

PURPOSE STATEMENT

THE PURPOSE OF THIS SITE DEVELOPMENT PLAN IS TO SUB-DIVIDE TRACT C OF CRYSTAL VALLEY RANCH NO. 18 TO DEVELOP SINGLE-FAMILY DWELLINGS WITH ASSOCIATED RIGHT-OF-WAYS AND RETAIL AND SERVICE COMMERCIAL SPACES.

LEGAL DESCRIPTION

TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT, IN THE TOWN OF CASTLE ROCK, COUNTRY OF DOUGLAS, STATE OF COLORADO, PER PLAT RECORDED MARCH 13, 2020 AT RECEPTION NO. 2020010779 IN THE OFFICE OF THE CLERK AND RECORDER OF SAID COUNTY, LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN IN SAID TOWN, COUNTY, AND STATE.

CONTAINING 174,503 SQUARE FEET OR 4.006 ACRES, MORE OR LESS

SITE DEVELOPMENT PLAN GENERAL NOTES

1. Approval of this Site Development Plan does not constitute approval of any deviations from Town of Castle Rock regulations and standards. All deviations from Town regulations and standards are subject to the appropriate procedures for approval. There may be subsequent amendments.

2. The zoning for the property is the villages at Castle Rock, 2nd Amendment - Liberty Village Portion, per the preliminary PD Site Plan recorded August 17, 2004 at Reception No. 2004085669

3. This property is located within Zone X as per FEMA FIRM Panel No. 08035C0304G Dated 3/16/2016. No Portions of the property are located within a designated 100-year floodplain .

4. The purpose and use of all tracts, to whom the tracts will be dedicated with the Plat and who will be responsible for maintenance is shown in a table on this Site Development Plan.

5. This development is impacted by the Town of Castle Rock Skyline/Ridgeline Protection Regulations. Skyline/Ridgeline areas must adhere to Chapter 17.48 of the Town of Castle Rock Municipal Code.

6. Retaining walls, sections of retaining walls greater than 4-feet in height as measured from the bottom of the footing to the top of the wall, and retaining walls, regardless of height, which retain a surcharge or tiered walls must be designed by a Structural Engineer licensed in the State of Colorado and require a building permit.

7. Retaining walls in common areas or that span multiple lots regardless of size/height must be located in a tract. The retaining walls must be maintained by the HOA or Metro District.

8. The Town of Castle Rock requires that maintenance access be provided to all storm drainage facilities to assure continuous operational capability of the system. The Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the maintenance of all drainage facilities including, but not limited to, inlets, pipes, culverts, channels, ditches, hydraulic structures, and detention basins located on this property, unless modified by the Subdivision Improvements Agreement. Should the Owner fail to adequately maintain said facilities, the Town shall have the right to enter said property for the purposes of operation and maintenance. All such maintenance costs will be assessed to the Property Owner, subsequent owners, heirs, successors and assigns. The maintenance costs shall include all actual costs for labor, equipment and materials and a 25% fee.

9. Pursuant to the Town of Castle Rock Landscape Regulations the Property Owner, subsequent owners, heirs, successors and assigns shall be responsible for the proper maintenance of the area subject to the approved Site Development Plan. Landscaping within public rights-of-way is to be maintained by the adjacent private property owner or the Homeowner/Property Owner Association, as applicable. Landscaping shall be continuously maintained including necessary watering, weeding, pruning, mowing, pest control, and replacement of dead or diseased plant material. Upon written notice by the Town, the Owner will have 45 days to cure or replace damaged or dead landscape material. In the case of diseased landscape material, a shorter compliance period may be specified in said notice. The Town of Castle Rock Water Conservation Ordinance regulates times of seasonal irrigation and prohibits the wasting of potable water through improper irrigation.

10. Final landscape area, coverage and plant quantities, shall meet or exceed quantities represented in this Site Development Plan. Any changes to the approved landscape plans shall require an SDP amendment.

11. The number of parking spaces are based on the proposed uses on this Site Development Plan. A change of use to a more parking intensive use as identified in Chapter 17.54 of the Castle Rock Municipal Code or applicable Planned Development Zoning will require an amendment to this Site Development Plan.

12. A sign permit for each sign must be obtained from the Town of Castle Rock Zoning Division prior to placing any sign on the property. All signs must comply with the provisions of Title 19 (Sign Code Regulations) of the Municipal Code or applicable Planned Development Zoning regulations.

13. Any street signs, striping, street lights and curb ramps are conceptual only and subject to Town review with the Construction Documents. These items shall comply with the Town of Castle Rock's regulations, standards and requirements.

14. The Developer shall conform to the Town of Castle Rock "Water Use Management Program Implementation Policy", as amended from time to time, for this project.

15. No solid object (excluding fire hydrants, traffic control devices and traffic signs) exceeding thirty (30) inches in height above the flow line elevations of the adjacent street, including but not limited to buildings, utility cabinets, walls, fences, landscape plantings, crops, cut slopes, and berms shall be placed within sight distance lines and sight distance easements.

16. All proposed Utility, Drainage, Emergency Access, Sight Distance and Public Access/Trail Easements as shown on the Site Development Plan are conceptual and shall be established with a plat or separate document.

17. Unless otherwise noted, all lots shall have a 15-foot Utility Easement along the front and rear lot lines and along all public rights-of-way and shall have 5-foot Utility Easements along each exterior side lot line. These Utility Easements are for the installation, maintenance and operation of utilities and drainage facilities including, but not limited to street lights, electric lines, gas lines, cable television lines, fiber optic lines and telephone lines, water meters, fire hydrants and curb boxes as well as perpetual right for ingress and egress for installation, maintenance and replacement of such lines. Any variation from this requires an approved Technical Criteria Variance.

18. All subdivisions shall include adequate easements to accommodate the construction, maintenance and repair of all public access, sidewalks, trails, water supply system, waste water systems, storm water management system and erosion control facilities, telecommunications and other utilities required to provide each utility to each occupied structure in the subdivision.

19. No structure shall be constructed over any portions of a recorded Town easement unless a revocable license is approved by the Town and the structure will not interfere with the intended use of the easement.

20. Any structures placed in the easement including but not limited to paving, fencing, retaining walls and landscaping shall be removed and replaced by the owner upon the request of the utilities department or private utility company so that maintenance may be performed. The owner of the land shall agree to hold the Town and/or private utility company harmless for any loss of property or landscaping and irrigation removed from the easement or damaged due to maintenance activities and all associated costs.

FIRE NOTES

1. If fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to vertical construction.

2. Fire hydrant(s) are required to be installed and made serviceable prior to and during the time of construction.

3. It is the responsibility of the property owner to maintain drive lanes for emergency vehicle ingress and egress, including snow removal.

4. All emergency access roads, emergency access gates and signage shall comply with the Town of Castle Rock Fire Department requirements and shall be maintained by Metropolitan District, Homeowners Association, or other property management entity.

5. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building constructed or moved into, or within the jurisdiction. The fire apparatus access road shall extend to within 150 feet of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.

6. Dead-end fire access roads in excess of 150 feet shall provide an approved area for turning around fire apparatus.

7. Fire apparatus access roads shall have an **unobstructed width of not less than 20 feet**, exclusive of shoulders, except for approved security gates and an **unobstructed vertical clearance of not less than 13 feet, 6 inches**.

8. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus weighing at least 88,000 pounds, and shall be surfaced so as to provide all- weather driving capabilities. The term "all-weather driving capabilities" has been interpreted to mean either concrete or asphalt, or other approved driving surface designed by an engineer and approved by the Fire Department.

9. "No Parking Fire Lane" signs are required in areas that meet the following criteria and in areas designated by the Castle Rock Fire Department. Signs shall be posted on both sides of fire access roadways, public or private roadways and driveways less than 26 feet wide. Signs shall be posted on one side only of fire access roadways, public or private roadways or driveways between 26 feet wide and 32 feet wide. No signage is required for fire access roadways, public or private roadways or driveways greater than or equal to 32 feet wide.

10. "Fire Lane No Parking" Curb Marking. All designated lanes SHALL be accompanied with curb markings in a weather resistant red paint. Reflective paint may be used for higher visibility. Curbing shall be labeled, "NO PARKING -FIRE LANE" in all upper case letters. Lettering shall be no less than three (3") inches high with white lettering on a red back ground and placed on the face and top of the curb. Lettering shall be located no more than fifty (50') apart and within five feet of the beginning and end of any fire lane.

11. The developer understands that as the project develops there may be fire and life safety provisions of the **Town of Castle Rock adopted International Fire Code (IFC) or Community Wildfire Protection Plan (CWPP)** that may arise, and were not clearly visible during the initial reviews, but may require corrective action. These items may include, but are not limited to: Fire flow requirements, fire hydrant placement, access, etc.

CERTIFICATE OF DEDICATION AND OWNERSHIP

THE UNDERSIGNED, BEING ALL OF THE OWNERS, MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN, HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS, AS SHOWN ON THIS PLAT UNDER THE NAME AND STYLE OF _____, THE UNDERSIGNED HEREBY DEDICATE TO THE TOWN OF CASTLE ROCK FOR PURPOSES OF OWNERSHIP AND MAINTENANCE ALL PUBLIC STREETS AS PLATTED, AND FOR PURPOSES OF OWNERSHIP ALL UTILITY EASEMENTS AS DESCRIBED AND SHOWN HEREON AND TRACTS _____ FOR THE PURPOSE OF _____. TRACTS _____ WILL BE DEDICATED TO _____ BY SEPARATE INSTRUMENT FOR THE PURPOSE OF _____.

THE UNDERSIGNED HEREBY FURTHER DEDICATE TO THE PUBLIC UTILITIES AND CABLEVISION THE RIGHT TO INSTALL, MAINTAIN AND OPERATE MAINS, TRANSMISSION LINES, SERVICE LINES, STREET LIGHTS, CABLE TELEVISION LINES AND APPURTENANCES TO PROVIDE SUCH UTILITY, COMMUNICATION AND CABLE TELEVISION SERVICES WITHIN THIS SUBDIVISION, OR PROPERTY CONTIGUOUS THERETO, UNDER, ALONG AND ACROSS PUBLIC ROADS AS SHOWN ON THIS PLAT AND ALSO UNDER, ALONG AND ACROSS THESE UTILITY EASEMENTS AS DESCRIBED AND IDENTIFIED FOR SPECIFIC USES HEREON.

PINNACLE VIEW DEVELOPMENT, LLC.

SIGNED THIS __DAY OF _____, 20__

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____,

20__ BY _____ AS _____ OF _____, WITNESS MY HAND AND OFFICIAL _____.

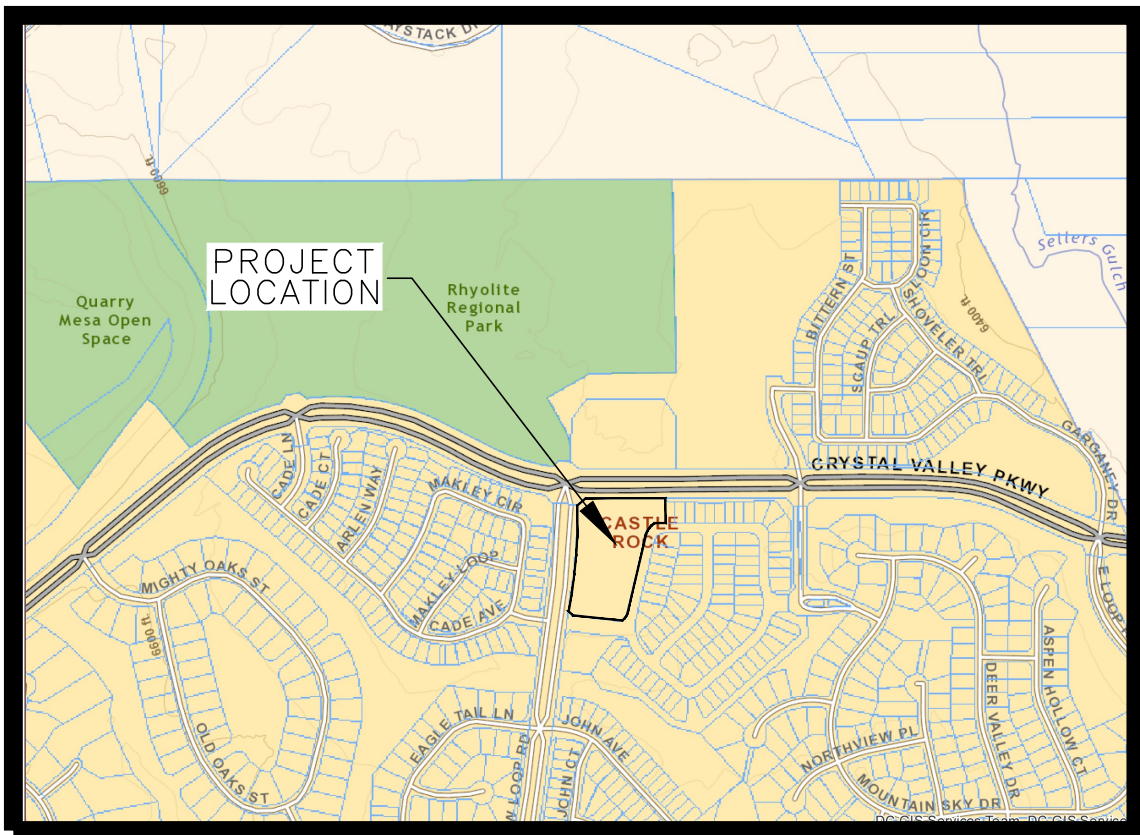
SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

SITE DEVELOPMENT PLAN (SDP 22-0057) CRYSTAL VALLEY RANCH FILING NO. 18 - TRACT C

TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN



VICINITY MAP SCALE: 1"= 1500'

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

_____, PINACLE VIEW DEVELOPMENT, LLC.

SIGNED THIS __DAY OF _____, 20__

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20__ BY _____,

_____, AS _____ OF _____, WITNESS MY HAND AND OFFICIAL _____.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

TOWN OF CASTLE ROCK OWNERSHIP BLOCK

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON.

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION

BY _____, MAYOR

ATTEST:

_____, TOWN CLERK

SIGNED THIS __DAY OF _____, 20__

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20__ BY _____,

_____, AS MAYOR AND BY _____,

_____, AS TOWN CLERK. WITNESS MY HAND AND OFFICIAL SEAL.

OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE _____ AGREEMENT, RECORDED ON THE _____ DAY OF _____, 20__ AT RECEPTION NO. _____ AND ACCORDINGLY, _____SFE ARE DEBITED FROM THE WATER BANK.

SURVEYOR'S CERTIFICATE

I, _____, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS SITE DEVELOPMENT PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS SITE DEVELOPMENT PLAN ACCURATELY REPRESENTS THAT SURVEY.

SAMUEL L. GALLUCCI III PLS # 38584

FOR AND ON BEHALF OF EMK CONSULTANTS, INC.

CIVIL ENGINEER'S STATEMENT

I, _____, BEING A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS SITE DEVELOPMENT PLAN HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

GARY A. WALTER P.E. #42246

LICENSED PROFESSIONAL ENGINEER

DATE

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF _____,

A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

_____, AUTHORIZED REPRESENTATIVE

_____, TITLE COMPANY

SIGNED THIS __DAY OF _____, 20__

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____, 20__ BY _____,

_____, AS AUTHORIZED REPRESENTATIVE

_____, OF _____,

_____, WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____.

PLANNING COMMISSION RECOMMENDATION

THIS SITE DEVELOPMENT PLAN WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE __DAY OF __, 20__.

_____, CHAIR _____, DATE _____

ATTEST:

_____, DIRECTOR OF DEVELOPMENT SERVICES _____, DATE _____

TOWN COUNCIL APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, ON THE _____ DAY OF _____, 20__.

_____, MAYOR _____, DATE _____

ATTEST:

_____, TOWN CLERK _____, DATE _____

STATEMENT OF TOWN APPROVAL AND ACCEPTANCE

ON BEHALF OF THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, I HEREBY CERTIFY THAT THIS SITE DEVELOPMENT PLAN WAS APPROVED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND THAT THE DEDICATIONS ON THIS PLAT ARE HEREBY ACCEPTED BY THE TOWN OF CASTLE ROCK.

_____, TOWN MANAGER

ATTEST:

_____, TOWN CLERK

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS SITE DEVELOPMENT PLAN WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20__.

_____, DIRECTOR OF DEVELOPMENT SERVICES

PROJECT BENCHMARK

PROJECT BENCHMARK: FOUND 3 1/2" ALUMINUM CAP, DOUGLAS COUNTY GIS 025011. THE CAP IS APPROXIMATELY LOCATED AT THE NORTHWEST CORNER OF A TYPE 'R' INLET ALONG EMERALD DRIVE, APPROXIMATELY 1/4 MILE SOUTH OF PLUM CREEK PARKWAY. NAVD 88, ELEVATION = 6374.18 FEET (1942.85 METERS)

BASIS OF BEARINGS

20. BENCHMARKS (NAVD 88): BM "A" (TBM 980): CHISELED "X" ON TOP OF INLET; EAST SIDE OF LOOP ROAD @ CL STATION 37+75 (APPROX.) EL= 6569.94 FEET (NAVD 88). BM "B" (TBM 951): CHISELED "X" ON TOP OF CURB; EAST SIDE OF LOOP ROAD @ CL STATION 91+12 (APPROX.) EL = 6533.10 FEET (NAVD 88). *THE ABOVE BENCHMARKS WERE SET OFF DOUGLAS COUNTY GIS POINT 3.04010 ON NAVD88

21. BASIS OF BEARINGS: THE SOUTH LINE OF THE SOUTHEAST QUARTER OF SECTION 23, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPLE MERIDIAN, THE EAST TERMINUS BEING THE SOUTHEAST CORNER OF SAID SECTION 23 AND MONUMENTED BY A FOUND 3 1/4"ALUMINUM CAP STAMPED "ARCHER AND ASSOC LS 6935". THE WEST TERMINUS BEING THE SOUTH QUARTER CORNER OF SAID SECTION 23 AND MONUMENTED "BY A FOUND 2 1/2" ALUMINUM CAP STAMPED ARCHER AND ASSOC LS 6935". THE BEARING BEING S89°47'24" W PER ALTAACSM LAND TITLE SURVEY DEPOSITED WITH THE OFFICE OF THE RECORDER, COUNTY OF DOUGLAS AT RECEPTION NUMBER SLR-2682, WITH ALL OTHER BEARINGS CONTAINED HEREIN RELATIVE THERETO.

TRACT SUMMARY TABLE

	AREA (SQ. FT.)	ACREAGE (ACRE)	USE	OWNER	MAINTENANCE
TRACT A	14,559	0.334	COMMERCIAL	RETAINED BY OWNER	OWNER
TRACT B	33,917	0.779	PUBLIC ACCESS, UTILITY, DRAINAGE	HOA/METRO DISTRICT	HOA/METRO DISTRICT
TRACT C	1,993	0.046	LANDSCAPE, UTILITY	HOA/METRO DISTRICT	HOA/METRO DISTRICT
TRACT D	5,935	0.136	LANDSCAPE, UTILITY	HOA/METRO DISTRICT	HOA/METRO DISTRICT

Zoning Comparison and Development Standards

Zoning Use Area	Crystal Valley Ranch PD, 6th Amendment Filing 18, Tract C	
	PD Zoning Allowance/Required	Proposed
Uses	Commercial, single family dwellings	Commercial, single family dwellings
Maximum Dwelling Units per Gross Ac.	12.0	7.24
Residential Lot Standards		
Min. front yard setback to garage	Setback to be established at Final PD Site Plan / Final Plat	20-feet
Min. front yard setback to porch	Setback to be established at Final PD Site Plan / Final Plat	15-feet
Min. driveway depth (back of walk to garage face)	Setback to be established at Final PD Site Plan / Final Plat	20-feet
Min. side yard setback	Setback to be established at Final PD Site Plan / Final Plat	5-feet
Min. side to street setback	Setback to be established at Final PD Site Plan / Final Plat	10-feet
Min. rear setback to covered patio	Setback to be established at Final PD Site Plan / Final Plat	5-feet
Min. rear lot setback to Loop Rd. ROW	Setback to be established at Final PD Site Plan / Final Plat	15-feet
Min. rear lot setback to Crystal Valley Pkwy. ROW	Setback to be established at Final PD Site Plan / Final Plat	15-feet
Max. Building Height	35 - feet	35 - feet
Min. Parking Spaces - SFD & SFA	58 per ToCR Standards	60
Commercial Standards		
Min. setback Loop Rd. ROW	Setback to be established at Final PD Site Plan / Final Plat	45-feet
Min. setback Magwitch Dr. ROW	Setback to be established at Final PD Site Plan / Final Plat	15-feet
Min. setback Perro Dorado Trl. ROW	Setback to be established at Final PD Site Plan / Final Plat	16-feet
Max. Floor Area Ratio	0.4	0.2
Min. Parking Spaces - Commercial	30 per ToCR Standards	30
Standard parking spaces [dimensions]	ToCR Standards	9-feet x 18-feet
Handicap parking spaces [dimensions]	ToCR Standards	8-feet x 18-feet +4-feet access aisle (each half)
Site Utilization (Show SF/Acreage and %)		
	SF/Acreage	% of Total
Total Lot Area (Residential and Commercial)	106,002 SF / 2.43 Ac.	61%
Attached Single Family Lots and Detached Single Family Lot Area	91,433 SF / 2.09 Ac.	52%
Building(s)	34,982 SF / 0.80 Ac.	20%
Internal Drives and Parking Lots (Tract A and C)	7,504 SF / 0.17 Ac.	4%
Sidewalks, Trash Enclosures, Comm. Patio	9,359 SF / 0.21 Ac.	5%
Common Public Access Drives	18,329 SF / 0.42 Ac.	10%
ROW Coverage	26,666 SF / 0.61 Ac.	15%
Landscape/Open Space Coverage	52,529 SF / 1.20 Ac.	30%

SHEET INDEX

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- OVERALL UTILITY PLAN
- OVERALL LANDSCAPE PLANS
- LANDSCAPE PLAN
- LANDSCAPE DETAILS
- EXTERIOR ELEVATIONS
- STREET ELEVATIONS LOTS 1-10
- STREET ELEVATIONS LOTS 11-16
- STREET ELEVATIONS LOTS 17-28
- COLOR SCHEMES
- FLOOR PLAN
- ROOF PLAN
- ELEVATIONS
- DUMPSTER ENCLOSURE
- 19-20 PHOTOMETRICS

OWNER/APPLICANT:

Pinnacle View Development, LLC
16810 Avenue of the Fountains
Fountain Hills AZ, 85269
602-361-3607

ENGINEER/SURVEYOR:

EMK Consultants, Inc.
7006 S. Alton Way Bldg. F
Centennial, CO 80112
303-694-1520

PLANNER/LANDSCAPE:

The Henry Design Group
1501 Wazee St. Ste 1-C
Denver, CO 80202
303-446-2368

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057

OWNER:

Pinnacle View
Development, LLC

16810 Avenue of the Fountains,
Fountain Hills, AZ 85269

ENGINEER / SURVEYOR:

EMK Consultants, Inc.

7006 S. Alton Way, Bldg. F
Centennial, CO 80112
Office: 303-694-1520 x107



PLANNER / LANDSCAPE:

henry
design
group
Landscape Architecture • Planning • Entertainments
1501 Wazee Street Suite 1-C, Denver, Colorado 80202
303.446.2368 • henrydesigngroup.com

ARCHITECT:

EVstudio
5335 W. 48th Ave. Suite 300
Denver, CO 80212
Office: 303-670-7242

IRRIGATION:

Arocel IRRIGATION
DESIGN
7714 W. Jefferson Ave.
Lakewood, CO 80235
Office: 303-986-2175

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO



CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan

DRAWN BY: JDS

CHECK BY: GAW

ISSUE DATE: 11/7/2025

REVISIONS:

STAMPED:

REVISED:

COVER SHEET

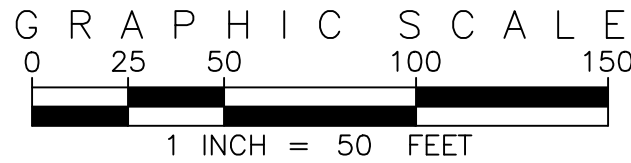
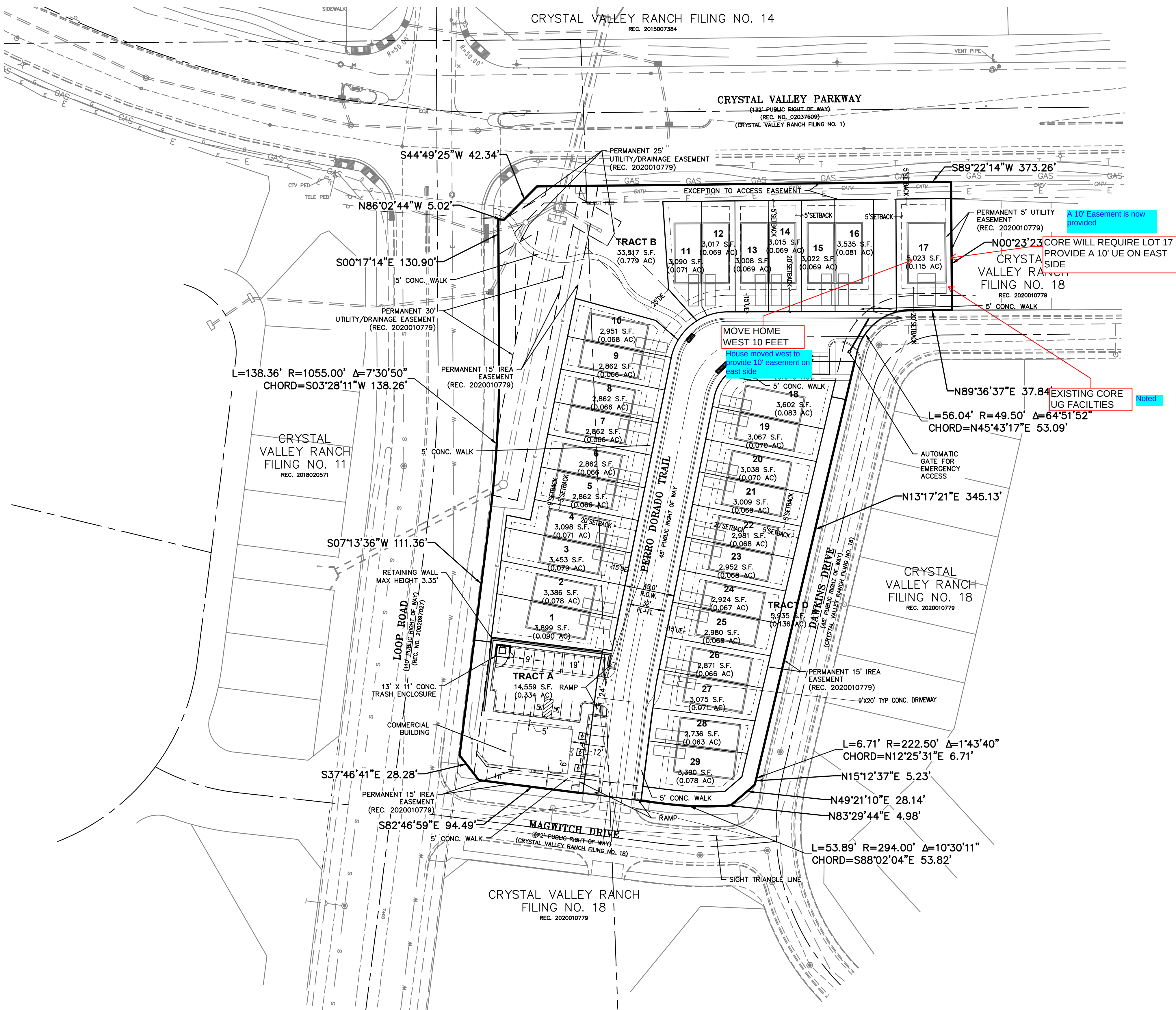
SHEET TITLE

1 OF 20

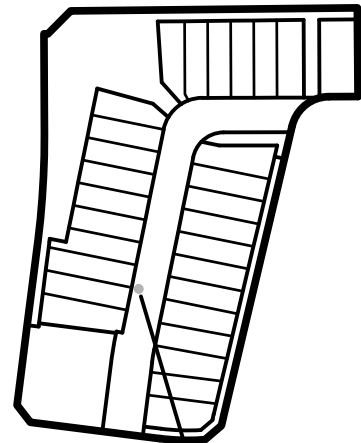
SHEET NUMBER

SITE DEVELOPMENT PLAN (SDP 22-0057)
CRYSTAL VALLEY RANCH
FILING NO. 18 - TRACT C

TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN



KEY MAP
SCALE 1"=250'



THIS SHEET

LEGEND

- SECTION/ALIQUOT LINE
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTER/RANGE LINE
- LOT/PARCEL LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CURB & GUTTER
- SIDEWALK
- SIGHT TRIANGLE
- BUILDING FOOTPRINT
- STOP SIGN
- RAMP
- PARKING SPACE LINE
- RETAINING WALL
- BIKE PARKING
- TREE GATE
- STORM INLET

NOTES

- ALL CONSTRUCTION TO BE COMPLETED IN ONE PHASE

OWNER:
Pinnacle View
Development, LLC
16810 Avenue of the Fountains,
Fountain Hills, AZ 85269
ENGINEER / SURVEYOR:
EMK Consultants, Inc.
7006 S. Alton Way, Bldg. F
Centennial, CO 80112
Office: 303-694-1520 x107



PLANNER / LANDSCAPE:
henry
design
group
Landscape Architecture • Planning • Entertainments
1101 W. 3rd Street Suite 1-C, Denver, Colorado 80202
303.446.2808 • henydesigngroup.com

ARCHITECT:
EVstudio
5335 W. 48th Ave. Suite 300
Denver, CO 80212
Office: 303-670-7242

IRRIGATION:
Aracet
7714 W. Jefferson Ave.
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METRO DENVER AREA
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CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan

DRAWN BY: JDS
CHECK BY: GAW
ISSUE DATE: 11/7/2025
REVISIONS:
STAMPED:
REVISED:

OVERALL SITE PLAN

SHEET TITLE
2 OF 20
SHEET NUMBER

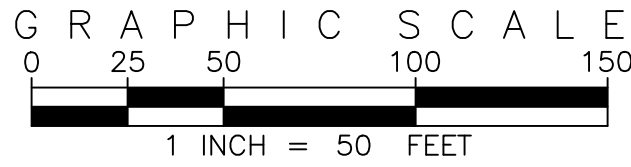
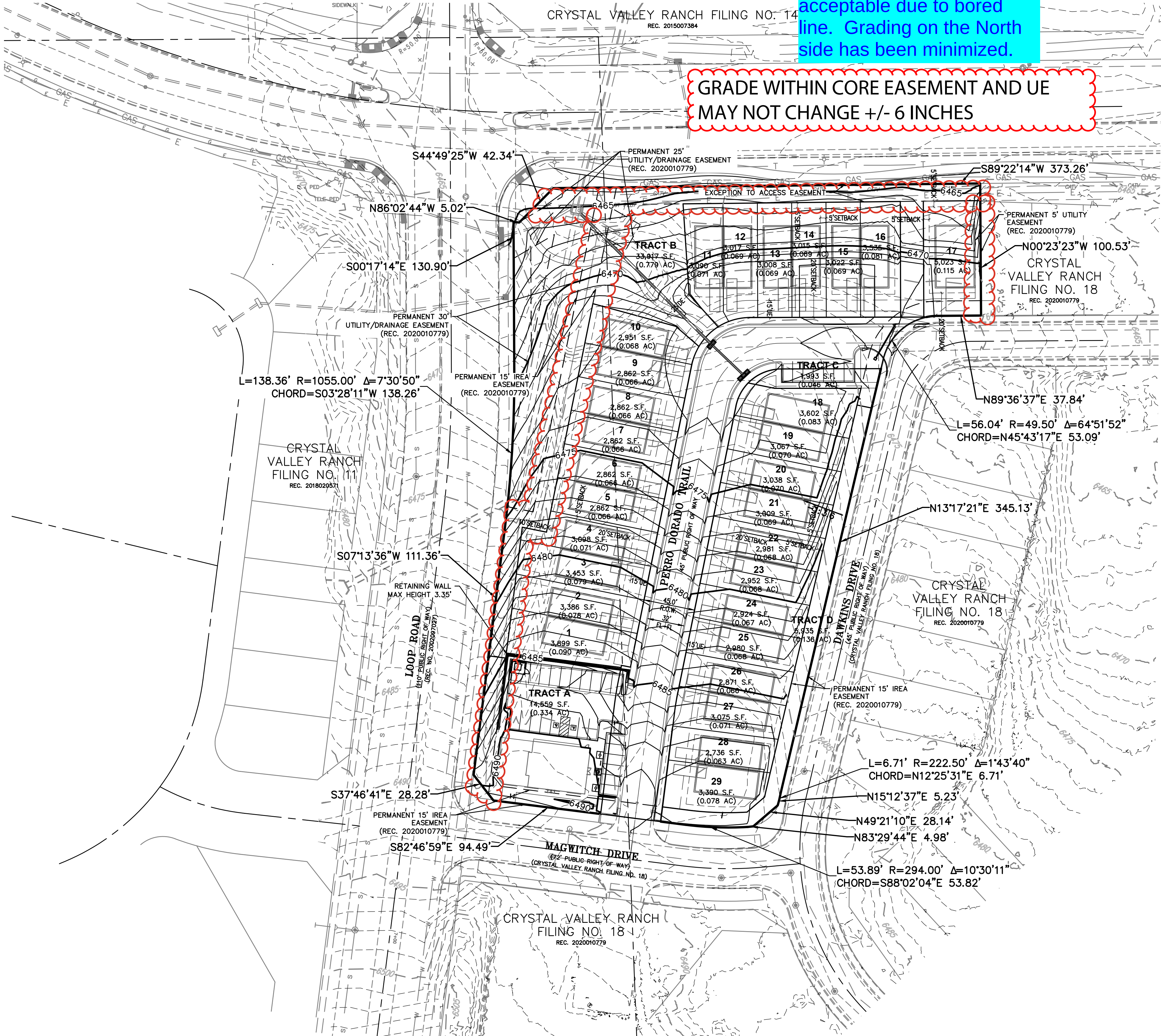
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SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057

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CRYSTAL VALLEY RANCH
FILING NO. 18 - TRACT C

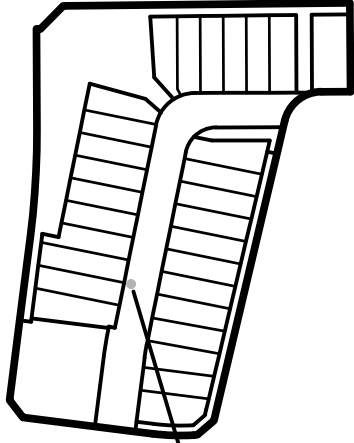
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LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN

Per discussion grading
along the west side is
acceptable due to bored
line. Grading on the North
side has been minimized.

GRADE WITHIN CORE EASEMENT AND UE
MAY NOT CHANGE +/- 6 INCHES



KEY MAP
SCALE 1"=250'



THIS SHEET

LEGEND

- SECTION/ALIQUOT LINE
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTER/RANGE LINE
- LOT/PARCEL LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CURB & GUTTER
- SIDEWALK
- SIGHT TRIANGLE
- BUILDING FOOTPRINT
- STOP SIGN
- RAMP
- PARKING SPACE LINE
- RETAINING WALL
- BIKE PARKING
- TREE GATE
- STORM INLET

GRADING LEGEND

- (A) LOT TYPE
- FLOW ARROW
- (58.5) LOT CORNER ELEVATION
- PROPOSED MAJOR CONTOUR
- PROPOSED MINOR CONTOUR
- EXISTING MAJOR CONTOUR
- EXISTING MINOR CONTOUR
- FLOW DIRECTION AND PERCENT SLOPE
- LOW POINT LOCATION & ELEVATION
- HIGH POINT LOCATION & ELEVATION
- TOP OF FOUNDATION ELEVATION
- FINISHED GRADE ELEVATION

NOTES

OWNER:
Pinnacle View
Development, LLC

16810 Avenue of the Fountains,
Fountain Hills, AZ 85269

ENGINEER / SURVEYOR:
EMK Consultants, Inc.

7006 S. Alton Way, Bldg. F
Centennial, CO 80112
Office: 303-694-1520 x107



PLANNER / LANDSCAPE:
henry
design
group
Landscape Architecture • Planning • Entitlements
1001 W. 10th Street Suite 1-C, Denver, Colorado 80202
303.446.2808 • henydesigngroup.com

ARCHITECT:
EVstudio
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Denver, CO 80212
Office: 303-670-7242

IRRIGATION:
Aracet
7714 W. Jefferson Ave.
Lakewood, CO 80235
Office: 303-986-2175

CALL UNCC
TWO WORKING DAYS
BEFORE YOU DIG
1-800-922-1987
METRO DENVER AREA
UTILITY NOTIFICATION CENTER OF COLORADO

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan

DRAWN BY: JDS
CHECK BY: GAW
ISSUE DATE: 11/7/2025
REVISIONS:
STAMPED:
REVISED:

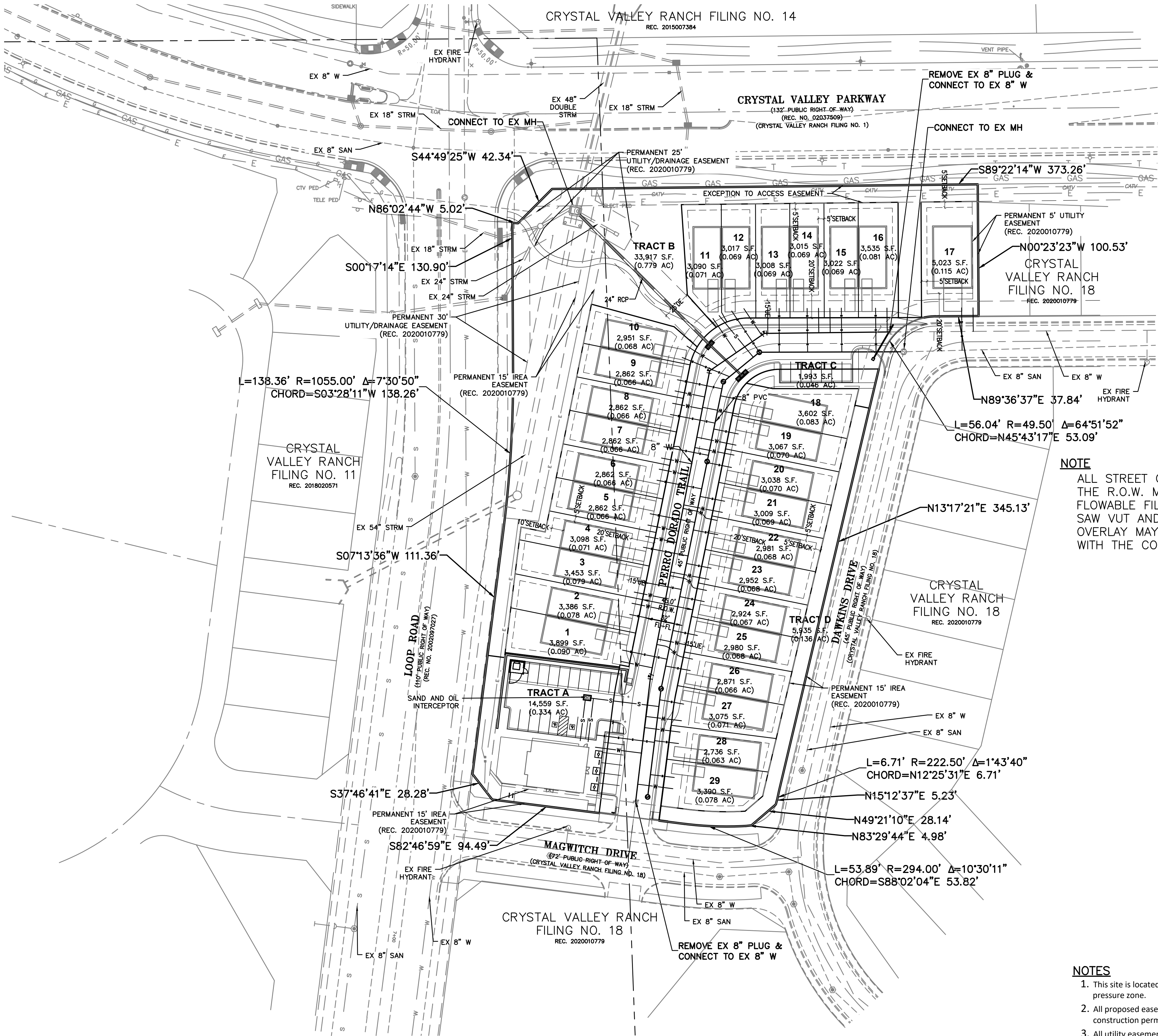
OVERALL GRADING
PLAN

SHEET TITLE
3 OF 20
SHEET NUMBER

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057

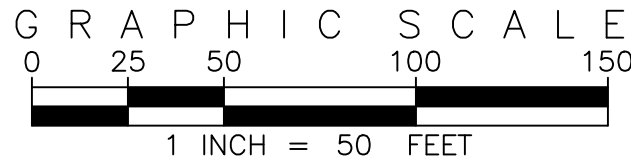
SITE DEVELOPMENT PLAN (SDP 22-0057)
CRYSTAL VALLEY RANCH
FILING NO. 18 - TRACT C

TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN

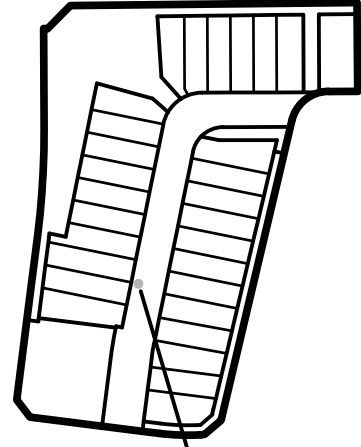


NOTE
ALL STREET CUTS FOR UTILITY WITHIN THE R.O.W. MUST BE BACKFILLED WITH FLOWABLE FILL. PERIMETER SHALL BE SAW VUT AND EDGE MILLED, A MILL AND OVERLAY MAY BE REQUIRED, COORDINATE WITH THE CONSTRUCTION INSPECTOR

- NOTES**
- This site is located within the Town of Castle Rock RED water pressure zone.
 - All proposed easements must be recorded prior to issuance of construction permits.
 - All utility easements for water and wastewater lines shall be for the exclusive use of the Town so that access and maintenance may be performed.
 - The minimum separation between waterlines, sanitary sewer and storm sewer lines is 10 feet.
 - The minimum separation between water service lines is 5 feet.
 - Any tie-in, crossing or lowering of Town critical infrastructure will require a Time and Materials Permit (TMU) with fees required prior to construction.



KEY MAP
SCALE 1"=250'



LEGEND

- SECTION/ALIQUOT LINE
- BOUNDARY LINE
- RIGHT-OF-WAY LINE
- CENTER/RANGE LINE
- LOT/PARCEL LINE
- EASEMENT LINE
- SETBACK LINE
- PROPOSED CURB & GUTTER
- SIDEWALK
- SIGHT TRIANGLE
- BUILDING FOOTPRINT
- STOP SIGN
- RAMP
- PARKING SPACE LINE
- RETAINING WALL
- BIKE PARKING
- TREE GATE
- STORM INLET

UTILITIES LEGEND

- PROPOSED STORM SEWER, INLET, MANHOLE, & FLARED END SECTION
- EXISTING STORM SEWER, INLET, MANHOLE, & FLARED END SECTION
- PROPOSED SANITARY SEWER & MANHOLE
- EXISTING SANITARY SEWER & MANHOLE
- PROPOSED WATER MAIN, FIRE HYDRANT, TEE, VALVE, & REDUCER
- EXISTING WATER MAIN, FIRE HYDRANT, VALVE, & REDUCER
- PROPOSED BEND W/THRUST BLOCK, CHECK VALVE, & PLUG W/ BLOWOFF
- EXISTING BEND W/THRUST BLOCK, CHECK VALVE, & PLUG W/ BLOWOFF
- 3/4" IRRIGATION TAP AND METER
- WATER SERVICE
- SANITARY SEWER SERVICE

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ARCHITECT:



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IRRIGATION:



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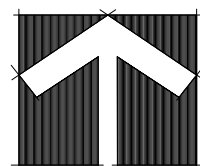
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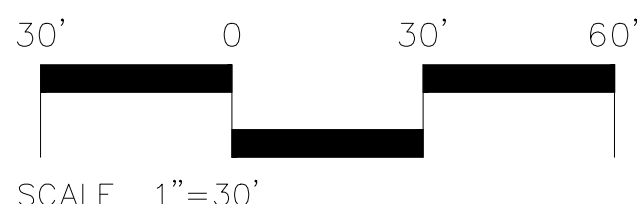
OVERALL UTILITY
PLAN

SHEET TITLE
4 OF 20

SHEET NUMBER



NORTH



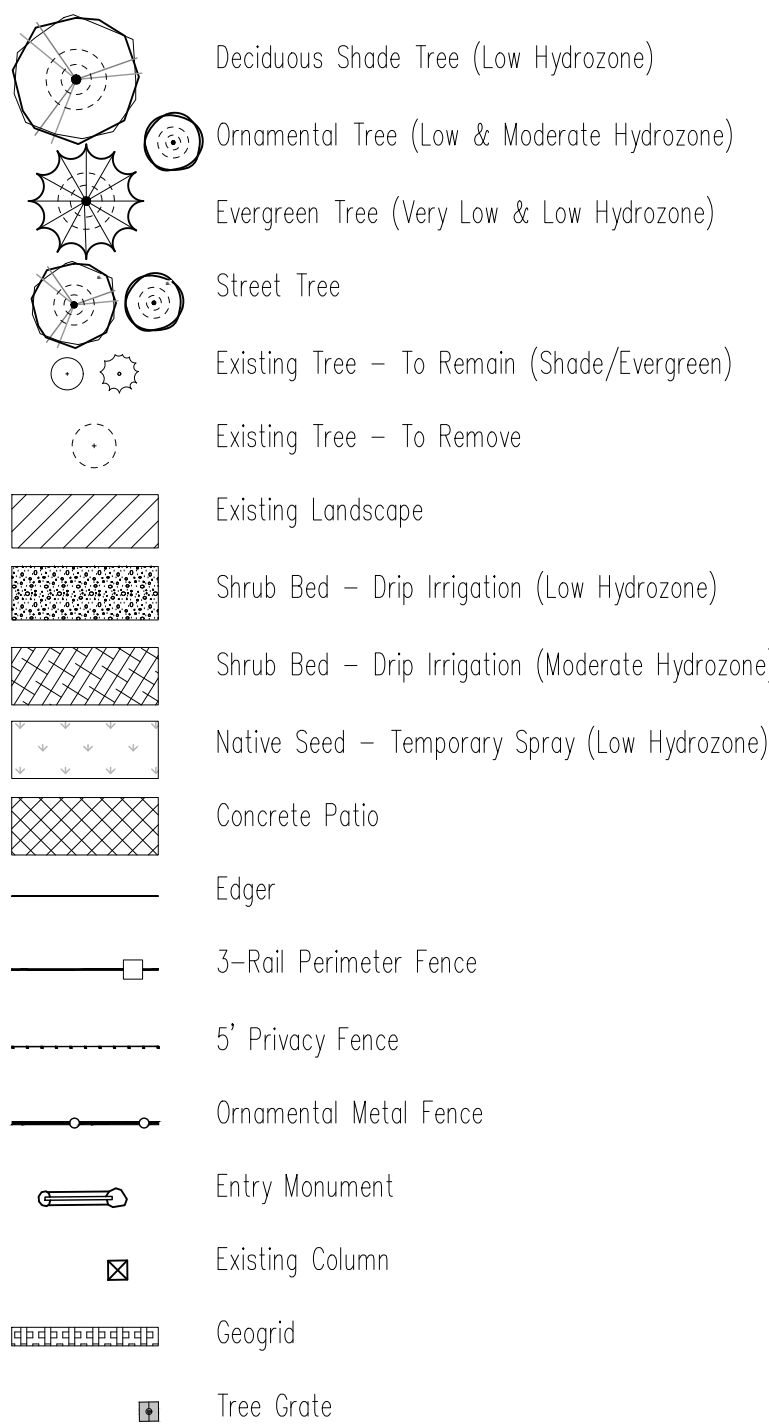
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Landscape plans have been revised to meet CORE clearance requirements.

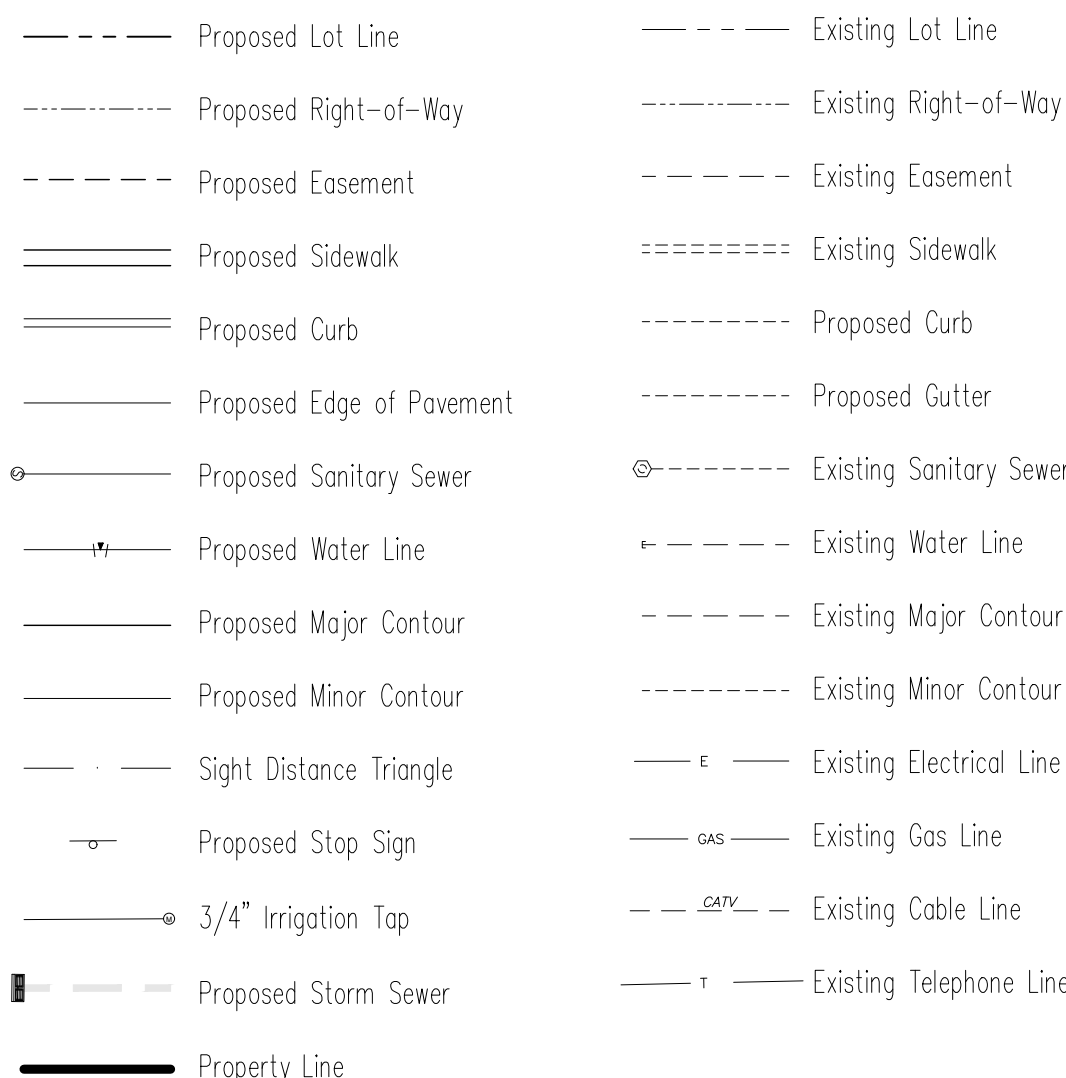
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LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN

LANDSCAPE LEGEND



SITE PLAN LEGEND



LANDSCAPE NOTES:

- LANDSCAPE AND IRRIGATION SHALL BE INSTALLED BY A TOWN OF CASTLE ROCK REGISTERED LANDSCAPE CONTRACT PROFESSIONAL.
- SLOPES STEEPER THAN 3:1 ARE NOT PERMITTED ON LANDSCAPE PLANS IN THE TOWN OF CASTLE ROCK.
- DISTANCE OF TREES TO WET UTILITY LINES SHOULD BE A MINIMUM OF 10 FEET.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENTS
- FINAL LANDSCAPE AREA, COVERAGE AND PLANT QUANTITIES, SHALL MEET OR EXCEED QUANTITIES REPRESENTED IN THIS DRAWING AND SHALL CONFORM TO SUBSEQUENT SUBMITTAL REQUIREMENTS.
- LOCATION OF PLANT MATERIALS ARE APPROXIMATED AND MAY CHANGE SLIGHTLY DUE TO UNFORESEEN FIELD CONSTRAINTS.
- ALL PLANTS ARE TO BE PROPERLY HYDROZONED PER TOWN OF CASTLE ROCK PLANT LIST.
- DESIGN MUST ACCOMMODATE THE WATERING RESTRICTIONS AS OUTLINED IN THE TOWN OF CASTLE ROCK WATER USE MANAGEMENT PLAN (WUMP).
- IF ANY TRANSFORMERS, GROUND-MOUNTED HVAC UNITS, UTILITY PEDESTALS, OR SIMILAR FEATURES EXISTING ON SITE, BUT NOT SHOWN ON THE SITE DEVELOPMENT PLAN, ADDITIONAL LANDSCAPING AND SCREENING MAY BE REQUIRED BASED UPON FIELD CONDITIONS DETERMINED DURING THE SITE INSPECTION. INSTALLATION WILL BE REQUIRED PRIOR TO THE FINAL INSPECTION AND THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, AS APPLICABLE.
- NONLIVING LANDSCAPE MATERIALS SUCH AS ROCK, STONE, BARK CHIPS, AND SHAVINGS WHICH NO LONGER COVER THE AREA IN WHICH THEY WERE ORIGINALLY INSTALLED, SHALL BE REGULARLY REPLENISHED TO MAINTAIN THE FULL COVERAGE TO A MINIMUM DEPTH OF TWO (2") INCHES FOR ROCK MULCH AND FOUR (4") INCHES FOR WOOD MULCH.
- PLANTS AND VEGETATION UNDER THE TOWN OF CASTLE ROCK'S PLANT LIST SHALL BE IN LINE WITH THE ADOPTED CWPP AND FIRE RESISTIVE VEGETATION FOR THE REGION TO MEET THE ADOPTED FIRE CODES FOR THE TOWN OF CASTLE ROCK.
- AN IRRIGATION PLAN IS REQUIRED WITH THE SUBMITTAL OF THE CONSTRUCTION DOCUMENTS.
- 12.1. COMMERCIAL LANDSCAPE SHALL BE IRRIGATED OFF OF THE COMMERCIAL TAP, UTILIZING A DUAL METER. COMMERCIAL LANDSCAPE AREA IS LESS THAN 5,000 SF.
- DEAD PLANT MATERIALS SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIALS OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. THE TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.
- NO TREES, LARGE SHRUBS, OR PERMANENT STRUCTURES ARE ALLOWED IN WET UTILITY AND DRAINAGE EASEMENT.
- DEAD PLANT MATERIAL SHALL BE REMOVED AND REPLACED WITH HEALTHY PLANTING MATERIAL OF COMPARABLE SIZE AND SPECIES THAT MEET THE ORIGINAL INTENT OF THE APPROVED LANDSCAPE DESIGN WITHIN FORTY-FIVE (45) DAYS OR SOONER IN THE EVENT OF A CONTAGIOUS DISEASE OR INVASIVE INSECT SPECIES. TOWN OF CASTLE ROCK IS NOT RESPONSIBLE FOR PLANT REPLACEMENTS.

STREETSCAPE*

Street Name/Tract	Linear Feet (LF)**	Required Street Trees	Existing Street Trees (If applicable)	Proposed Street Trees	Provided Street Trees	Required Street Shrubs	Provided Street Shrubs	***Proposed Hydrozone
CRYSTAL VALLEY PARKWAY	395	10	5	6	11	40	40	2
LOOP ROAD	545	14	N/A	17	17	55	55	2
MAGWITCH DRIVE	221	6	6	0	6	22	22	2
DAWKINS DRIVE	470	12	13	1	14	47	47	2
PERRO DORADO TRAIL	914	23	N/A	23	25	91	91	2

*Streetscape requirements can be found in Section 9.2.1 of the Landscape and Irrigation Criteria Manual

**Streetscape does not count towards overall site landscape requirements

*Residential Only - On local streets, the required front yard tree shall meet the street tree requirements for that section of roadway.

**Please provide the linear footage and clearly show on the Site Development Plan for all streets/tracts.

*** Plant material within streetscape must be hydrozone 1 or 2 from the Town of Castle Rock Plant List

ParkingLot*

ParkingLot	Area (SF)	Landscape Area Required (10% of square footage)	Existing Landscape (If Applicable)	Landscape Area Provided	Required Trees** (2 large canopy deciduous shade trees / 1,000 sqft)	Provided Trees	Required Shrubs** (4 shrubs / 1,000 sqft)	Provided Shrubs
A	1,293	129	0	573	0.3	1	0.5	1
B	5,010	501	0	759	1.0	1	2.0	3
C	1,079	108	0	284	0.2	3	0.4	1

*Parking Lot landscaping can count towards overall site landscape requirements.

**Parking Lot landscaping outside of landscaped islands/peninsulas should be located within 3 feet of the parking lot perimeter.

***Evergreens are not permitted in landscaped islands/peninsulas.

****Parking Lot Peninsula/Islands criteria for lots over 40 spaces can be found in Section 7.2.1.2(2)(c) of the Landscape and Irrigation Criteria Manual.

Gross Site Area (Tract A)	Required Landscape (10% of the gross site area)	Existing Landscape (If Applicable)	Provided Landscape Area	Required Trees (2 trees / 1,000 sqft)	Provided Trees	Required Shrubs (4 shrubs / 1,000 sqft)	Provided Shrubs	Soil Prep Amounts (cu yds. Per 1000 SF)
14,558	1,456	3 Trees	3,851	3	6	6	6	4 cu yds. Per 1,000 SF
Turf Grass Square Footage (SF)*	Required Landscape Coverage Percentage (75% minimum)	Existing Landscape (If Applicable)	*Provided Landscape Coverage at Maturity (SF)	Required Nonliving Ornamental Percentage (25% maximum)	*Provided Nonliving Ornamental Area in Landscape (SF)	Required Large Canopy Deciduous Tree (50% minimum)	Provided Large Canopy Deciduous Shade Tree	** Separate Irrigation Service Connections
N/A	1,082	N/A	2,888	963	963	1	3	Yes <u>X</u> No <u> </u>

* Provided Landscape and Non-living Ornamental Coverage is calculated from the Provided Landscape Area.

** Refer to Landscape Notes 12.1

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henry
design
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Landscape Architecture • Planning • Entitlements
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ARCHITECT:

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Office: 303-670-7242

IRRIGATION:

Avocet IRRIGATION
DESIGN

7714 W. Jefferson Ave.
Lakewood, CO 80235
Office: 303-562-5698

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
Castle Rock, Colorado
Site Development Plan

DRAWN BY: SA

CHECK BY: KH

ISSUE DATE: 04-12-22

REVISIONS: 11/17/2025

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SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

5 OF 20

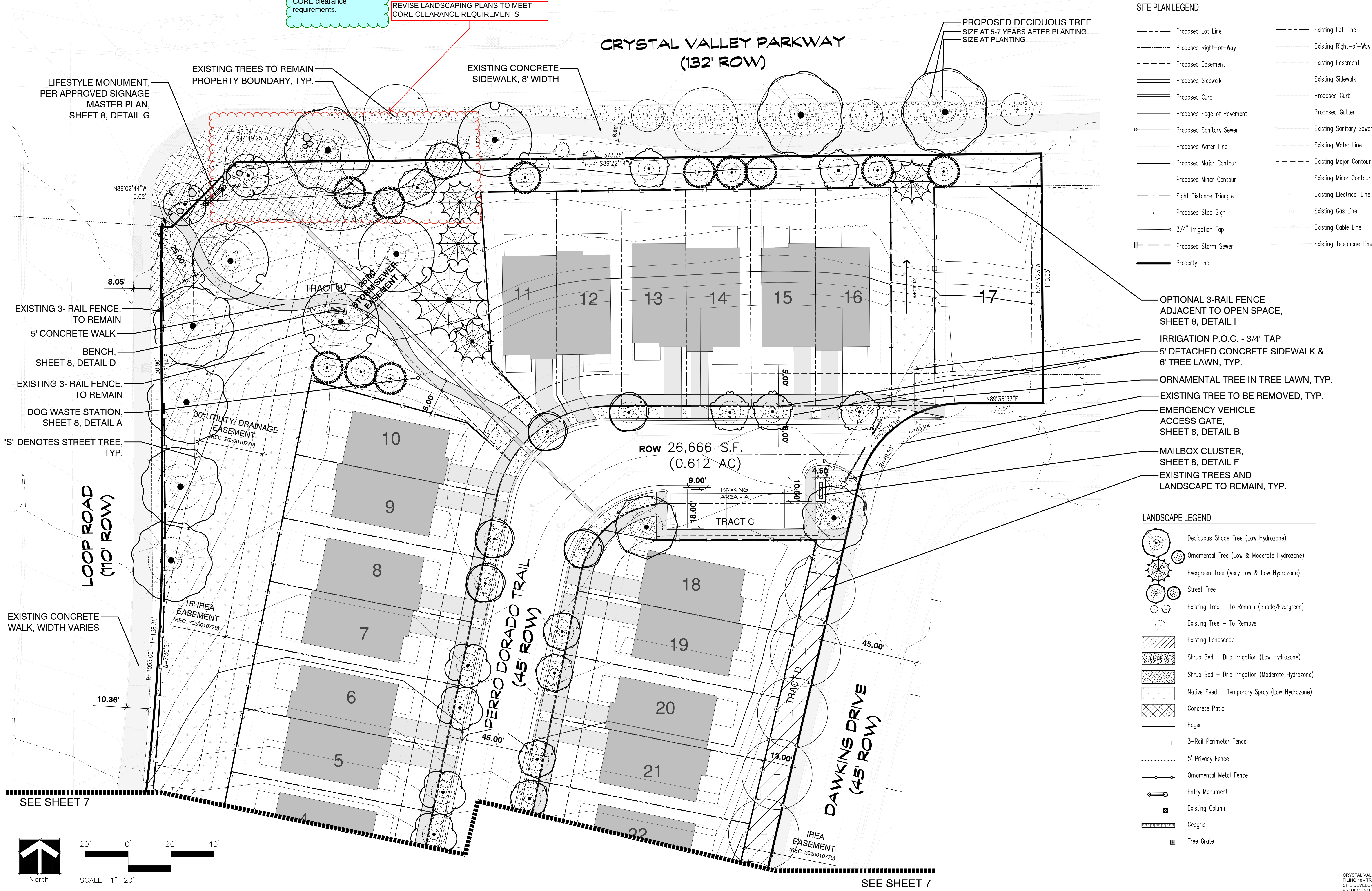
CRYSTAL VALLEY RANCH
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SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057

SITE DEVELOPMENT PLAN (SDP 22-0057)
CRYSTAL VALLEY RANCH
NO. 18 - TRACT C

TRACT C, CRYSTAL VALLEY RANCH FILING 18 PLAT TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO
LYING WITHIN THE SOUTH HALF OF SECTION 24, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN

Landscape plans have been revised to meet CORE clearance requirements.

REVISE LANDSCAPING PLANS TO MEET CORE CLEARANCE REQUIREMENTS



SITE PLAN LEGEND

- | | |
|---------------------------|--------------------------|
| Proposed Lot Line | Existing Lot Line |
| Proposed Right-of-Way | Existing Right-of-Way |
| Proposed Easement | Existing Easement |
| Proposed Sidewalk | Existing Sidewalk |
| Proposed Curb | Proposed Curb |
| Proposed Edge of Pavement | Proposed Outter |
| Proposed Sanitary Sewer | Existing Sanitary Sewer |
| Proposed Water Line | Existing Water Line |
| Proposed Major Contour | Existing Major Contour |
| Proposed Minor Contour | Existing Minor Contour |
| Sight Distance Triangle | Existing Electrical Line |
| Proposed Stop Sign | Existing Gas Line |
| 3/4" Irrigation Tap | Existing Cable Line |
| Proposed Storm Sewer | Existing Telephone Line |
| Property Line | |

OPTIONAL 3-RAIL FENCE
ADJACENT TO OPEN SPACE,
SHEET 8, DETAIL I

IRRIGATION P.O.C. - 3/4" TAP
5' DETACHED CONCRETE SIDEWALK &
6' TREE LAWN, TYP.

ORNAMENTAL TREE IN TREE LAWN, TYP.

EXISTING TREE TO BE REMOVED, TYP.

EMERGENCY VEHICLE
ACCESS GATE,
SHEET 8, DETAIL B

MAILBOX CLUSTER,
SHEET 8, DETAIL F
EXISTING TREES AND
LANDSCAPE TO REMAIN, TYP.

LANDSCAPE LEGEND

- | |
|--|
| Deciduous Shade Tree (Low Hydrozone) |
| Ornamental Tree (Low & Moderate Hydrozone) |
| Evergreen Tree (Very Low & Low Hydrozone) |
| Street Tree |
| Existing Tree - To Remain (Shade/Evergreen) |
| Existing Tree - To Remove |
| Existing Landscape |
| Shrub Bed - Drip Irrigation (Low Hydrozone) |
| Shrub Bed - Drip Irrigation (Moderate Hydrozone) |
| Native Seed - Temporary Spray (Low Hydrozone) |
| Concrete Patio |
| Edger |
| 3-Rail Perimeter Fence |
| 5' Privacy Fence |
| Ornamental Metal Fence |
| Entry Monument |
| Existing Column |
| Geogrid |
| Tree Grate |

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CRYSTAL VALLEY RANCH
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Castle Rock, Colorado
Site Development Plan

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SHEET TITLE

LANDSCAPE
PLAN

SHEET NUMBER

6 OF 20

CRYSTAL VALLEY RANCH
FILING 18 - TRACT C
SITE DEVELOPMENT PLAN
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SITE PLAN LEGEND

Proposed Lot Line	Existing Lot Line
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Proposed Sidewalk	Existing Sidewalk
Proposed Curb	Proposed Curb
Proposed Edge of Pavement	Proposed Gutter
Proposed Sanitary Sewer	Existing Sanitary Sewer
Proposed Water Line	Existing Water Line
Proposed Major Contour	Existing Major Contour
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Sight Distance Triangle	Existing Electrical Line
Proposed Stop Sign	Existing Gas Line
3/4" Irrigation Tap	Existing Cable Line
Proposed Storm Sewer	Existing Telephone Line
Property Line	

LANDSCAPE LEGEND

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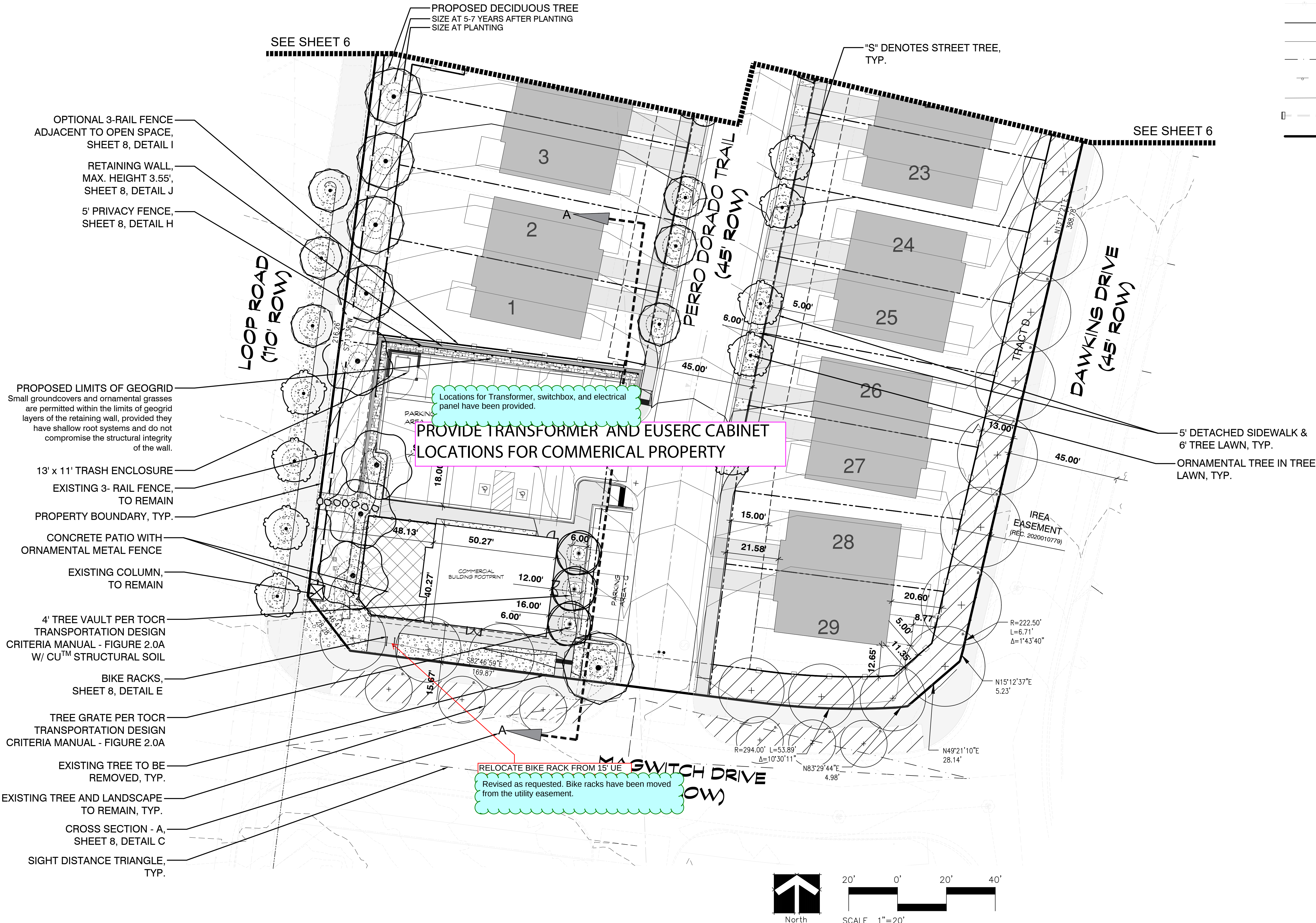
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LANDSCAPE
PLAN

SHEET NUMBER

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CRYSTAL VALLEY RANCH
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SITE DEVELOPMENT PLAN
PROJECT NO. SDP22-0057



Contact:

GAMBEL GROVE
COMMERCIAL BUILDING
CASTLE ROCK, CO

AD25003



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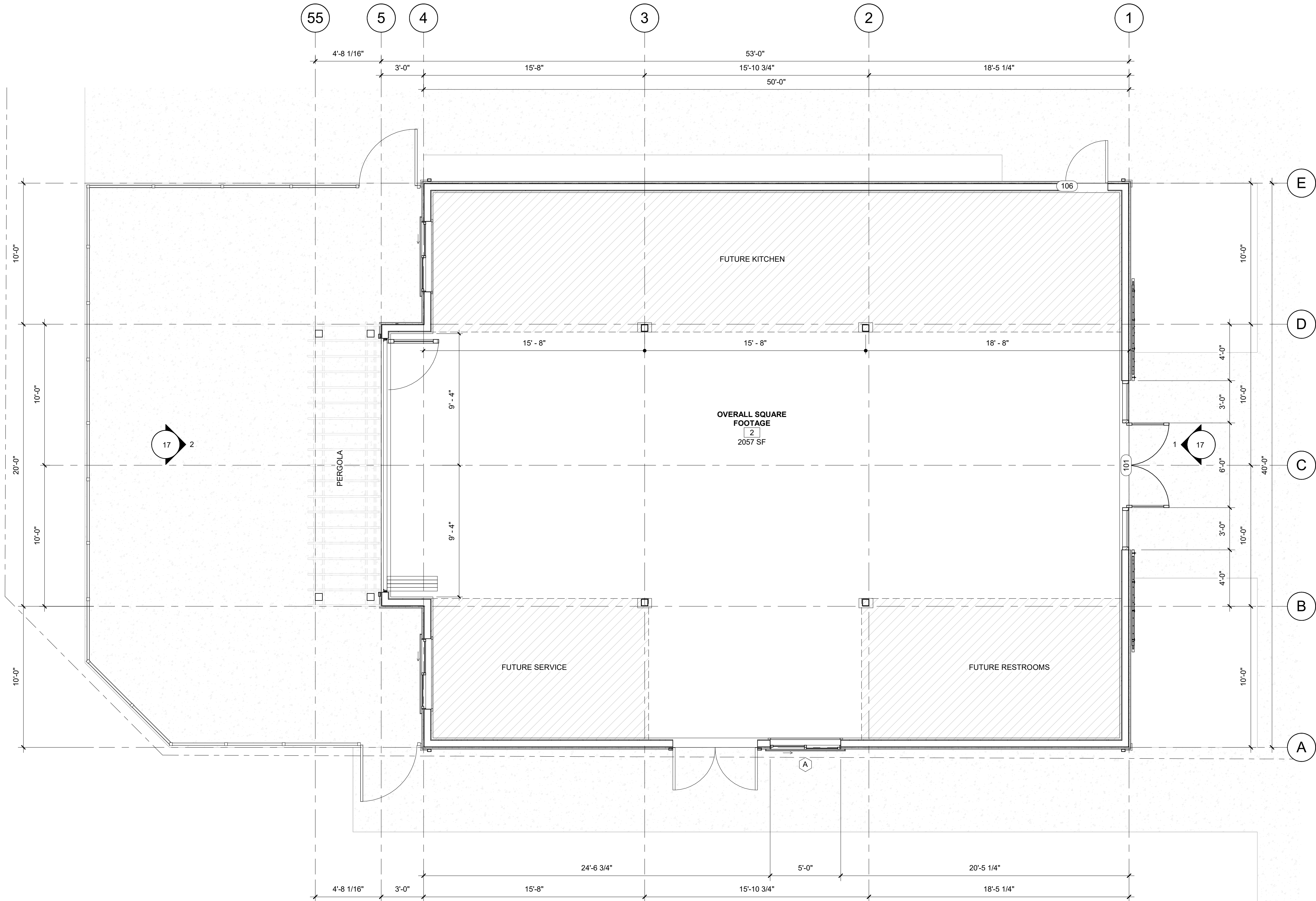
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DATE: 11/08/2025
DRAWN BY: MJN
CHECKED BY: ---

FLOOR PLAN

PROVIDE EUSERC CABINET/METERING LOCATION

ELECTRICAL SERVICE CABINET IS PROVIDED AS REQUESTED.



1 FLOOR PLAN
1/4" = 1'-0"

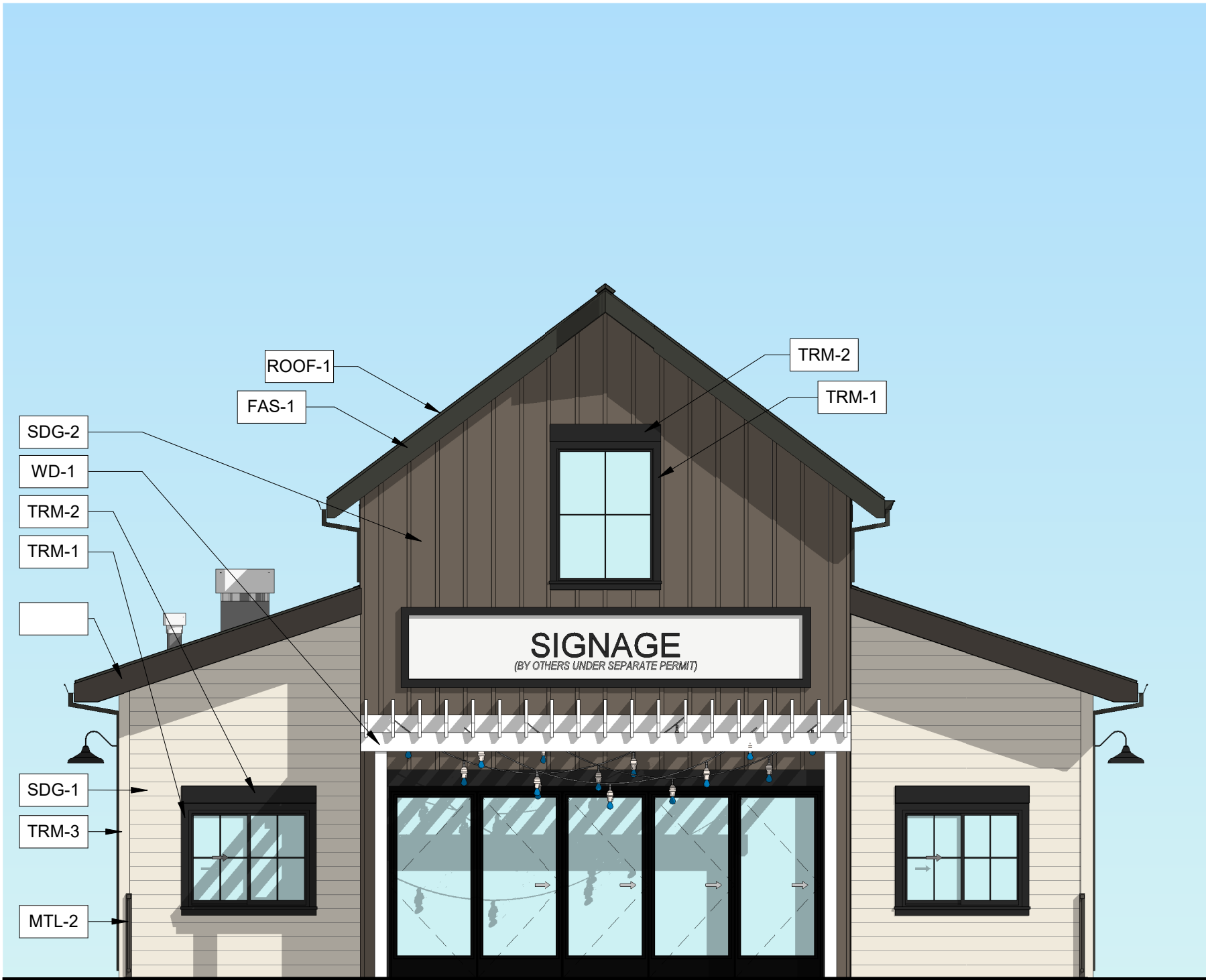


4 BUILDING ELEVATION - NORTH
3/16" = 1'-0"



3 BUILDING ELEVATION - SOUTH
3/16" = 1'-0"

PROVIDE EUSERC CABINET/METERING LOCATION
ELECTRICAL SERVICE CABINET IS PROVIDED AS REQUESTED.



2 BUILDING ELEVATION - WEST
3/16" = 1'-0"



1 BUILDING ELEVATION - EAST
3/16" = 1'-0"

EXTERIOR MATERIALS LEGEND	
MARK	DESCRIPTION
SDG-1	HORIZONTAL LAP SIDING 7" EXPOSURE BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: SW 6385 "DOVER WHITE"
SDG-2	HORIZONTAL LAP SIDING 7" EXPOSURE BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: WOODTONE RUSTICSERIES, "RIVER ROCK"
SDG-3	BOARD & BATTEN SIDING @ 16" O.C. BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: WOODTONE RUSTICSERIES, "RIVER ROCK"
ROOF-1	STANDING SEAM METAL ROOF 12" PANEL BASIS OF DESIGN: PAC-CLAD SNAP-CLAD METAL ROOFING PANELS OR APPROVED EQUAL COLOR: "AGED BRONZE"
TRM-1	3-1/2" WIDE WINDOW TRIM COLOR: PAINT TO MATCH PAC-CLAD "AGED BRONZE"
TRM-2	8" WIDE WINDOW TRIM COLOR: PAINT TO MATCH PAC-CLAD "AGED BRONZE"
TRM-3	6" WIDE CORNER TRIM BASIS OF DESIGN: JAMES HARDIE OR APPROVED EQUAL COLOR: SW 6385 "DOVER WHITE"
FAS-1	1x12 FASCIA COLOR: PAINT TO MATCH PAC-CLAD "AGED BRONZE"
MET-1	KYNAR-PAINTED METAL COLOR: TO MATCH PAC-CLAD "AGED BRONZE"
MET-2	SHOP-FINISHED POWDER-COAT COLOR: "BLACK"
WD-1	PAINTED WOOD COLOR: SW 7757 "HIGH REFLECTIVE WHITE"

NOTE: MATERIALS TAGGED IN ELEVATIONS ARE TYPICAL OF ALL SIMILAR LOCATIONS, UON

Contact:



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REVISION:

100% SCHEMATIC DESIGN
DATE: 11/08/2025
DRAWN BY: MJN
CHECKED BY: ---