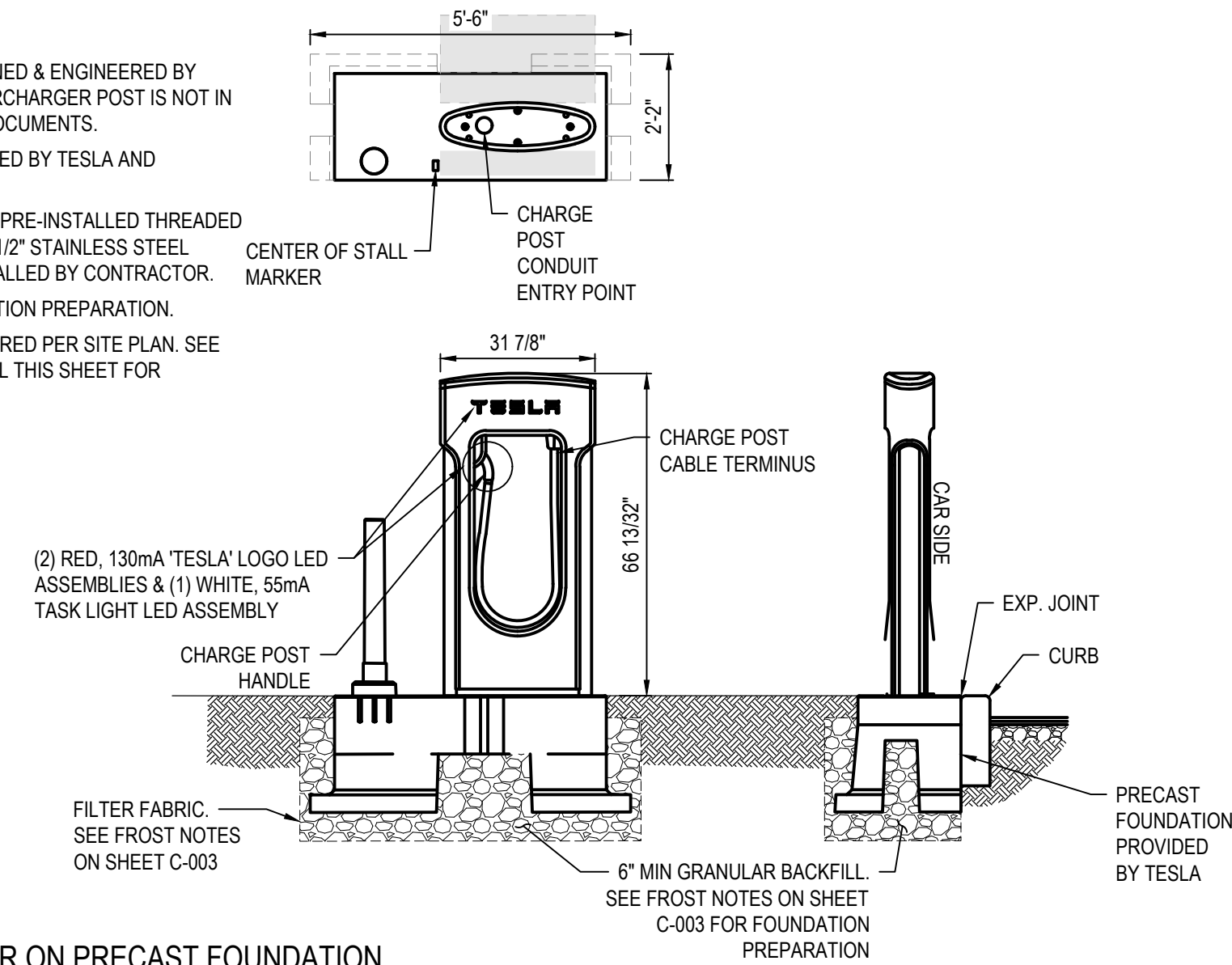
- 1/2" DIA SS THREADED ROD WITH HILTI HIT-HY 200 V3 ADHESIVE ANCHOR SYSTEM WITH 6" MIN EMBEDMENT PER ESR-4068, OR APPROVED EQUAL.



C-1 TESLA SUPERCHARGER CAST-IN-PLACE FOUNDATION
N.T.S.

NOTES

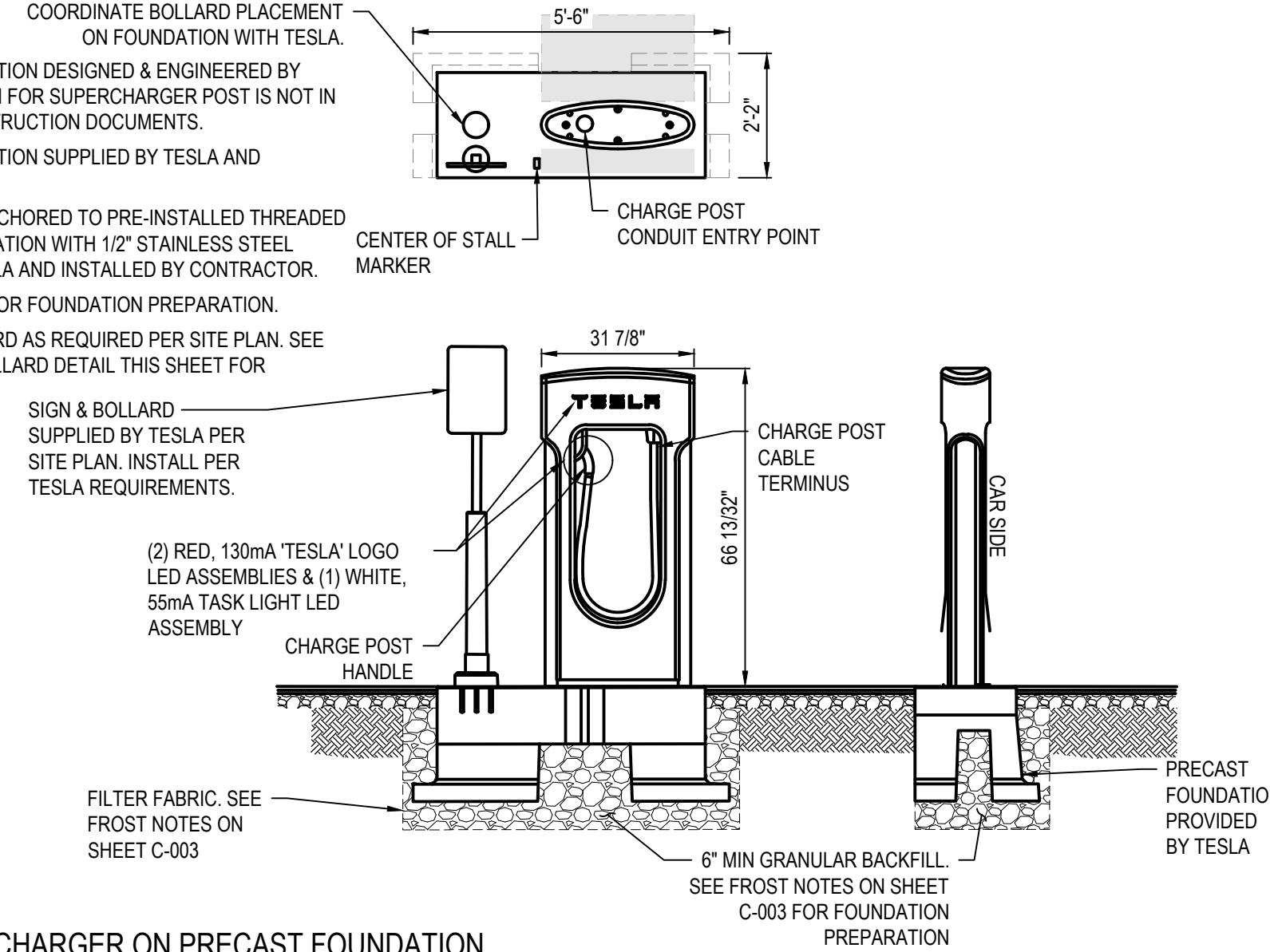
- PRECAST CONCRETE FOUNDATION DESIGNED & ENGINEERED BY OTHERS. FOUNDATION DESIGN FOR SUPERCHARGER POST IS NOT IN CONTRACT FOR THESE CONSTRUCTION DOCUMENTS.
- PRECAST CONCRETE FOUNDATION SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
- CHARGING POST SHALL BE ANCHORED TO PRE-INSTALLED THREADED INSERTS ON PRECAST FOUNDATION WITH 1/2" STAINLESS STEEL HARDWARE SUPPLIED BY TESLA AND INSTALLED BY CONTRACTOR.
- SEE FROST NOTES ON C-003 FOR FOUNDATION PREPARATION.
- PROVIDE SIGN AND/OR BOLLARD AS REQUIRED PER SITE PLAN. SEE REBOUNDING DETERRENT BOLLARD DETAIL THIS SHEET FOR BOLLARD INFORMATION.



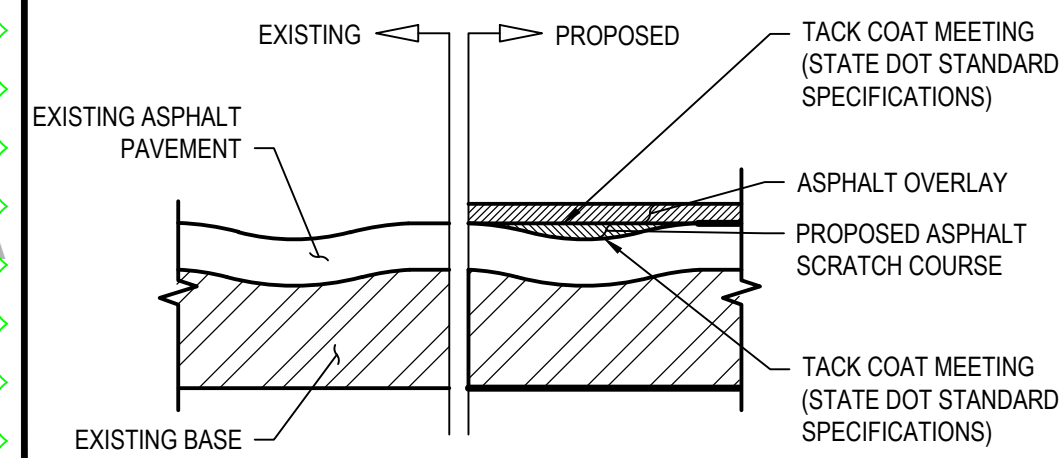
B-1 TESLA SUPERCHARGER ON PRECAST FOUNDATION
N.T.S.

NOTES

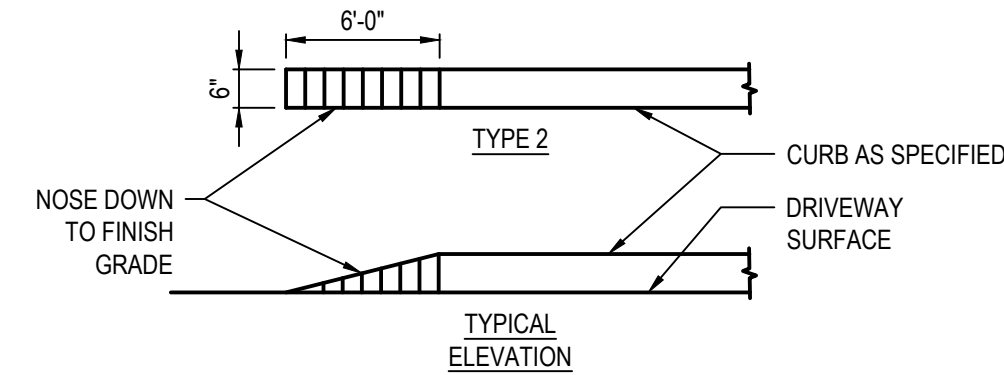
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B-3 TESLA SUPERCHARGER ON PRECAST FOUNDATION
N.T.S.



A-1 PRE-OVERLAY ASPHALT TREATMENT
N.T.S.

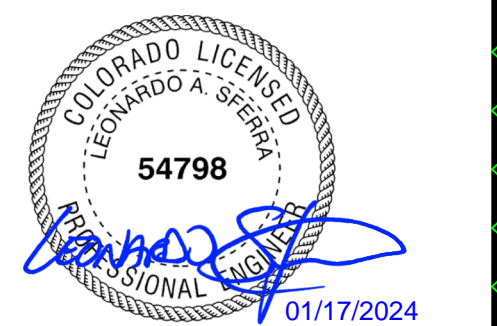


A-2 CONCRETE CURB TAPER
N.T.S.



520 South Main Street, Suite 2531
Akron, OH 44311
330.572.2100 Fax 330.572.2101

REV.	DATE	DESCRIPTION
A	01/17/2023	ISSUED FOR SITE DEVELOPMENT PLAN REVIEW



SITE DEVELOPMENT PLAN
MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A
4612 MILESTONE LN, CASTLE ROCK, CO 80104

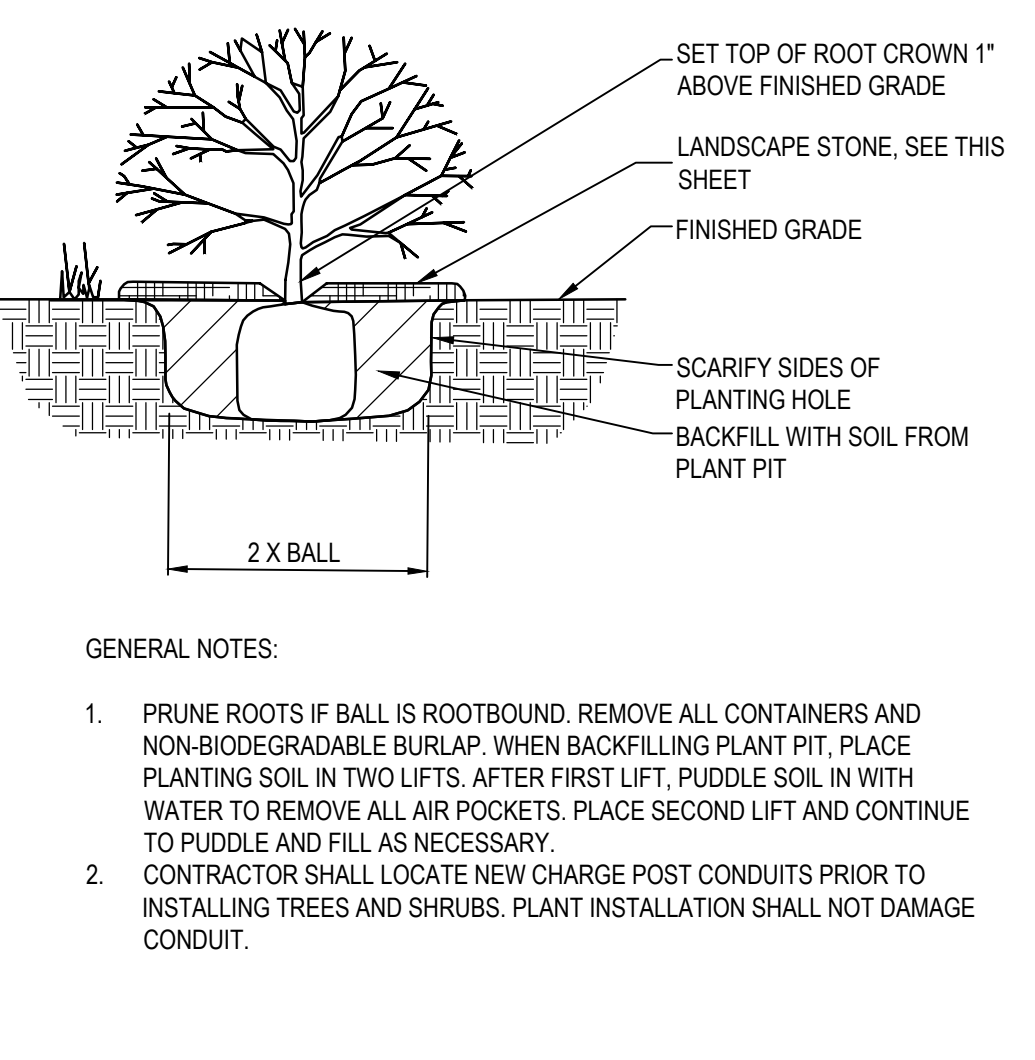
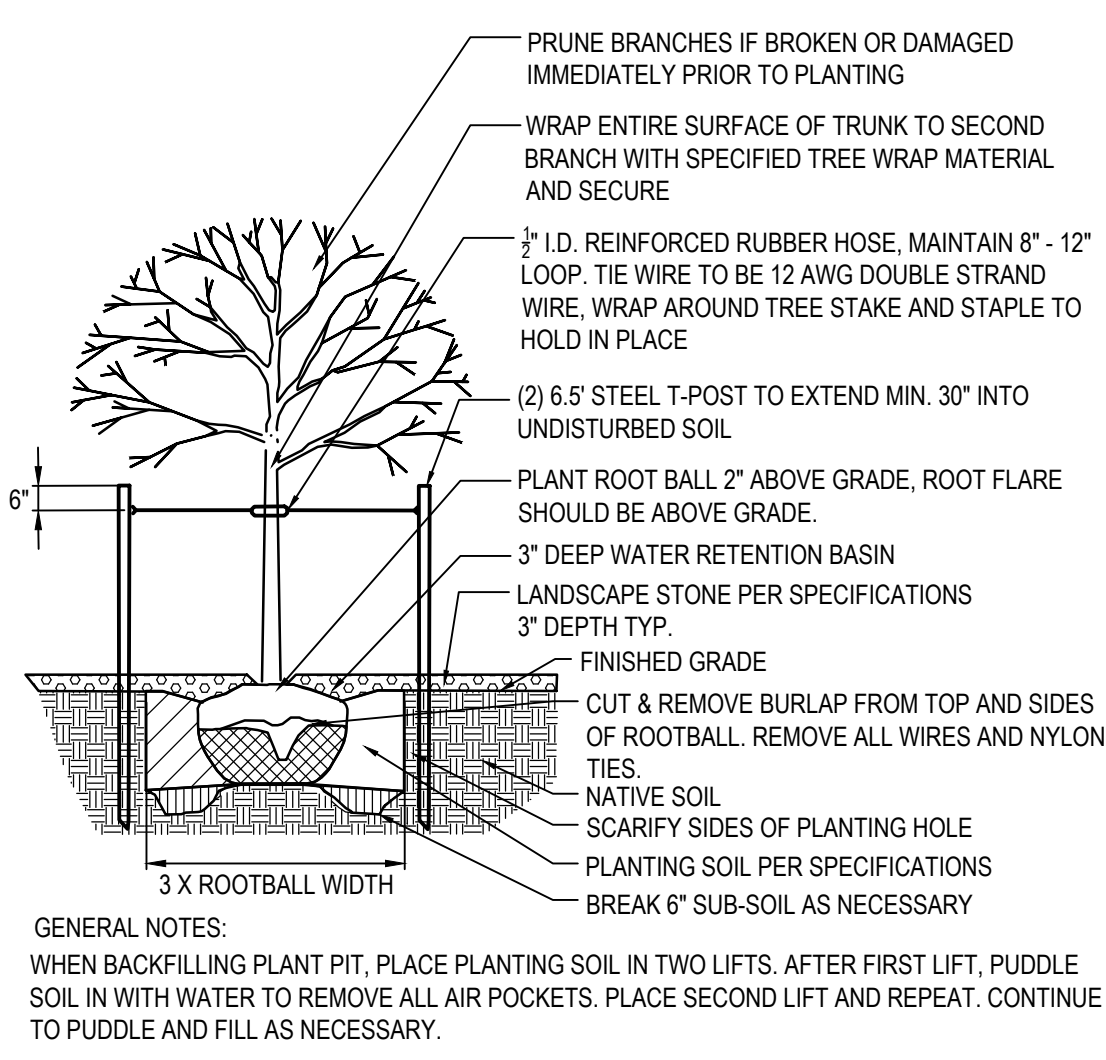
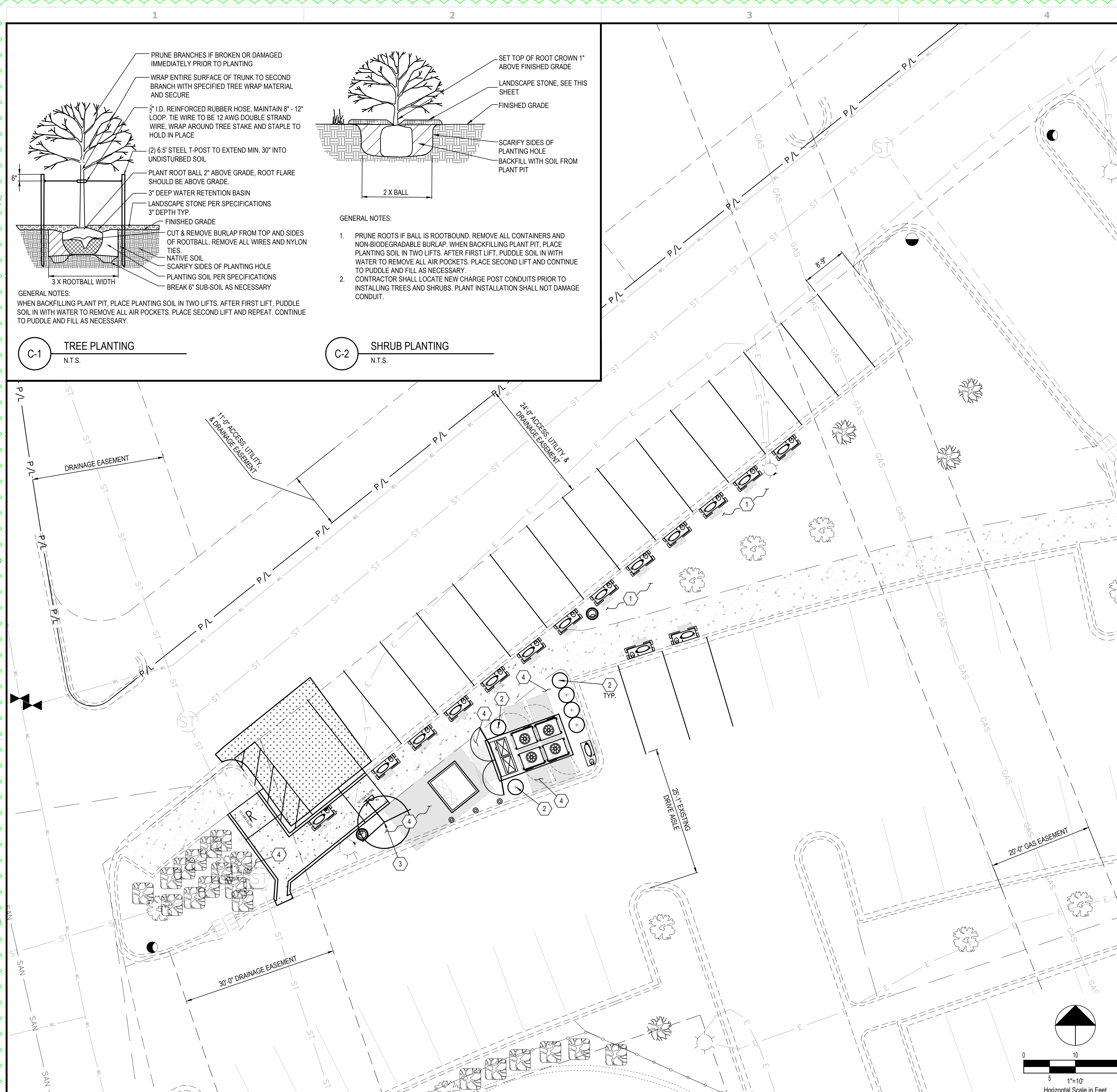
CIVIL DETAILS

PROJECT MANAGER	DESIGNER
IM	MAM

JOB NO.
2023241.49

17 OF 18
C-203

Drawing Name: 0120224149 - RT 2628 - Castle Rock, CO - Milestone Landscaping/20224149 - Castle Rock, CO - Site Development Planning
 January 17, 2024 7:32 AM - R/MS/epd



GENERAL SHEET NOTES

- EXISTING PROPERTY LINES, RIGHT-OF-WAY BOUNDARIES, EASEMENT BOUNDARIES, SETBACKS, AND UTILITIES ARE SHOWN FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE TOWARDS THE NEAREST EXISTING DRAINAGE STRUCTURE AND ENSURE NO PONDING OCCURS ON SITE.

PLAN KEYNOTES

- ALL DISTURBED AREAS NOT TO BE PAVED SHALL BE RETURNED TO MATCH EXISTING GROUND CONDITIONS UNLESS OTHERWISE NOTED. SEE LANDSCAPE NOTES THIS PAGE FOR SODDING SPECIFICATIONS.
- PROPOSED SHRUBS (TYPICAL OF 6) POTENTILLA 'KATHRYN DYKES' SHRUB SPECIES TO MATCH EXISTING ON-SITE. CONTRACTOR TO COORDINATE PLANT SPECIES WITH OWNER. MINIMUM PLANT SIZE TO BE 24" HEIGHT, NO. 5 CONTAINER.
- PROPOSED DECIDUOUS ORNAMENTAL TREE (TYPICAL OF 1) CRATAEGUS CRUS-GALLI 'INERMIS'. MINIMUM PLANT SIZE TO BE 1.5" TRUNK DBH, FULL CROWN, B&B CONDITION.
- PROPOSED LANDSCAPE STONE.

LANDSCAPE NOTES

GENERAL

- LANDSCAPE WORK SHALL BE ACCORDING TO THE WORKMANLIKE STANDARDS ESTABLISHED FOR LANDSCAPE CONSTRUCTION AND PLANNING IN THE STANDARDIZED LANDSCAPE SPECIFICATIONS (ASLA) AND ANY LOCAL LANDSCAPE ORDINANCE.
- PLANT GUARANTEE: CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF PROJECT ACCEPTANCE BY THE OWNER.
- ALL DISTURBED AND PROPOSED LANDSCAPE PLANTING BED AREAS SHALL MATCH EXISTING GROUND CONDITIONS IN TYPE AND DEPTH UNLESS OTHERWISE STATED ON PLANS.
- IF NECESSARY, CONTRACTOR SHALL PRUNE EXISTING TREES TO MAINTAIN NECESSARY CLEARANCES, EQUIPMENT MANUFACTURER CLEARANCES, AND UTILITY REQUIRED CLEARANCES. CONTRACTOR SHALL MAKE TREE SHAPELY AND TYPICAL OF SPECIES PER ANSI A300 AND HORTICULTURAL STANDARDS.

MATERIALS

- LANDSCAPE STONE - CONTRACTOR SHALL MATCH EXISTING LANDSCAPE STONE IN TYPE, SIZE, COLOR, AND DEPTH PER PLAN.
- WEED BARRIER - POLYETHYLENE FILTER FABRIC DESIGNED TO PERMIT WATER INFILTRATION WHILE PREVENTING WEED GROWTH-TO BE INSTALLED IN ALL PLANTING BEDS UNDER LANDSCAPE STONE.
- PLANTING SOIL MIX - SHALL BE CLEAR OF ALL STONES AND DEBRIS 1" OR LARGER, AND CONSIST OF THE FOLLOWING: 25% ORGANIC COMPOST, 75% ACCEPTABLE TOPSOIL.
- TREES AND SHRUBS - CONTRACTOR TO SELECT TREE AND SHRUB SPECIES FROM THE TOWN OF CASTLE ROCK RECOMMENDED PLANT SPECIES LIST. PLANT SPECIES SHOULD BE DESIGNATED HYDROZONE 1-3, AND SELECTED TO MATCH EXISTING PLANT MATERIAL ON SITE. PLANT SPECIES TO BE COORDINATED WITH THE OWNER PRIOR TO INSTALLATION.

SODDING

- SOD SHALL BE SELECTED PER HARDINESS ZONE AND MATCHED TO EXISTING SITE. SOD SHALL BE A FIRST GRADE CERTIFIED BLEND CONTAINING NO MORE THAN 30 PERCENT OF OTHER GRASSES AND CLOVERS, AND FREE FROM ALL NOXIOUS WEEDS.
- CONTRACTOR SHALL INSTALL APPROVED FESCUE BLEND, SELECTED TO MATCH EXISTING SOD ON SITE.
- CONTRACTOR SHALL INSTALL SOD PER INDUSTRY STANDARDS. ALL SODDED AREAS INCLUDING SUBGRADE, SHALL BE KEPT THOROUGHLY MOIST FOR 30 DAYS AFTER SODDING. THE CONTRACTOR SHALL REPAIR ANY AREAS DAMAGED FOLLOWING INSTALLATION AS DIRECTED BY THE ENGINEER. SOD SHALL BE IN PLACE AT LEAST 30 DAYS BEFORE FINAL ACCEPTANCE.

MAINTENANCE
 (MAINTENANCE PERIOD TO COMMENCE AFTER FINAL INSPECTION.)

- MAINTENANCE PERIOD FOR THIS CONTRACT SHALL BE 90 CALENDAR DAYS COMMENCING AFTER FINAL INSPECTION OF CONSTRUCTION.
- MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. PLANTS SHALL BE KEPT DISEASE FREE. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED.
- MAINTAIN LAWNS BY WATERING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING AND RESODDING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- REPLACE ANY REQUIRED PLANTING(S), WHICH ARE MORE 25% OR MORE DEAD AFTER THE DATE OF PLANTING. SUCH REPLACEMENT SHALL OCCUR DURING THE NEXT APPROPRIATE PLANTING SEASON.

IRRIGATION

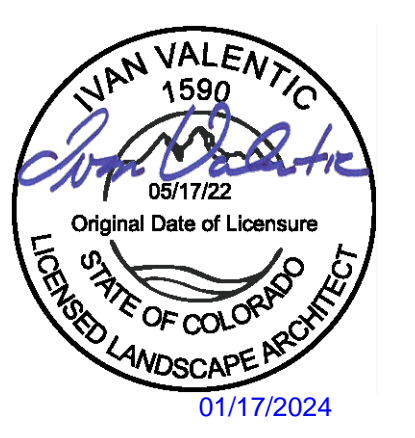
- IRRIGATION RELOCATION: CONTRACTOR SHALL VERIFY IF EXISTING IRRIGATION IS PRESENT, DETERMINE POINT OF CONNECTION, SYSTEM PRESSURE, FIXTURE TYPES, AND POTENTIAL FOR EXPANSION. IF FOUND THAT THE EXISTING IRRIGATION SYSTEM IS CAPABLE OF EXPANSION AND REUSE THEN IT SHALL BE MODIFIED TO PROVIDE 100% COVERAGE OF THE LANDSCAPE AREA. IF THE EXISTING IRRIGATION SYSTEM IS NOT CAPABLE OF EXPANSION, CONTRACTOR TO INSTALL A NEW CONTROLLER, BOOSTER PUMP, AND OTHER APPARATUSES NEEDED FOR A COMPLETE IRRIGATION SYSTEM. IRRIGATED AREAS SHALL BE IRRIGATED BY SIMILAR EXISTING FIXTURES BY THE SAME SUPPLIER. CONTRACTOR SHALL ENSURE PAVEMENT AND PROPOSED EQUIPMENT WILL NOT BE DAMAGED OR STAINED BY IMPROPER IRRIGATION INSTALLATION OR POOR SELECTION OF FIXTURES. SYSTEM SHALL INCLUDE ALL SPRINKLER FIXTURES, PIPING, VALVES, WIRING AND CONTROLS TO PROVIDE A COMPLETE FUNCTIONAL SYSTEM THAT SHALL COMPLY WITH CITY CODE. PRIOR TO UPDATING THE IRRIGATION SYSTEM, A CERTIFIED IRRIGATION DESIGNER SHALL PROVIDE SHOP DRAWINGS TO OWNER FOR APPROVAL. UPON APPROVAL OF SHOP DRAWINGS, THE UPDATED IRRIGATION SYSTEM SHALL BE APPROVED BY OWNER FOR FINAL ACCEPTANCE.

LEGEND

- PROPOSED EQUIPMENT CLEAR SPACE
- PROPOSED CONCRETE PAVEMENT, SEE C-111
- PROPOSED ASPHALT PAVEMENT SEE C-111
- PROPOSED TREE
- PROPOSED SHRUB
- EXISTING PLANT MATERIAL (TREES, SHRUBS)



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SITE DEVELOPMENT PLAN
 MILESTONE FILING NO. 4 5TH AMENDMENT, LOT3A
 4612 MILESTONE LN, CASTLE ROCK, CO 80104
ENLARGED LANDSCAPE PLAN

PROJECT MANAGER	DESIGNER
IM	JLC

JOB NO.
2023241.49

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L-101