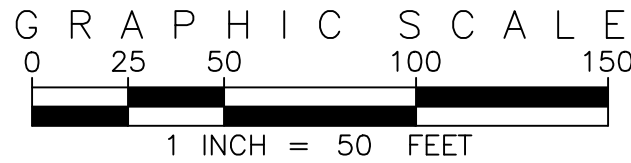
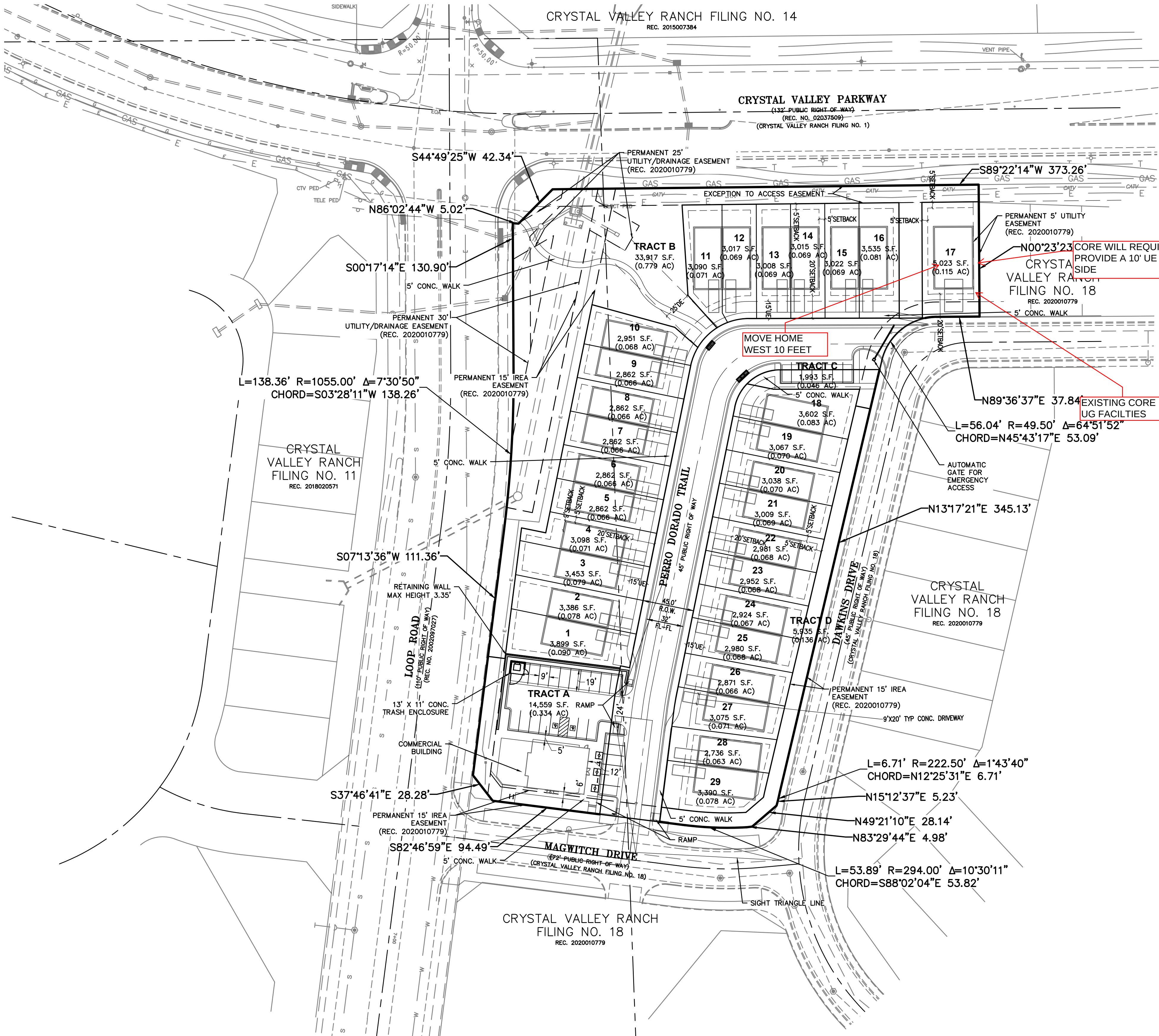
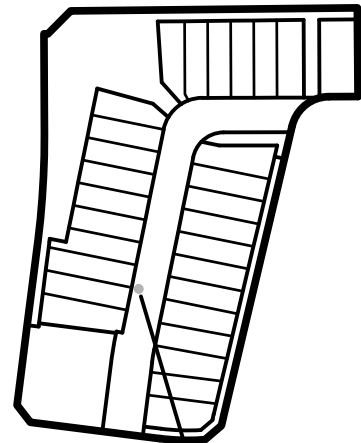


SITE DEVELOPMENT PLAN (SDP 22-0057)
CRYSTAL VALLEY RANCH
FILING NO. 18 - TRACT C

TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN



KEY MAP
SCALE 1"=250'



THIS SHEET

LEGEND

- SECTION/ALIQUOT LINE
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTER/RANGE LINE
- LOT/PARCEL LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CURB & GUTTER
- SIDEWALK
- SIGHT TRIANGLE
- BUILDING FOOTPRINT
- STOP SIGN
- RAMP
- PARKING SPACE LINE
- RETAINING WALL
- BIKE PARKING
- TREE GATE
- STORM INLET

NOTES

- ALL CONSTRUCTION TO BE COMPLETED IN ONE PHASE

OWNER:
Pinnacle View
Development, LLC

16810 Avenue of the Fountains,
Fountain Hills, AZ 85269

ENGINEER / SURVEYOR:
EMK Consultants, Inc.

7006 S. Alton Way, Bldg. F
Centennial, CO 80112
Office: 303-694-1520 x107



PLANNER / LANDSCAPE:
henry
design
group
Landscape Architecture • Planning • Entertainments
1101 W. 3rd Street Suite 1-C, Denver, Colorado 80202
303.446.2808 • henydesigngroup.com

ARCHITECT:
EVstudio
5335 W. 48th Ave. Suite 300
Denver, CO 80212
Office: 303-670-7242

IRRIGATION:
Aracet
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Lakewood, CO 80235
Office: 303-986-2175

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CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan

DRAWN BY: JDS
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ISSUE DATE: 11/7/2025
REVISIONS:
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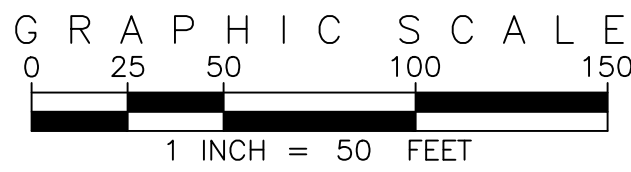
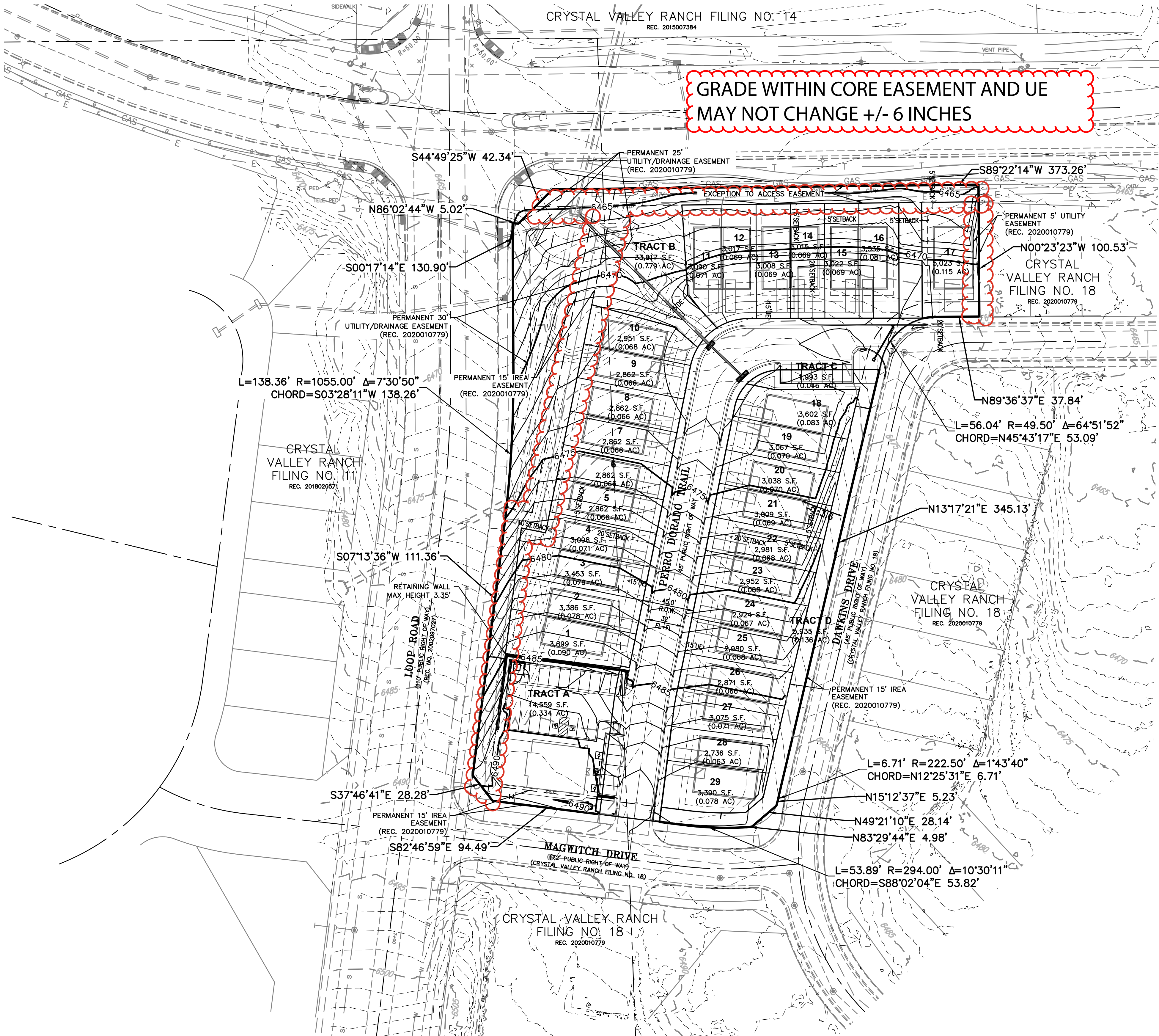
OVERALL SITE PLAN

SHEET TITLE
2 OF 20
SHEET NUMBER

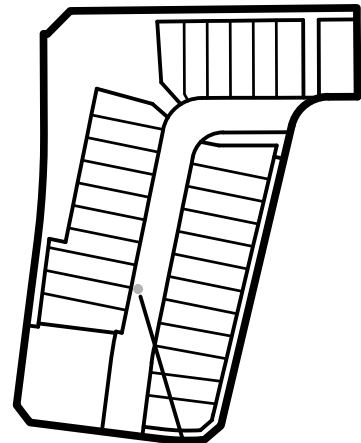
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PROJECT NO. SDP22-0057

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KEY MAP
SCALE 1"=250'



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- BIKE PARKING
- TREE GATE
- STORM INLET

GRADING LEGEND

- LOT TYPE
- FLOW ARROW
- LOT CORNER ELEVATION
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FLOW DIRECTION AND PERCENT SLOPE
- LOW POINT LOCATION & ELEVATION
- HIGH POINT LOCATION & ELEVATION
- TOP OF FOUNDATION ELEVATION
- FINISHED GRADE ELEVATION

NOTES

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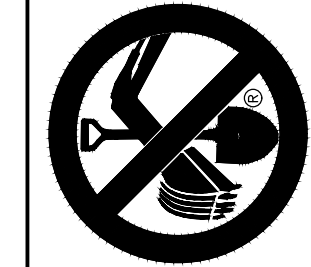


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Castle Rock, Colorado
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OVERALL GRADING
PLAN

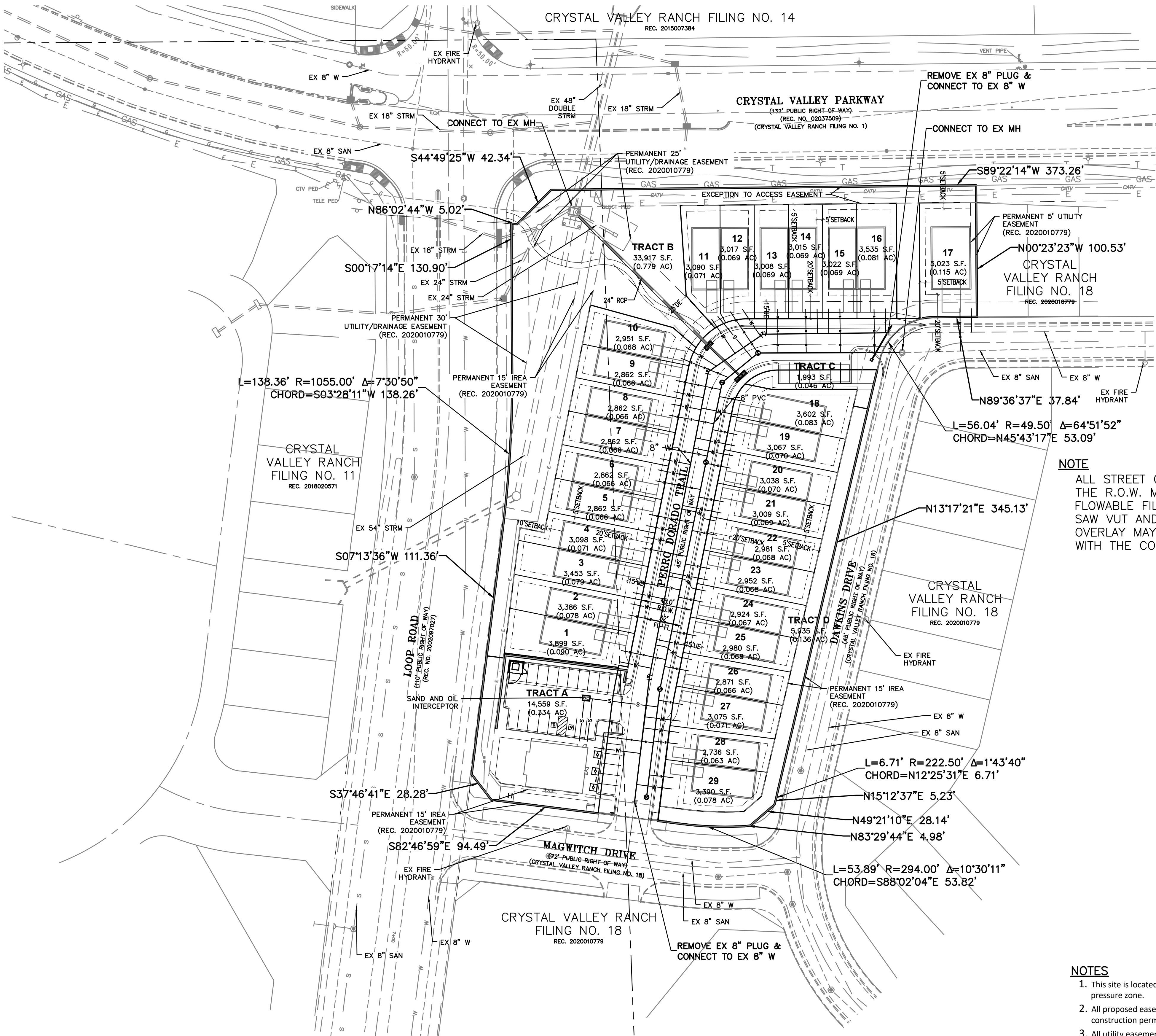
SHEET TITLE
3 OF 20

SHEET NUMBER

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057

SITE DEVELOPMENT PLAN (SDP 22-0057)
CRYSTAL VALLEY RANCH
FILING NO. 18 - TRACT C

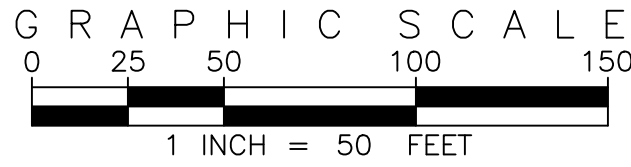
TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
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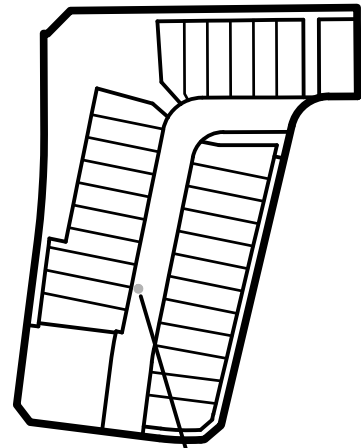
NOTE
ALL STREET CUTS FOR UTILITY WITHIN THE R.O.W. MUST BE BACKFILLED WITH FLOWABLE FILL. PERIMETER SHALL BE SAW VUT AND EDGE MILLED, A MILL AND OVERLAY MAY BE REQUIRED, COORDINATE WITH THE CONSTRUCTION INSPECTOR

NOTES

- This site is located within the Town of Castle Rock RED water pressure zone.
- All proposed easements must be recorded prior to issuance of construction permits.
- All utility easements for water and wastewater lines shall be for the exclusive use of the Town so that access and maintenance may be performed.
- The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
- The minimum separation between water service lines is 5 feet.
- Any tie-in, crossing or lowering of Town critical infrastructure will require a Time and Materials Permit (TMU) with fees required prior to construction.



KEY MAP
SCALE 1"=250'



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UTILITIES LEGEND

- PROPOSED STORM SEWER, INLET, MANHOLE, & FLARED END SECTION
- EXISTING STORM SEWER, INLET, MANHOLE, & FLARED END SECTION
- PROPOSED SANITARY SEWER & MANHOLE
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED WATER MAIN, FIRE HYDRANT, TEE, VALVE, & REDUCER
- EXISTING WATER MAIN, FIRE HYDRANT, VALVE, & REDUCER
- PROPOSED BEND W/THRUST BLOCK, CHECK VALVE, & PLUG W/ BLOWOFF
- EXISTING BEND W/THRUST BLOCK, CHECK VALVE, & PLUG W/ BLOWOFF
- 3/4" IRRIGATION TAP AND METER
- WATER SERVICE
- SANITARY SEWER SERVICE

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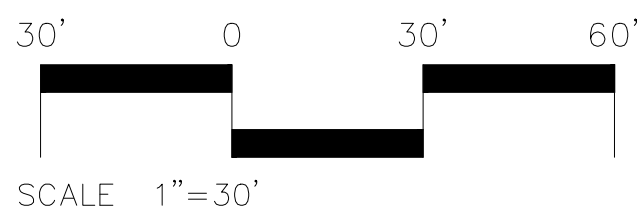
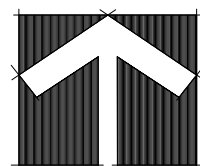
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OVERALL UTILITY
PLAN

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4 OF 20

SHEET NUMBER

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057

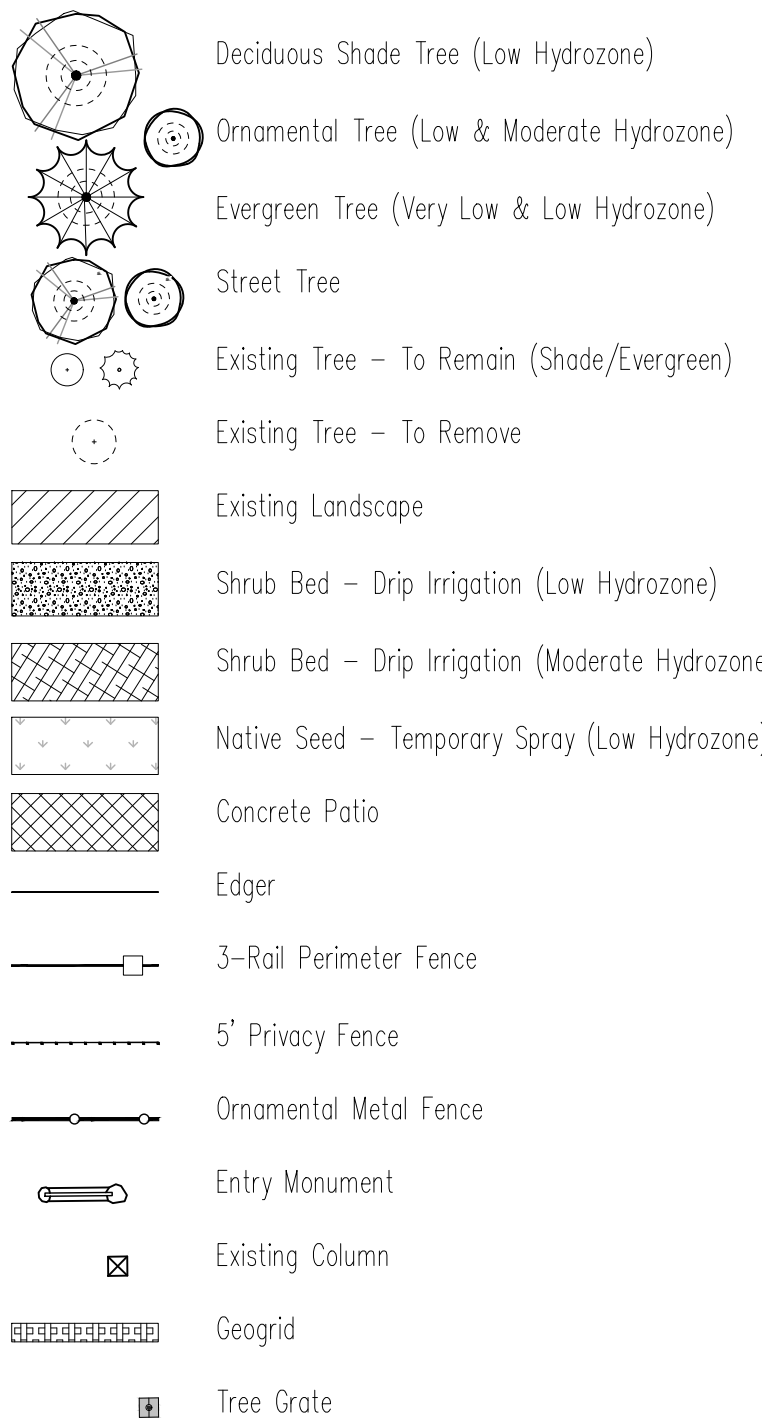


REVISE LANDSCAPING PLANS TO MEET
CORE CLEARANCE REQUIREMENTS

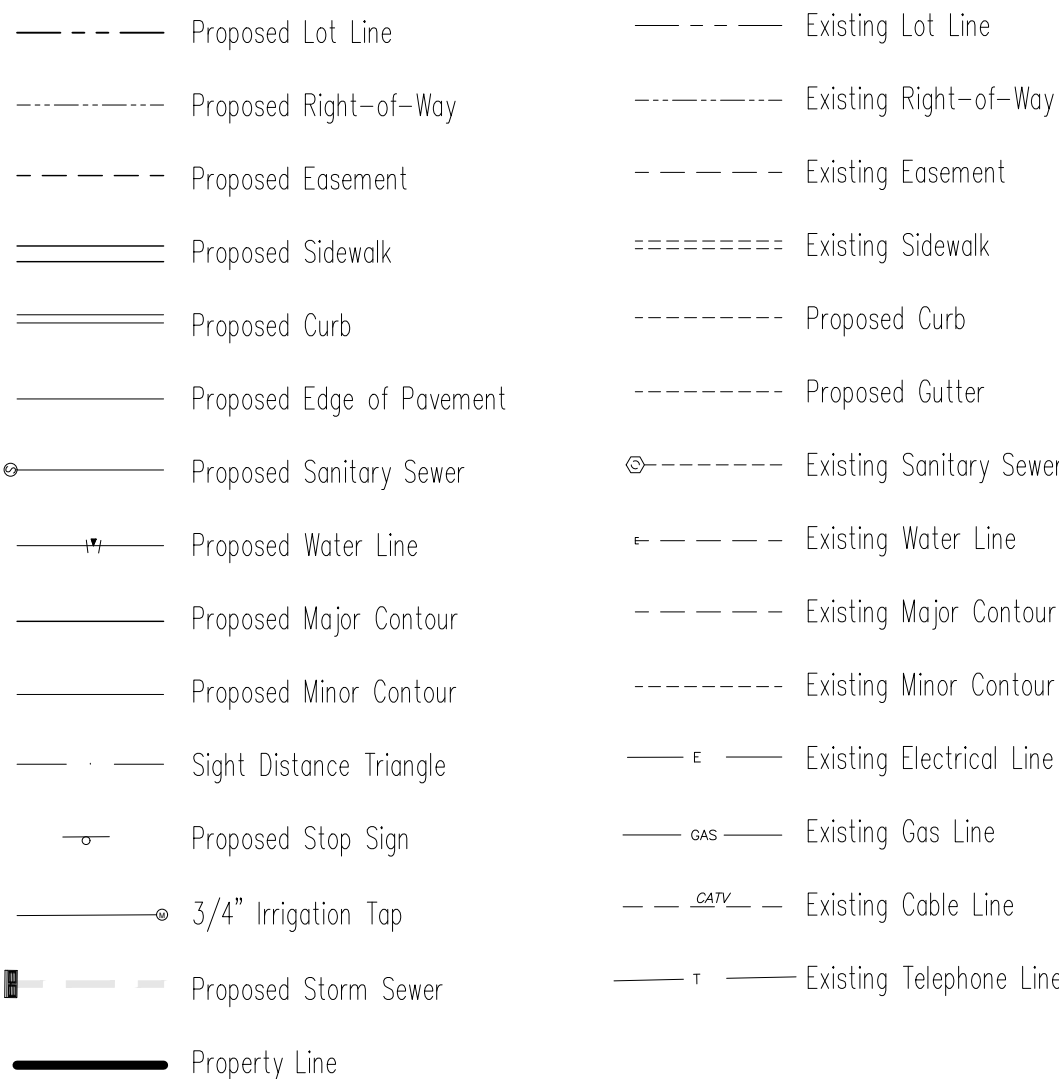
SITE DEVELOPMENT PLAN (SDP 22-0057) CRYSTAL VALLEY RANCH NO. 18 - TRACT C

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LANDSCAPE LEGEND



SITE PLAN LEGEND



LANDSCAPE NOTES:

1. LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
2. SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
3. DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
4. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS
5. FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
6. LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
7. ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
8. DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
9. IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
10. NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS, AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY INSTALLED, SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF TWO (2") INCHES FOR ROCK MULCH AND FOUR (4") INCHES FOR WOOD MULCH.
11. PLANTS AND VEGETATION UNDER THE TOWN OF CASTLE ROCK'S PLANT LIST SHALL BE IN LINE WITH THE ADOPTED CWPP AND FIRE RESISTIVE VEGETATION FOR THE REGION TO MEET THE ADOPTED FIRE CODES FOR THE TOWN OF CASTLE ROCK.
12. AN IRRIGATION PLAN IS REQUIRED WITH THE SUBMITTAL OF THE CONSTRUCTION DOCUMENTS.
- 12.1. COMMERCIAL LANDSCAPE SHALL BE IRRIGATED OFF OF THE COMMERCIAL TAP, UTILIZING A DUAL METER. COMMERCIAL LANDSCAPE AREA IS LESS THAN 5,000 SF.
13. DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. THE TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
14. NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENT.
15. DEAD PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIAL OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.

STREETSCAPE*

Street Name/Tract	Linear Feet (LF)**	Required Street Trees	Existing Street Trees (If applicable)	Proposed Street Trees	Provided Street Trees	Required Street Shrubs	Provided Street Shrubs	***Proposed Hydrozone
CRYSTAL VALLEY PARKWAY	395	10	5	6	11	40	40	2
LOOP ROAD	545	14	N/A	17	17	55	55	2
MAGWITCH DRIVE	221	6	6	0	6	22	22	2
DAWKINS DRIVE	470	12	13	1	14	47	47	2
PERRO DORADO TRAIL	914	23	N/A	23	25	91	91	2

*Streetscape requirements can be found in Section 9.2.1 of the Landscape and Irrigation Criteria Manual

**Streetscape does not count towards overall site landscape requirements

*Residential Only - On local streets, the required front yard tree shall meet the street tree requirements for that section of roadway.

**Please provide the linear footage and clearly show on the Site Development Plan for all streets/tracts.

*** Plant material within streetscape must be hydrozone 1 or 2 from the Town of Castle Rock Plant List

ParkingLot*

ParkingLot	Area (SF)	Landscape Area Required (10% of square footage)	Existing Landscape (If Applicable)	Landscape Area Provided	Required Trees** (2 large canopy deciduous shade trees / 1,000 sqft)	Provided Trees	Required Shrubs** (4 shrubs / 1,000 sqft)	Provided Shrubs
A	1,293	129	0	573	0.3	1	0.5	1
B	5,010	501	0	759	1.0	1	2.0	3
C	1,079	108	0	284	0.2	3	0.4	1

*Parking Lot landscaping can count towards overall site landscape requirements.

**Parking Lot landscaping outside of landscaped islands/peninsulas should be located within 3 feet of the parking lot perimeter.

***Evergreens are not permitted in landscaped islands/peninsulas.

****Parking Lot Peninsula/Islands criteria for lots over 40 spaces can be found in Section 7.2.1.2(2)(c) of the Landscape and Irrigation Criteria Manual.

Gross Site Area (Tract A)	Required Landscape (10% of the gross site area)	Existing Landscape (If Applicable)	Provided Landscape Area	Required Trees (2 trees / 1,000 sqft)	Provided Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs	Soil Prep Amounts (cu yds. Per 1000 SF)
14,558	1,456	3 Trees	3,851	3	6	6	6	4 cu yds. Per 1,000 SF
Turf Grass Square Footage (SF)*	Required Landscape Coverage Percentage (75% minimum)	Existing Landscape (If Applicable)	*Provided Landscape Coverage at Maturity (SF)	Required Nonliving Ornamental Percentage (25% maximum)	*Provided Nonliving Ornamental Area in Landscape (SF)	Required Large Canopy Deciduous Tree (50% minimum)	Provided Large Canopy Deciduous Shade Tree	** Separate Irrigation Service Connections
N/A	1,082	N/A	2,888	963	963	1	3	Yes <u>X</u> No <u> </u>

* Provided Landscape and Non-living Ornamental Coverage is calculated from the Provided Landscape Area.

** Refer to Landscape Notes 12.1

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Denver, CO 80212
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IRRIGATION:

Avocet IRRIGATION
DESIGN

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CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan

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CHECK BY: KH

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REVISIONS: 11/17/2025

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LICENSED LANDSCAPE
ARCHITECT SIGNATURE BLOCK



SHEET TITLE

LANDSCAPE
PLAN

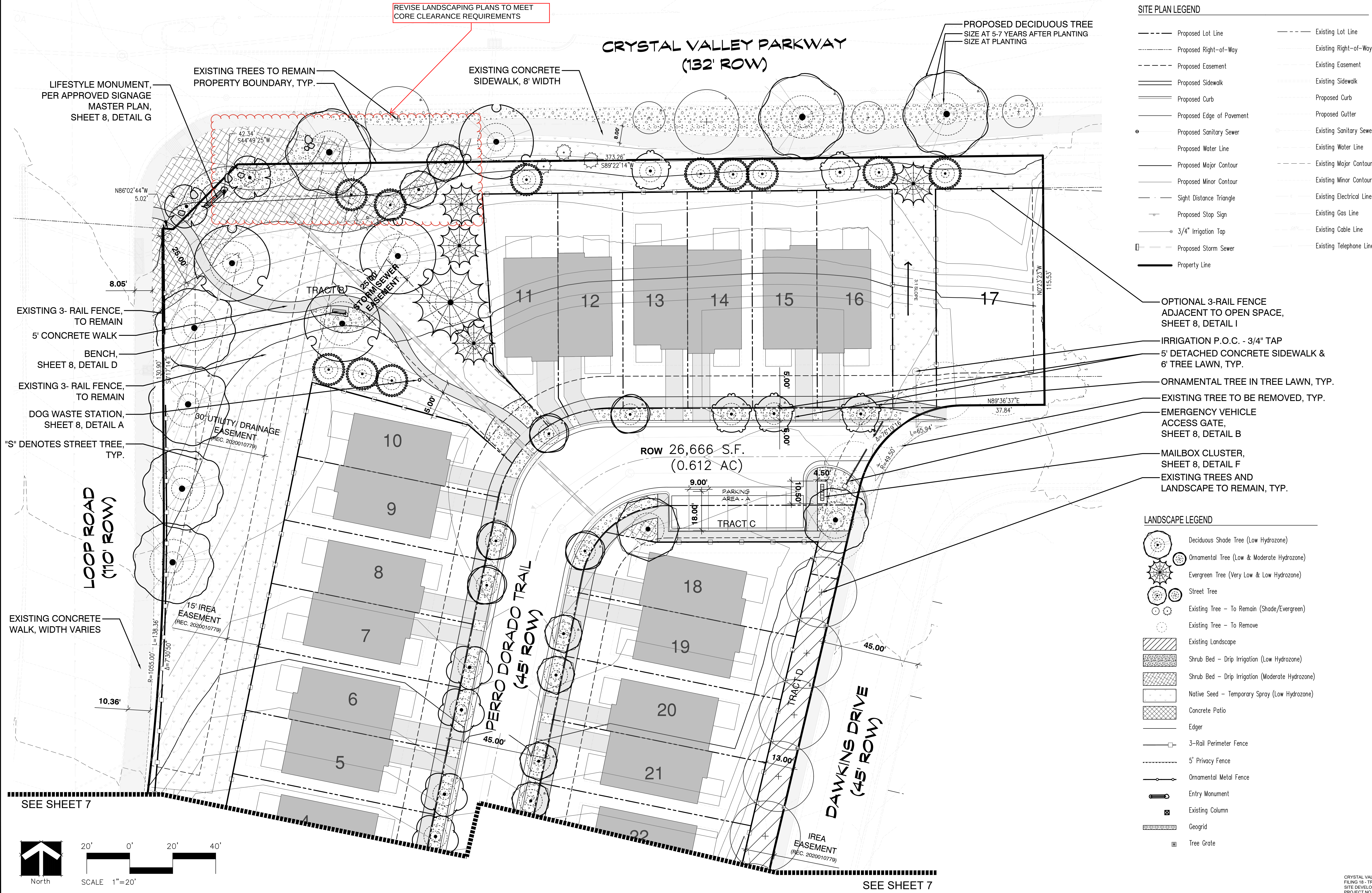
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5 OF 20

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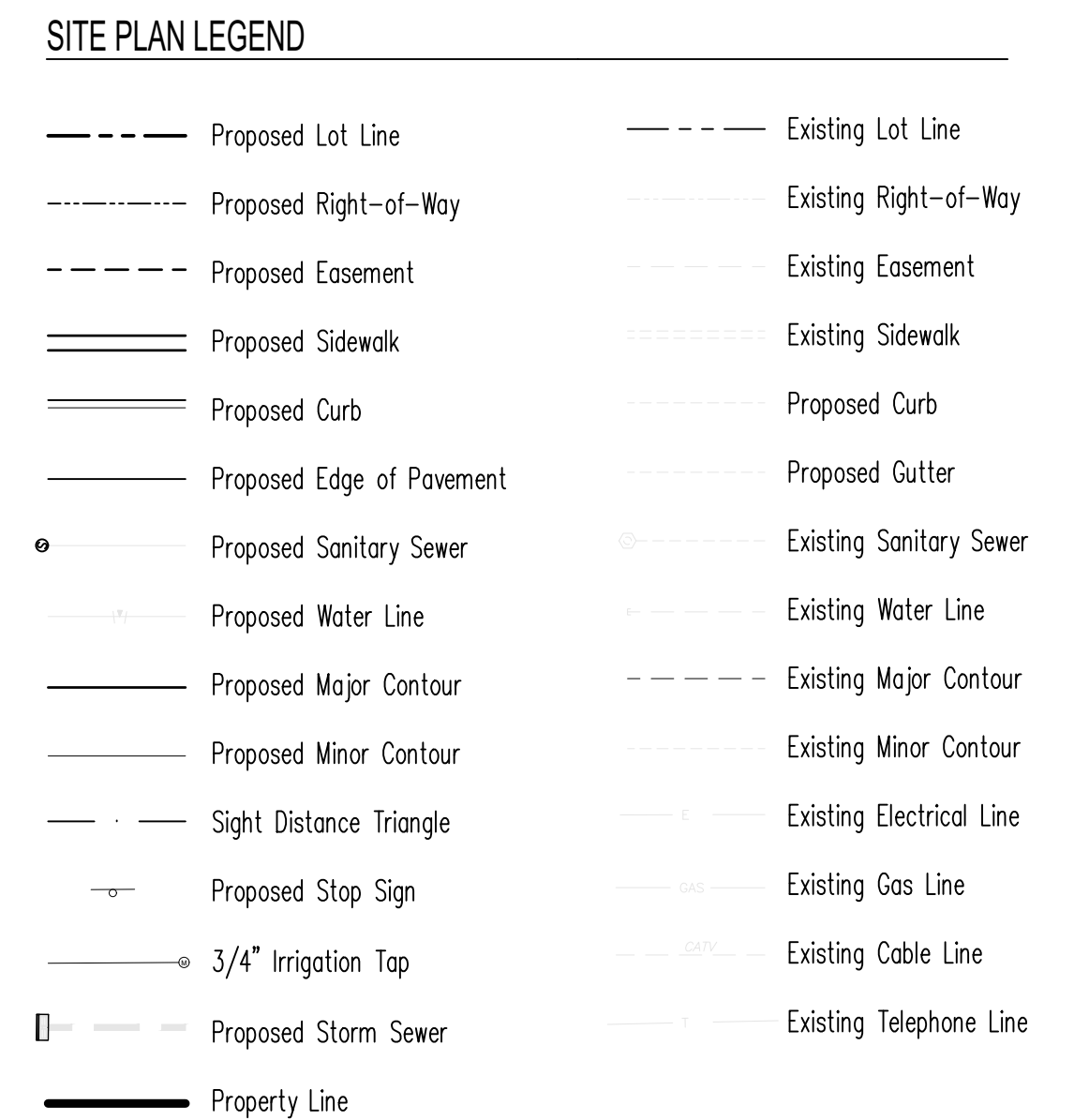
SHEET TITLE
LANDSCAPE
PLAN

SHEET NUMBER
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	Deciduous Shade Tree (Low Hydrozone)
	Ornamental Tree (Low & Moderate Hydrozone)
	Evergreen Tree (Very Low & Low Hydrozone)
	Street Tree
	Existing Tree - To Remain (Shade/Evergreen)
	Existing Tree - To Remove
	Existing Landscape
	Shrub Bed - Drip Irrigation (Low Hydrozone)
	Shrub Bed - Drip Irrigation (Moderate Hydrozone)
	Native Seed - Temporary Spray (Low Hydrozone)
	Concrete Patio
	Edger
	3-Rail Perimeter Fence
	5' Privacy Fence
	Ornamental Metal Fence
	Entry Monument
	Existing Column
	Geogrid
	Tree Grate

**CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan**

OF 20

Contact:

GAMBEL GROVE
COMMERCIAL BUILDING
CASTLE ROCK, CO

AD25003



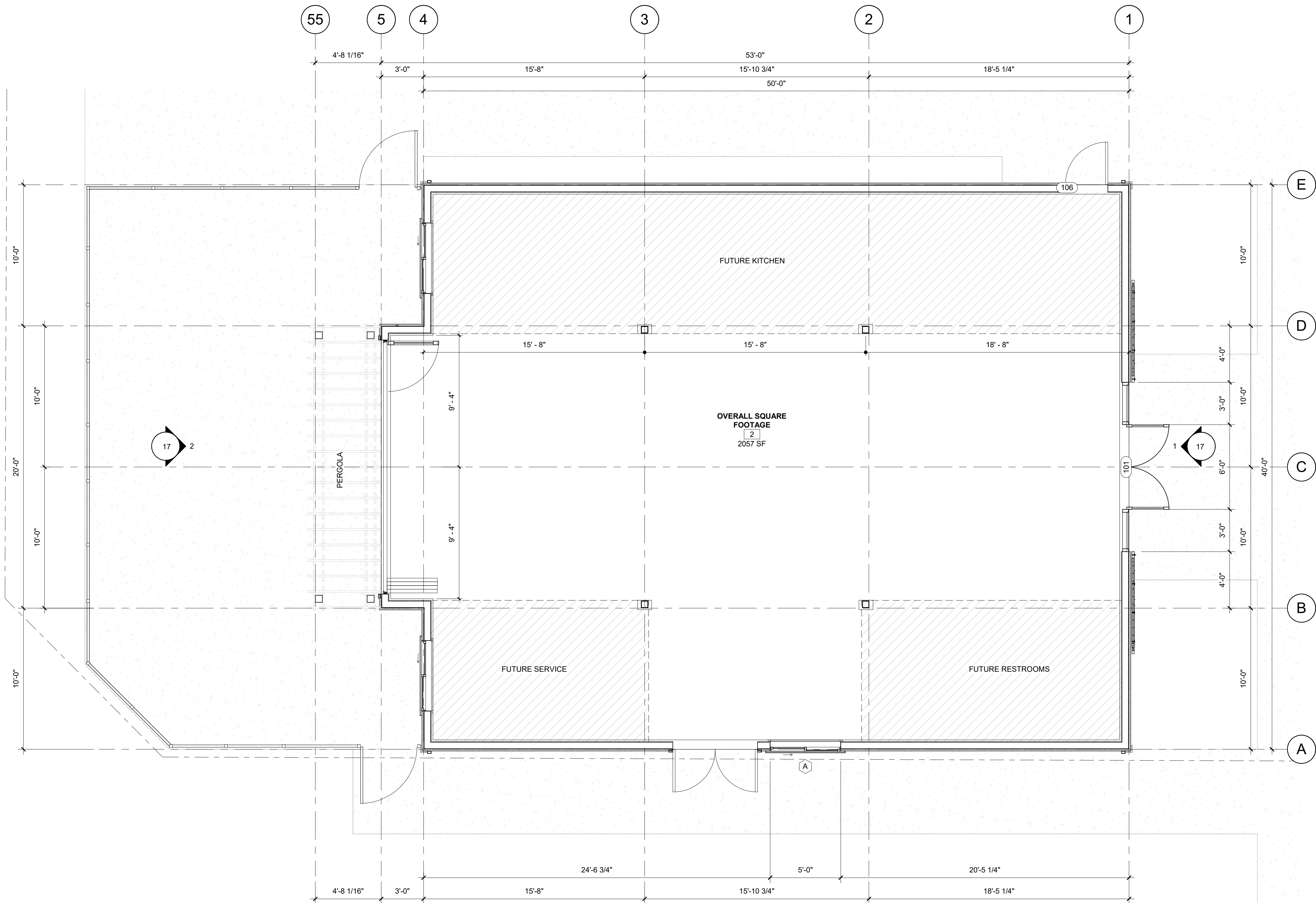
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DATE: 11/08/2025
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CHECKED BY: ---

FLOOR PLAN

PROVIDE EUSERC CABINET/METERING LOCATION



1 FLOOR PLAN
1/4" = 1'-0"

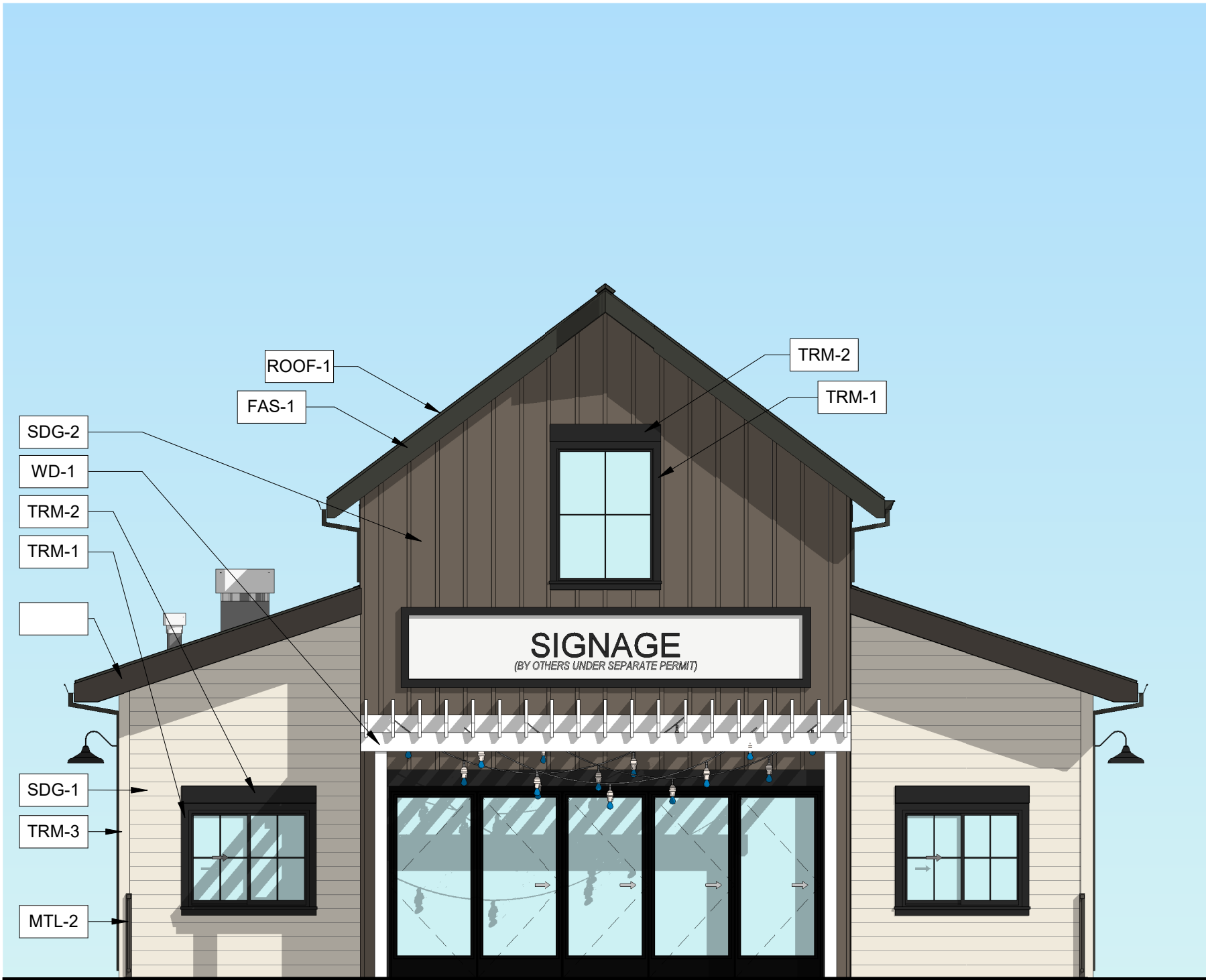


4 BUILDING ELEVATION - NORTH
3/16" = 1'-0"



3 BUILDING ELEVATION - SOUTH
3/16" = 1'-0"

PROVIDE EUSERC CABINET/METERING LOCATION



2 BUILDING ELEVATION - WEST
3/16" = 1'-0"



1 BUILDING ELEVATION - EAST
3/16" = 1'-0"

EXTERIOR MATERIALS LEGEND	
MARK	DESCRIPTION
SDG-1	HORIZONTAL LAP SIDING 7" EXPOSURE BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: SW 6385 "DOVER WHITE"
SDG-2	HORIZONTAL LAP SIDING 7" EXPOSURE BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: WOODTONE RUSTICSERIES, "RIVER ROCK"
SDG-3	BOARD & BATTEN SIDING @ 16" O.C. BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: WOODTONE RUSTICSERIES, "RIVER ROCK"
ROOF-1	STANDING SEAM METAL ROOF 12" PANEL BASIS OF DESIGN: PAC-CLAD SNAP-CLAD METAL ROOFING PANELS OR APPROVED EQUAL COLOR: "AGED BRONZE"
TRM-1	3-1/2" WIDE WINDOW TRIM COLOR: PAINT TO MATCH PAC-CLAD "AGED BRONZE"
TRM-2	8" WIDE WINDOW TRIM COLOR: PAINT TO MATCH PAC-CLAD "AGED BRONZE"
TRM-3	6" WIDE CORNER TRIM BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: SW 6385 "DOVER WHITE"
FAS-1	1x12 FASCIA COLOR: PAINT TO MATCH PAC-CLAD "AGED BRONZE"
MET-1	KYNAR-PAINTED METAL COLOR: TO MATCH PAC-CLAD "AGED BRONZE"
MET-2	SHOP-FINISHED POWDER-COAT COLOR: "BLACK"
WD-1	PAINTED WOOD COLOR: SW 7757 "HIGH REFLECTIVE WHITE"

NOTE: MATERIALS TAGGED IN ELEVATIONS ARE TYPICAL OF ALL SIMILAR LOCATIONS, UON

Contact:



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REVISION:

100% SCHEMATIC DESIGN
DATE: 11/08/2025
DRAWN BY: MJN
CHECKED BY: ---