

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES – 326 RESIDENTIAL LOTS – 14 TRACTS – PL24-0003

LEGAL DESCRIPTION

SEE SHEET 2

CERTIFICATE OF DEDICATION AND OWNERSHIP

THE UNDERSIGNED, BEING ALL OF THE OWNERS, MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN, HAVE LAID OUT, PLATTED AND SUBDIVIDED THE SAME INTO LOTS, BLOCKS, TRACTS, STREETS AND EASEMENTS, AS SHOWN ON THE PLAT UNDER THE NAME AND STYLE OF CANYONS FAR SOUTH FILING NO. 1. THE UNDERSIGNED HEREBY DEDICATE TO THE TOWN OF CASTLE ROCK FOR PURPOSES OF OWNERSHIP AND MAINTENANCE ALL STREETS AS PLATTED, ALL UTILITY EASEMENTS AS DESCRIBED AND SHOWN HEREON AND TRACTS A, B, C, D, E, F, G, H, I, J, K, L, M AND N FOR THE PURPOSE OF _____
TRACTS A, B, C, D, E, F, G, H, I, J, K, L, M AND N WILL BE DEDICATED TO _____
BY SEPARATE INSTRUMENT FOR THE PURPOSE OF _____.

THE UNDERSIGNED HEREBY FURTHER DEDICATE TO THE PUBLIC UTILITIES AND CABLEVISION THE RIGHT TO INSTALL, MAINTAIN AND OPERATE MAINS, TRANSMISSION LINES, SERVICE LINES, STREET LIGHTS, CABLE TELEVISION LINES AND APPURTENANCES TO PROVIDE SUCH UTILITY, COMMUNICATION, AND CABLE TELEVISION SERVICES WITHIN THIS SUBDIVISION, OR PROPERTY CONTIGUOUS THERETO, UNDER, ALONG AND ACROSS PUBLIC ROADS AS SHOWN ON THIS PLAT AND ALSO UNDER, ALONG AND ACROSS THESE UTILITY EASEMENTS AS DESCRIBED AND IDENTIFIED FOR SPECIFIC USES HEREON.

CANYONS FAR SOUTH, LLC, A DELAWARE LIMITED LIABILITY COMPANY

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

OWNERSHIP CERTIFICATION

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

CANYONS FAR SOUTH, LLC, A DELAWARE LIMITED LIABILITY COMPANY

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TOWN OF CASTLE ROCK OWNERSHIP BLOCK

THE UNDERSIGNED ARE ALL THE OWNERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREIN.

TOWN OF CASTLE ROCK, A MUNICIPAL CORPORATION

BY _____
MAYOR

ATTEST

TOWN CLERK

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

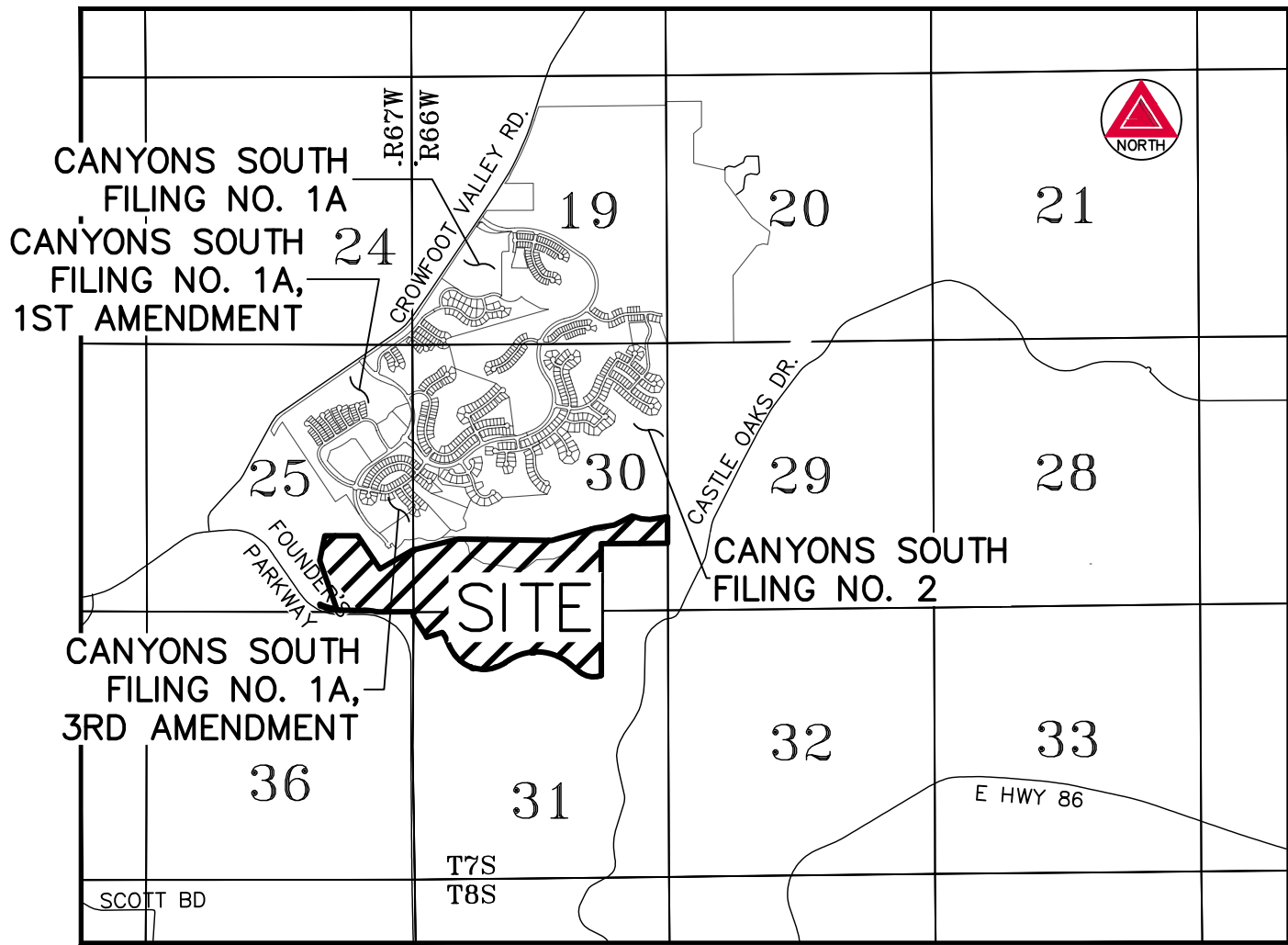
20____ BY _____ AS MAYOR AND BY _____

_____, AS TOWN CLERK.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____



VICINITY MAP

SCALE 1" = 3500'

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS IN THE TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS AND STATE OF COLORADO DESCRIBED HEREON. THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY THE INSTRUMENT RECORDED AUGUST 22, 2023 AT RECEPTION NO. 2023036544, DOUGLAS COUNTY, COLORADO, SUBORDINATES THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT.

CENTENNIAL LOAN STAR LLC, A TEXAS LIMITED LIABILITY COMPANY

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20____ BY _____

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TITLE CERTIFICATION

I, _____, AN AUTHORIZED REPRESENTATIVE OF FIDELITY NATIONAL TITLE INSURANCE COMPANY, A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED REPRESENTATIVE

TITLE COMPANY

SIGNED THIS _____ DAY OF _____, 20____

NOTARY BLOCK

SUBSCRIBED AND SWORN TO BEFORE ME THIS _____ DAY OF _____

20____ BY _____ AS AUTHORIZED REPRESENTATIVE

OF FIDELITY NATIONAL TITLE INSURANCE COMPANY.

WITNESS MY HAND AND OFFICIAL SEAL.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

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WATER RIGHTS DEDICATION AGREEMENT

THE PROVISION OF MUNICIPAL WATER TO THIS SUBDIVISION IS SUBJECT TO THE TERMS AND CONDITIONS OF THE _____ AGREEMENT, RECORDED ON THE DAY OF _____ AT RECEPTION NO. _____ AND ACCORDINGLY 340.33 SFE ARE DEBITED FROM THE WATER BANK.

326 RESIDENTIAL LOTS = 326 SFE'S
IRRIGATION (1-2", 1-3/4", 1-1.5", 1-1") = 14.33 SFE'S

STATEMENT OF DIRECTOR OF DEVELOPMENT SERVICES APPROVAL

THIS PLAT WAS APPROVED BY THE DIRECTOR OF DEVELOPMENT SERVICES OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20____.

DIRECTOR OF DEVELOPMENT SERVICES

SURVEYOR'S CERTIFICATE

I, MICHAEL J. NOFFSINGER, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THIS PLAT WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN THEREON ACTUALLY EXIST AND THIS PLAT ACCURATELY REPRESENTS THAT SURVEY.

REGISTERED LAND SURVEYOR

DATE

NOTICE: ACCORDING TO COLORADO LAW, YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.

CIVIL ENGINEER'S STATEMENT

I, _____, BEING A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF COLORADO, HEREBY ATTEST THAT ALL ROADWAY, GRADING, UTILITY AND DRAINAGE IMPROVEMENTS IDENTIFIED ON THIS PLAT HAVE BEEN DESIGNATED AND ENGINEERED IN CONFORMANCE WITH ALL TOWN OF CASTLE ROCK PUBLIC WORKS CONSTRUCTION STANDARDS.

REGISTERED PROFESSIONAL ENGINEER

DATE

PLANNING COMMISSION RECOMMENDATION

THIS PLAT WAS RECOMMENDED FOR APPROVAL BY THE PLANNING COMMISSION OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20____.

CHAIR

DATE

ATTEST

DIRECTOR OF DEVELOPMENT SERVICES

DATE

TOWN COUNCIL APPROVAL

THIS PLAT WAS APPROVED BY THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO ON THE _____ DAY OF _____, 20____.

MAYOR

DATE

ATTEST

TOWN CLERK

DATE

STATEMENT OF TOWN APPROVAL AND ACCEPTANCE

ON BEHALF OF THE TOWN COUNCIL OF THE TOWN OF CASTLE ROCK, COLORADO, I HEREBY CERTIFY THAT THIS PLAT WAS APPROVED IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS AND THAT THE DEDICATIONS ON THIS PLAT ARE HEREBY ACCEPTED BY THE TOWN OF CASTLE ROCK.

TOWN MANAGER

ATTEST

TOWN CLERK

LAST REVISED: 3/6/2025



AzTec Proj. No.: 190523-02

Drawn By: BAM

CANYONS FAR SOUTH FILING NO. 1

DATE OF PREPARATION:

03-25-2024

SCALE:

N/A

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M. & SEC 25, T7S, R67W, 6TH P.M.

TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SHEET 1 OF 15

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,

AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,

AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,

TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.

262.703 ACRES – 326 RESIDENTIAL LOTS – 14 TRACTS – PL24-0003

LEGAL DESCRIPTION

A PARCEL OF LAND BEING TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT, PER PLAT RECORDED AT RECEPTION NO. 2021023312, IN THE RECORDS OF THE DOUGLAS COUNTY, COLORADO CLERK AND RECORDER'S OFFICE AND PORTIONS OF THE SOUTH HALF OF SECTION 30 AND THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST & THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SAID SECTION 30;

THENCE SOUTH 00°03'56" EAST, A DISTANCE OF 798.31 FEET, ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 30 TO THE NORTHEAST CORNER OF SAID TRACT X AND THE POINT OF BEGINNING;

THENCE CONTINUING ALONG SAID EAST LINE, SOUTH 00°03'56" EAST, A DISTANCE OF 525.32 FEET TO THE SOUTH SIXTEENTH CORNER OF SECTIONS 30 AND 29, ALSO BEING THE NORTHEASTERLY CORNER OF LOT 15, BLOCK 2, NORTH CASTLE OAKS, PER PLAT RECORDED AT RECEPTION NO. 150556, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE NORTH AND WEST LINES OF SAID CASTLE OAKS, THE FOLLOWING 3 COURSES:

- SOUTH 89°33'53" WEST, A DISTANCE OF 1,319.46 FEET TO THE SOUTHEAST SIXTEENTH CORNER OF SAID SECTION 30;
- SOUTH 00°04'19" EAST, A DISTANCE OF 1,325.27 FEET ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SAID SECTION 30 TO THE EAST SIXTEENTH CORNER OF SAID SECTIONS 30 AND 31;
- SOUTH 00°07'26" EAST, A DISTANCE OF 1,289.64 FEET ALONG THE EAST LINE OF THE WEST HALF OF THE NORTHEAST QUARTER OF SAID SECTION 31;

THENCE DEPARTING SAID WEST LINE, SOUTH 73°44'56" WEST, A DISTANCE OF 35.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 436.00 FEET;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 55°32'17", AN ARC LENGTH OF 422.62 FEET;

THENCE TANGENT TO SAID CURVE, NORTH 50°42'47" WEST, A DISTANCE OF 264.87 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 1,014.00 FEET;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 41°32'16", AN ARC LENGTH OF 735.12 FEET;

THENCE NON-TANGENT TO SAID CURVE, SOUTH 41°28'14" WEST, A DISTANCE OF 20.90 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 999.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 03°04'45" EAST;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 02°34'52", AN ARC LENGTH OF 45.00 FEET;

THENCE NON-TANGENT TO SAID CURVE, NORTH 50°12'36" WEST, A DISTANCE OF 20.90 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 1,014.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 06°29'20" EAST;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 26°27'39", AN ARC LENGTH OF 468.29 FEET;

THENCE TANGENT TO SAID CURVE, SOUTH 57°03'01" WEST, A DISTANCE OF 96.59 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHWESTERLY HAVING A RADIUS OF 756.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 14°38'48", AN ARC LENGTH OF 193.26 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 1,015.00 FEET;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 01°53'09", AN ARC LENGTH OF 33.41 FEET TO THE BEGINNING OF A REVERSE CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 619.00 FEET;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 23°11'29", AN ARC LENGTH OF 250.55 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 767.00 FEET;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 11°29'22", AN ARC LENGTH OF 153.81 FEET;

THENCE NON-TANGENT TO SAID CURVE, SOUTH 60°08'21" WEST, A DISTANCE OF 21.25 FEET;

THENCE NORTH 72°42'43" WEST, A DISTANCE OF 45.11 FEET;

THENCE NORTH 27°24'56" WEST, A DISTANCE OF 21.92 FEET TO THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 767.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 20°05'43" EAST;

THENCE WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 01°22'38", AN ARC LENGTH OF 18.44 FEET TO THE BEGINNING OF A COMPOUND CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 686.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 30°12'32", AN ARC LENGTH OF 361.69 FEET;

THENCE TANGENT TO SAID CURVE, NORTH 38°19'08" WEST, A DISTANCE OF 40.76 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHEASTERLY HAVING A RADIUS OF 756.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 14°05'40", AN ARC LENGTH OF 185.97 FEET;

THENCE TANGENT TO SAID CURVE, NORTH 24°13'28" WEST, A DISTANCE OF 131.22 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE SOUTHWESTERLY HAVING A RADIUS OF 864.00 FEET;

THENCE NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 09°56'08", AN ARC LENGTH OF 149.83 FEET;

LEGAL DESCRIPTION

THENCE TANGENT TO SAID CURVE, NORTH 34°09'36" WEST, A DISTANCE OF 33.99 FEET;

THENCE SOUTH 72°31'31" WEST, A DISTANCE OF 324.63 FEET TO THE MOST EASTERLY CORNER OF THE PARCEL OF LAND DESCRIBED IN THE DEED RECORDED AT RECEPTION NO. 2009099312, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE EASTERLY LINES OF SAID PARCEL OF LAND, THE FOLLOWING 2 COURSES:

- NORTH 24°42'07" WEST, A DISTANCE OF 72.63 FEET;
- NORTH 33°43'04" WEST, A DISTANCE OF 424.15 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF RIDGE ROAD;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 00°01'17" EAST, A DISTANCE OF 88.16 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF SAID RIDGE ROAD;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, SOUTH 89°47'43" WEST, A DISTANCE OF 729.71 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF FOUNDERS PARKWAY AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE SOUTHERLY HAVING A RADIUS OF 1,005.00 FEET, THE RADIUS POINT OF SAID CURVE BEARS SOUTH 14°07'31" WEST;

THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY, THE FOLLOWING 3 COURSES:

- NORTHWESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 13°57'56", AN ARC LENGTH OF 244.97 FEET;
- TANGENT TO SAID CURVE, NORTH 89°50'26" WEST, A DISTANCE OF 488.93 FEET TO THE BEGINNING OF A TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 895.00 FEET;
- WESTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 25°36'31", AN ARC LENGTH OF 400.02 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF RIDGE ROAD, AS DESCRIBED IN THE DEED RECORDED AT RECEPTION NO. 2008079259, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 11°42'14" WEST, A DISTANCE OF 29.21 FEET TO A POINT BEING 23.00 FEET OFFSET, AND PARALLEL TO THE NORTH LINE OF SAID FOUNDERS PARKWAY RIGHT-OF-WAY, BEING THE SOUTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN THE DEED RECORDED AT RECEPTION NO. 2006097242, SAID DOUGLAS COUNTY RECORDS AND THE BEGINNING OF A NON-TANGENT CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 871.99 FEET, THE RADIUS POINT OF SAID CURVE BEARS NORTH 26°56'09" EAST;

THENCE ALONG THE SOUTH AND EAST LINES OF SAID LAST DESCRIBED PARCEL OF LAND, THE FOLLOWING 2 COURSES:

- SOUTHEASTERLY ALONG SAID CURVE THROUGH A CENTRAL ANGLE OF 22°57'32", AN ARC LENGTH OF 349.41 FEET;
- NON-TANGENT TO SAID CURVE, NORTH 19°21'06" WEST, A DISTANCE OF 1,023.82 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY OF RIDGE ROAD AS DESCRIBED IN THE DEED RECORDED AT RECEPTION NO. 2008079259, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG SAID EASTERLY RIGHT-OF-WAY, NORTH 11°53'16" EAST, A DISTANCE OF 499.36 FEET TO A POINT ON THE SOUTH LINE OF THE PARCEL OF LAND DESCRIBED IN THE DEED RECORDED AT RECEPTION NO. 2021021039, SAID DOUGLAS COUNTY RECORDS;

THENCE ALONG THE SOUTH LINE OF SAID LAST DESCRIBED PARCEL OF LAND, THE FOLLOWING 4 COURSES:

- SOUTH 90°00'00" EAST, A DISTANCE OF 653.56 FEET;
- SOUTH 33°43'04" EAST, A DISTANCE OF 792.75 FEET;
- NORTH 59°57'41" EAST, A DISTANCE OF 748.96 FEET;
- NORTH 76°24'57" EAST, A DISTANCE OF 927.23 FEET TO A POINT ON THE SOUTH LINE OF SAID CANYONS SOUTH FILING NO. 1A, 3RD FILING, ALSO BEING THE WEST CORNER OF SAID TRACT V;

THENCE ALONG THE NORTH LINE OF SAID TRACT V, THE FOLLOWING 4 COURSES:

- NORTH 76°24'57" EAST, A DISTANCE OF 14.66 FEET;
- SOUTH 89°06'00" EAST, A DISTANCE OF 1,845.91 FEET;
- NORTH 74°02'37" EAST, A DISTANCE OF 891.67 FEET;
- NORTH 81°10'33" EAST, A DISTANCE OF 389.27 FEET TO A POINT ON THE SOUTH LINE OF SAID CANYONS SOUTH FILING NO. 1A, 3RD/ FILING;

THENCE ALONG SAID SOUTH LINE, THE FOLLOWING 3 COURSES:

- NORTH 63°07'04" EAST, A DISTANCE OF 395.45 FEET;
- SOUTH 73°17'30" EAST, A DISTANCE OF 198.44 FEET;
- SOUTH 85°55'00" EAST, A DISTANCE OF 165.86 FEET TO THE WEST CORNER OF SAID TRACT X;

THENCE ALONG THE NORTH LINE OF SAID TRACT X, NORTH 81°10'33" EAST, A DISTANCE OF 354.66 FEET TO THE POINT OF BEGINNING.

CONTAINING AN AREA OF 262.703 ACRES, (11,443,328 SQUARE FEET), MORE OR LESS.

GENERAL NOTES:

- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, COLORADO REVISED STATUTE.
- PER C.R.S. 38-51-106, "ALL LINEAL UNITS DEPICTED ON THIS LAND SURVEY PLAT ARE U.S. SURVEY FEET. ONE METER EQUALS 39.37/12 U.S. SURVEY FEET, EXACTLY ACCORDING TO THE NATIONAL INSTITUTE OF STANDARDS AND TECHNOLOGY."
- THE FIELD WORK FOR THIS SURVEY WAS PERFORMED BY AN AZTEC CONSULTANTS, INC. SURVEY CREW AND COMPLETED ON MARCH 31, 2023.
- BASIS OF BEARINGS: BEARINGS SHOWN HEREON ARE GRID BEARINGS DERIVED FROM GPS OBSERVATION BASED UPON THE COLORADO COORDINATE SYSTEM OF 1983 CENTRAL ZONE (NAD 83, 2011) REFERENCED TO THE EAST LINE OF THE NORTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 30, TOWNSHIP 7 SOUTH, RANGE 66 WEST, SIXTH PRINCIPAL MERIDIAN, BEING MONUMENTED AS SHOWN HEREON, TAKEN TO BEAR SOUTH 00°03'56" EAST, A DISTANCE OF 1,323.63 FEET.
- THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY AZTEC CONSULTANTS, INC. TO DETERMINE RECORD TITLE, EASEMENTS OR RIGHTS-OF-WAY. FIDELITY NATIONAL TITLE INSURANCE COMPANY TITLE REPORT NUMBER 100-N0042283-020-LM1, AMENDMENT NO. 6 WITH AN EFFECTIVE DATE OF AUGUST 16, 2023, WAS RELIED UPON FOR ALL INFORMATION REGARDING RECORD TITLE, EASEMENTS OF RECORD AND RIGHTS-OF-WAY.
- THE SURVEYED PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS – ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AND ALSO LIES WITHIN SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD – ZONE A, AREAS WITH NO BASE FLOOD ELEVATION DETERMINED, BOTH SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NOS. 08035C0187G AND 08035C0189G, BOTH MAPS REVISED MARCH 16, 2016.
- A MINIMUM OF 2-FOOT OF FREEBOARD SHALL BE PROVIDED BETWEEN THE 100-YEAR BASE FLOOD ELEVATION AND THE LOWEST FINISHED FLOOR ELEVATION OF ALL STRUCTURES (THIS INCLUDES BASEMENTS).
- BEARINGS AND DISTANCES SHOWN HEREON ARE PER RECORD UNLESS OTHERWISE NOTED.
- DRAINAGE EASEMENTS: THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES, INCLUDING, BUT NOT LIMITED TO, INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES AND DETENTION BASINS LOCATED ON THEIR PROPERTY UNLESS MODIFIED BY THE SUBDIVISION IMPROVEMENT AGREEMENT. SHOULD THE OWNER FAIL TO ADEQUATELY MAINTAIN SAID FACILITIES, THE TOWN SHALL HAVE THE RIGHT TO ENTER SAID PROPERTY FOR THE PURPOSES OF OPERATIONS AND MAINTENANCE. ALL SUCH MAINTENANCE COSTS SHALL BE ASSESSED TO THE PROPERTY OWNER. THE MAINTENANCE COSTS SHALL INCLUDE ALL COSTS FOR LABOR, EQUIPMENT AND MATERIALS, AND SHALL BE CHARGED AT 1.25 TIMES THE ACTUAL COST.
- SIGHT DISTANCE EASEMENTS (SDE) AS SHOWN HEREON ARE HEREBY DEDICATED TO THE TOWN OF CASTLE ROCK FOR THE PURPOSE OF SIGHT DISTANCE TOGETHER WITH THE FOLLOWING RESTRICTIONS OVER SAID EASEMENT: NO OBJECT WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE MORE THAN TWENTY FOUR (24) INCHES ABOVE THE FLOWLINE OF THE ADJACENT STREET. SUCH OBJECTS SHALL INCLUDE, BUT ARE NOT LIMITED TO, BUILDINGS, VEGETATION, AND UTILITY CABINETS. PARKING IS ALSO PROHIBITED WITHIN THE EASEMENT.
- UNLESS OTHERWISE NOTED, ALL LOTS SHALL HAVE A 15-FOOT UTILITY EASEMENT ALONG THE FRONT LOT LINES AND ALONG ALL PUBLIC RIGHTS-OF-WAY. THESE UTILITY EASEMENTS ARE FOR INSTALLATION, MAINTENANCE AND OPERATION OF UTILITIES AND DRAINAGE FACILITIES INCLUDING, BUT NOT LIMITED TO, WATER METERS, FIRE HYDRANTS, CURB BOXES, ELECTRIC LINES, GAS LINES, CABLE TELEVISION LINES, FIBER OPTIC LINES AND TELEPHONE LINES, AS WELL AS PERPETUAL RIGHT FOR INGRESS AND EGRESS FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF SUCH LINES. DRY UTILITY CROSSINGS MAY BE PERMITTED IN OTHER UTILITY OR DRAINAGE EASEMENTS PROVIDED THAT ANY NECESSARY CROSSING OF THE TOWN'S UTILITY IS AT A NINETY-DEGREE ANGLE. IN ALL CASES, PRIOR APPROVAL FROM CASTLE ROCK WATER SHALL BE OBTAINED FOR DRY UTILITY CROSSINGS OF EXCLUSIVE WET UTILITY EASEMENTS AND EXCLUSIVE DRAINAGE EASEMENTS.
- NO IMPROVEMENTS THAT CONFLICT WITH OR INTERFERE WITH CONSTRUCTION, MAINTENANCE OR ACCESS TO UTILITIES SHALL BE PLACED WITHIN THE UTILITY EASEMENTS. PROHIBITED IMPROVEMENTS INCLUDE, BUT ARE NOT LIMITED TO, PERMANENT STRUCTURES, BUILDINGS, COUNTERFORTS, DECKS, ATTACHED PORCHES, ATTACHED STAIRS, WINDOW WELLS, AIR CONDITIONING UNITS, GAS FIRE PITs, RETAINING WALLS/COMPONENTS AND OTHER OBJECTS THAT MAY INTERFERE WITH THE UTILITY FACILITIES OR ACCESS, USE AND MAINTENANCE THEREOF. PROHIBITED IMPROVEMENTS MAY BE REMOVED BY THE ENTITIES RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES AT THE COST OF THE PROPERTY OWNERS WHOSE PROPERTY IS SUBJECT TO THE UTILITY EASEMENT. THE UTILITY EASEMENTS AS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES, CABLE COMMUNICATION SYSTEMS FIBER AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE UTILITY SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS OVER AND ACROSS THE UTILITY EASEMENT FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES.

- SLOPE EASEMENTS AS SHOWN ON THE PLAT HEREIN ALLOW LIMITED LAND DISTURBANCE WITHIN TOWN OF CASTLE ROCK PLD AND/OR OPEN SPACE PROPERTY. SLOPE EASEMENTS ARE HEREBY GRANTED TO THE HOA/METRO DISTRICT FOR THE PURPOSE OF ON-GOING PERPETUAL MAINTENANCE OF SUCH LAND DISTURBANCE AREAS ON TOWN-OWNED PROPERTY RESULTING FROM DEVELOPMENT ACTIVITY AND ARE SUBJECT TO COMPLIANCE WITH SECTION 6.10 OF THE TOWN OF CASTLE ROCK TEMPORARY EROSION AND SEDIMENT CONTROL (TESC) MANUAL, ADOPTED BY REFERENCE TO MUNICIPAL CODE SECTION 15.34. THE HOA/METRO DISTRICT IS RESPONSIBLE FOR PERIODIC INSPECTION OF THE SLOPE EASEMENT AREAS FOR MAINTENANCE OF MINIMUM VEGETATIVE COVER AND REPAIR OF RILL AND GULLY EROSION, IN ACCORDANCE WITH TESC STANDARDS. ANY DEPOSITION OF MOBILE SOIL EROSION ORIGINATING FROM THE SLOPE EASEMENT AREA ONTO ADJACENT LAND, IMPROVEMENTS OR INFRASTRUCTURE SHALL BE REMOVED AND/OR RECLAIMED AT THE HOA'S/METRO DISTRICT'S EXPENSE. ANY DAMAGE CAUSED BY SOIL EROSION FROM THE SLOPE EASEMENT AREA SHALL BE REPAIRED AND OR REPLACED AT THE HOA/METRO DISTRICT'S EXPENSE.

- IN THE EVENT THAT THE METRO DISTRICT(S) SUBMITS A DISSOLUTION PETITION, THE METRO DISTRICT SHALL PROVIDE AN ASSUMPTION OF THE MAINTENANCE OBLIGATIONS EITHER THROUGH A MILL LEVY OR THROUGH A CONTRACT WITH THE HOA TO WHICH THE TOWN IS A PARTY TO.

LINE LEGEND

	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND

	FOUND ALIQUOT CORNER AS SHOWN HEREON	7		FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"	8		FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "COOT ROW PLS 23521"
1		9		FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
2		10		FOUND NO. 3 REBAR WITH NO CAP
3		11		FOUND NO. 5 REBAR WITH 1-1/2" ALUMINUM CAP STAMPED "MATRIX PLS 34977"
4		(ROW)		RIGHT-OF-WAY
5		P.S.CO.		PUBLIC SERVICE COMPANY OF COLORADO
6		I.R.E.A.		INTERMOUNTAIN RURAL ELECTRIC ASSOCIATION
		FP		FLOOD PLAIN LINE

TRACT SUMMARY TABLE					
TRACT	AREA (SQ.FT)	AREA (AC ±)	USE	OWNED BY	MAINTAINED BY
TRACT A	4,455,100	102.275	DRAINAGE PUBLIC ACCESS	TOWN OF CASTLE ROCK	VMD NO.1, 2, & 3
TRACT B	103,448	2.375	DRAINAGE, PARK PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT C	2,833	0.065	DRAINAGE, OPEN SPACE, PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT D	8,454	0.194	DRAINAGE, OPEN SPACE, PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT E	173,001	3.972	AMENITY CENTER, DRAINAGE, PARK & PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT F	12,558	0.288	DRAINAGE, OPEN SPACE, PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT G	25,866	0.594	DRAINAGE, OPEN SPACE PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT H	258,822	5.942	DRAINAGE, OPEN SPACE PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TRACT I	601,156	13.801	DRAINAGE, PARK, PUBLIC ACCESS	TOWN OF CASTLE ROCK	TOWN OF CASTLE ROCK
TRACT J	142,007	3.260	DRAINAGE, OPEN SPACE PUBLIC ACCESS	TOWN OF CASTLE ROCK	VMD NO.1, 2, & 3
TRACT K	998,765	22.928	DRAINAGE, OPEN SPACE PUBLIC ACCESS	TOWN OF CASTLE ROCK	VMD NO.1, 2, & 3
TRACT L	514,709	11.816	DRAINAGE, COMMERCIAL	HT CANYONS LLC	HT CANYONS LLC
TRACT M	508,751	11.679	DRAINAGE, OPEN SPACE PUBLIC ACCESS	TOWN OF CASTLE ROCK	VMD NO.1, 2, & 3
TRACT N	33,973	0.780	DRAINAGE, OPEN SPACE PUBLIC ACCESS	VMD NO.1, 2, & 3	VMD NO.1, 2, & 3
TOTAL	7,839,443	179.969			

VVMD NO. 1 = VALLEY VIEW METROPOLITAN DISTRICT NO. 1

VVMD NO. 2 = VALLEY VIEW METROPOLITAN DISTRICT NO. 2

VVMD NO. 3 = VALLEY VIEW METROPOLITAN DISTRICT NO. 3

HT CANYONS LLC = HT CANYONS SOUTH DEVELOPMENT LLC

LAND SUMMARY TABLE

TYPE	AREA (SF)	AREA (AC)	% OF TOTAL AREA
RESIDENTIAL LOTS (326)	2,362,010	54.224	21%
TRACTS (14)	7,839,443	179.969	68%
ROW	1,241,875	28.510	11%
TOTALS	11,443,328	262.703	100%

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

CANYONS FAR SOUTH FILING NO. 1

DATE OF PREPARATION:

03-25-2024

SCALE:

N/A

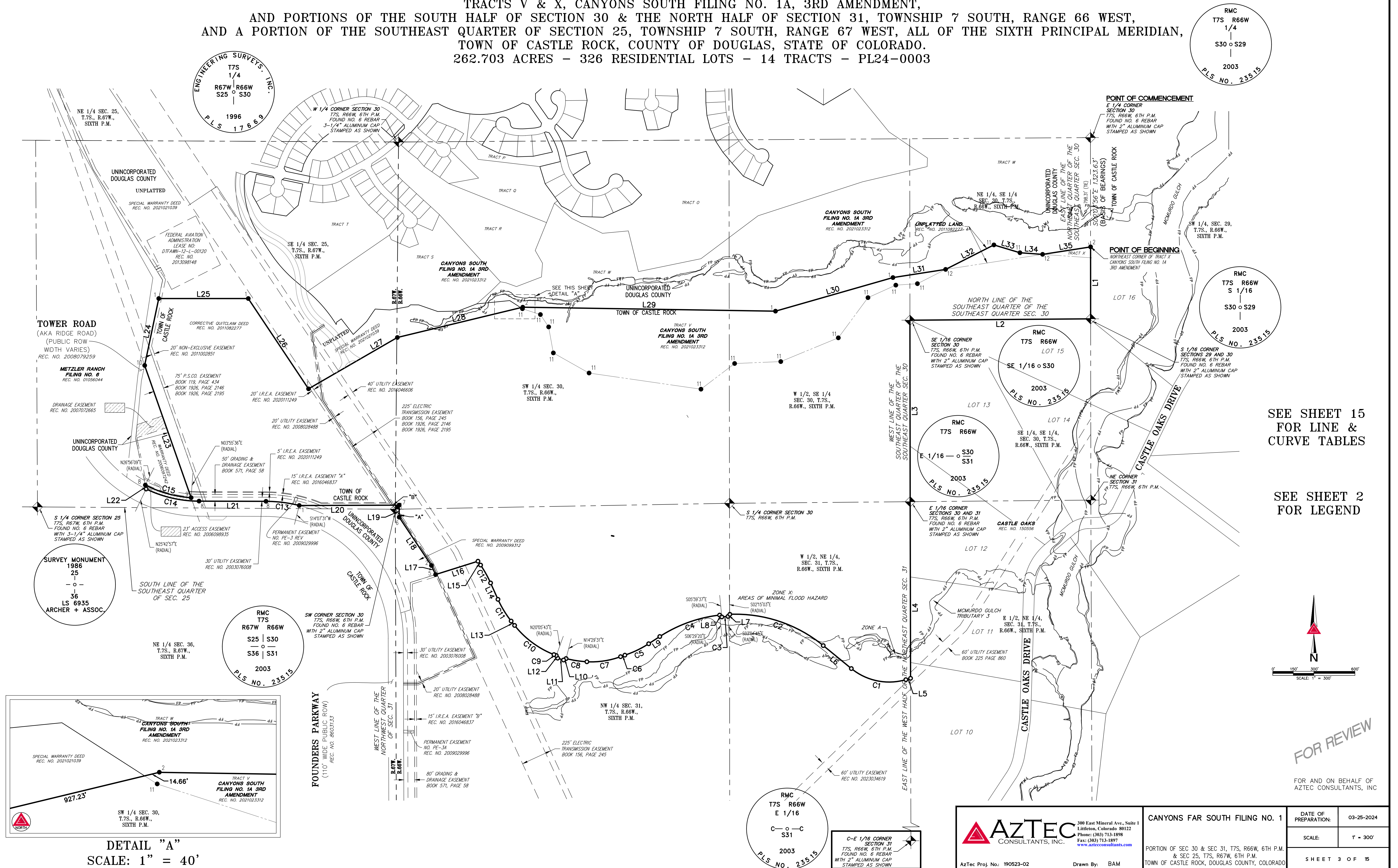
SHEET 2 OF 15

AzTec Proj. No.: 190523-02

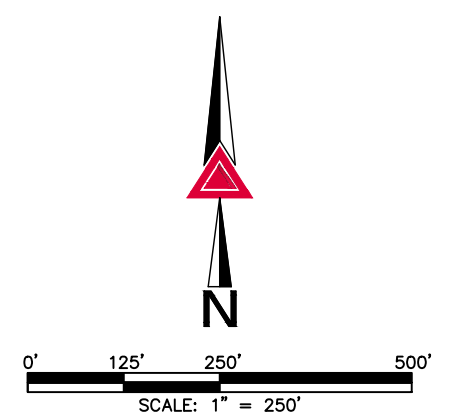
Drawn By: BAM

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M. & SEC 25, T7S, R67W, 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
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262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC



AzTec Proj. No.: 190523-02

Drawn By: BAM

CANYONS FAR SOUTH FILING NO. 1

PORTION OF SEC. 30 & SEC. 31 T7S. R66W. 6TH P.M.

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M.
& SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

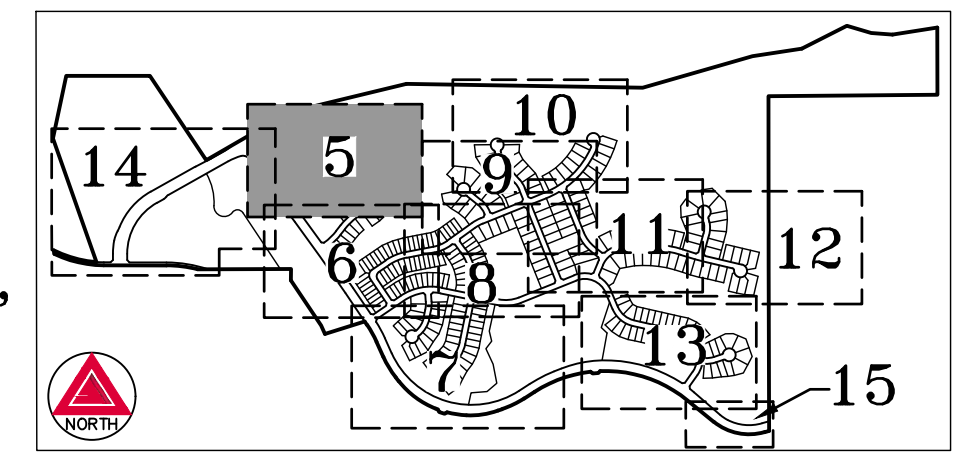
DATE OF PREPARATION:	03-25-2024
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SCALE: 1" = 250'

SHEET 4 OF 15

CANYONS FAR SOUTH FILING NO. 1

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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND

	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND

	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	(ROW) RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
	U.E. UTILITY EASEMENT
	S.D.E. SIGHT DISTANCE EASEMENT
	W.E. WATER EASEMENT
	BLOCK NUMBER



0' 25' 50' 100'
SCALE: 1" = 50'

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.



AzTec Proj. No.: 190523-02

Drawn By: BAM

CANYONS FAR SOUTH FILING NO. 1
DATE OF PREPARATION: 03-25-2024
SCALE: 1" = 50'
SHEET 5 OF 15

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M.
& SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

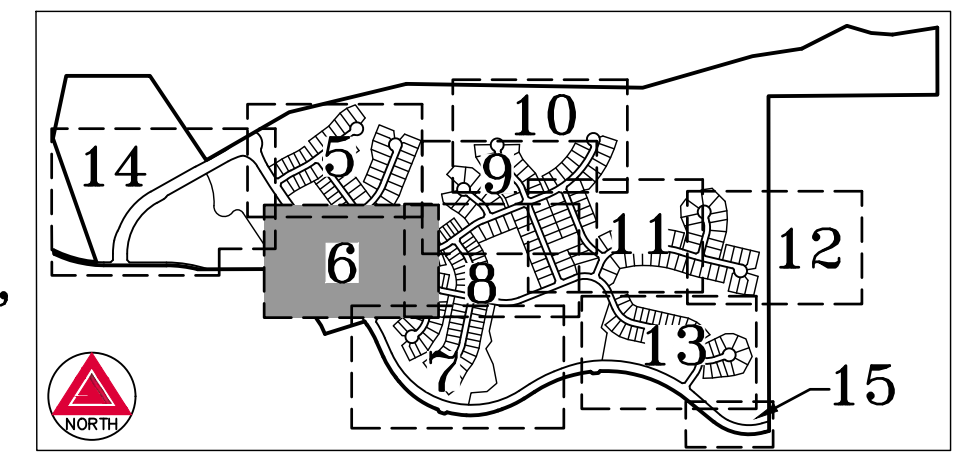
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003

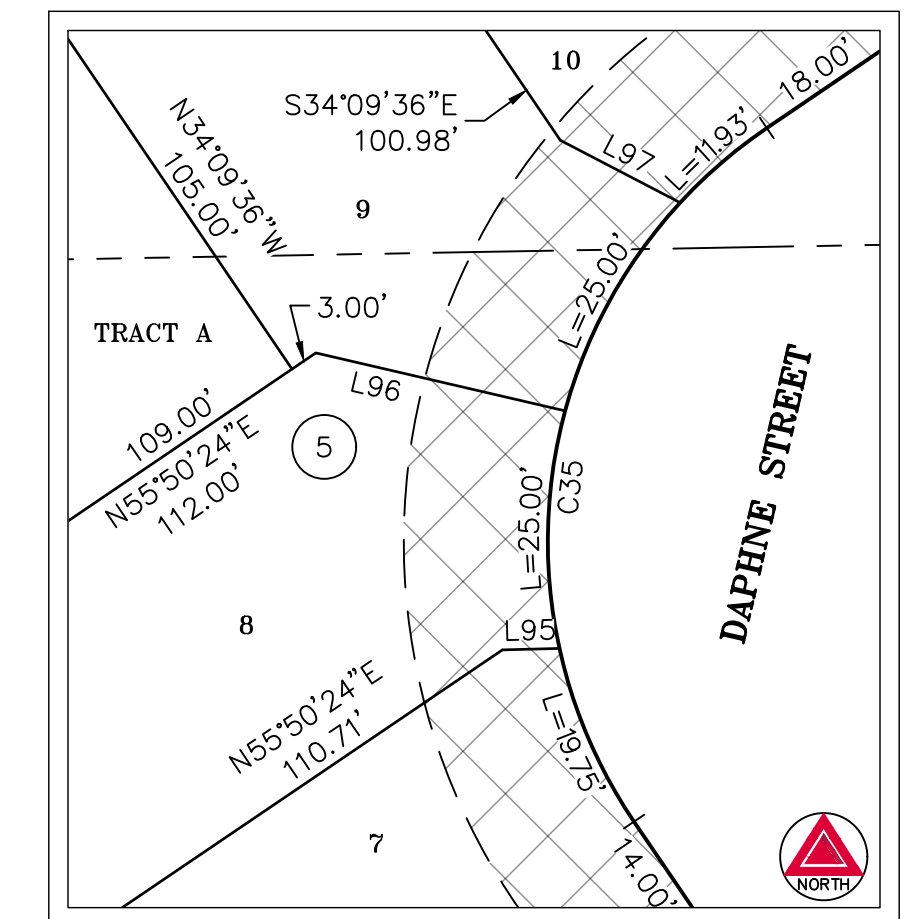
LINE LEGEND	
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

SEE SHEET 5

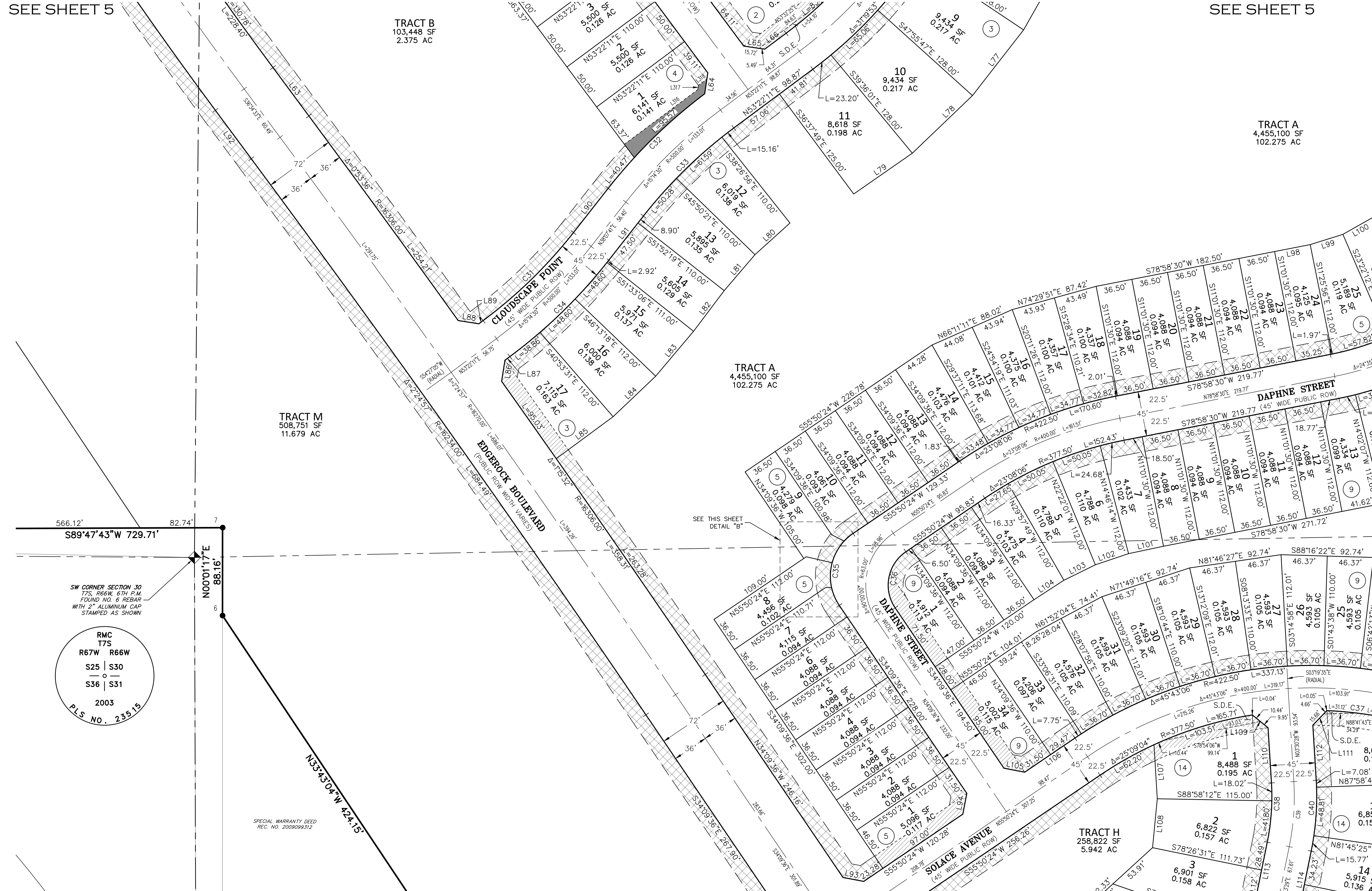
SEE SHEET 5



KEY MAP
SCALE: 1" = 1,500'

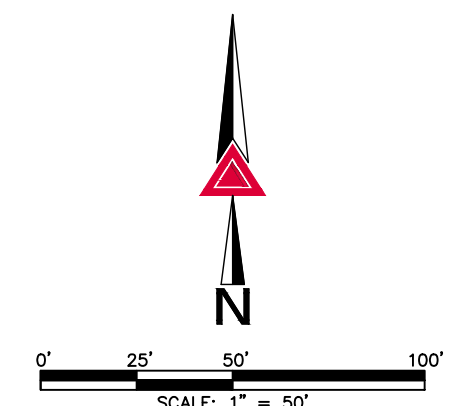


DETAIL "B"
SCALE: 1" = 20'



SEE SHEET 8

LEGEND	
	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
(ROW)	RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
U.E.	UTILITY EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.E.	WATER EASEMENT
##	BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

SEE SHEET 15
FOR LINE &
CURVE TABLES

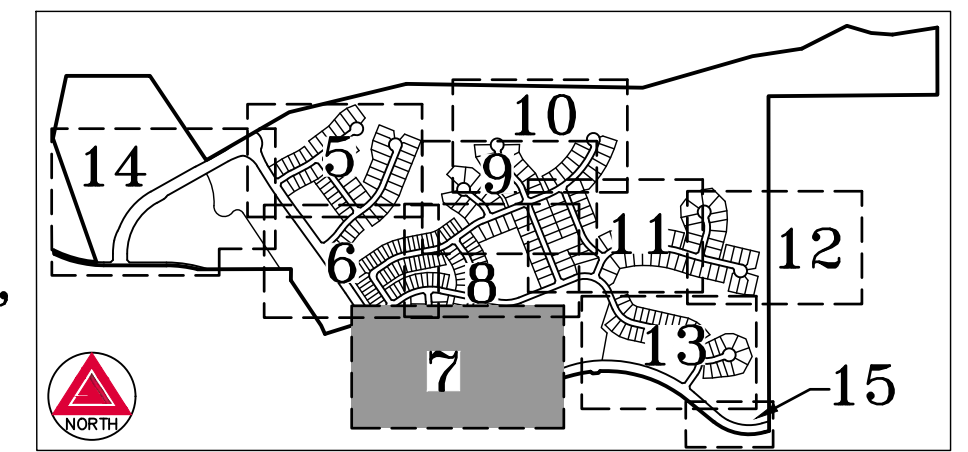
SEE SHEET 7

Aztec CONSULTANTS, INC. 300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	CANYONS FAR SOUTH FILING NO. 1		DATE OF PREPARATION:	03-25-2024
	PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M. & SEC 25, T7S, R67W, 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO		SCALE:	1" = 50'
	AzTec Proj. No.: 190523-02		Drawn By:	BAM

SHEET 6 OF 15

CANYONS FAR SOUTH FILING NO. 1

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262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

SEE SHEET 6

SEE SHEET 8

SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND

—	BOUNDARY LINE
—	RIGHT-OF-WAY LINE
—	LOT/TRACT LINE
—	CENTERLINE
—	EASEMENT LINE
—	FLOOD PLAIN LINE

LEGEND

- FOUND ALIQUOT CORNER AS SHOWN HEREON
- SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
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- (ROW) RIGHT-OF-WAY
- 15' UTILITY EASEMENT (TYP.)
- 15' SLOPE & UTILITY EASEMENT (TYP.)
- VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
- U.E. UTILITY EASEMENT
- S.D.E. SIGHT DISTANCE EASEMENT
- W.E. WATER EASEMENT
- ## BLOCK NUMBER

TRACT I
601,156 SF
13.801 AC

TRACT H
258,822 SF
5.942 AC

SEE SHEET 13

SEE SHEET 13

FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

AZTEC
CONSULTANTS, INC.

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AzTec Proj. No.: 190523-02

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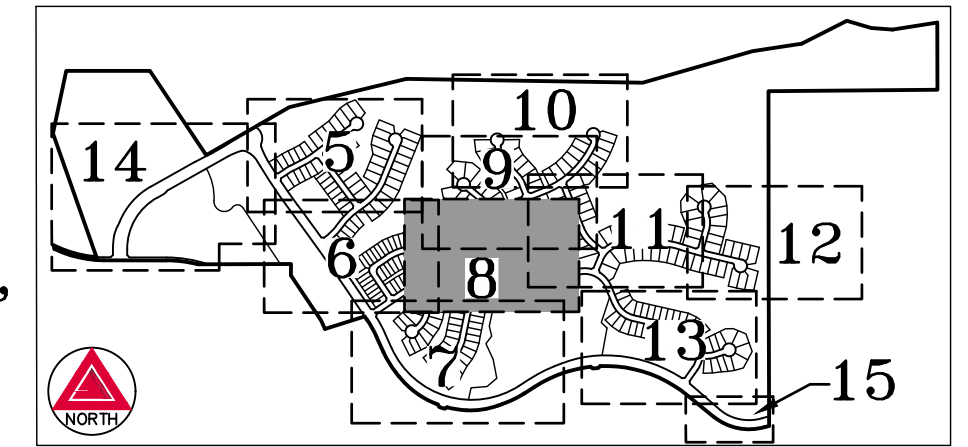
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& SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

DATE OF PREPARATION:	03-25-2024
SCALE:	1" = 50'
SHEET 7 OF 15	

CANYONS FAR SOUTH FILING NO. 1

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262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

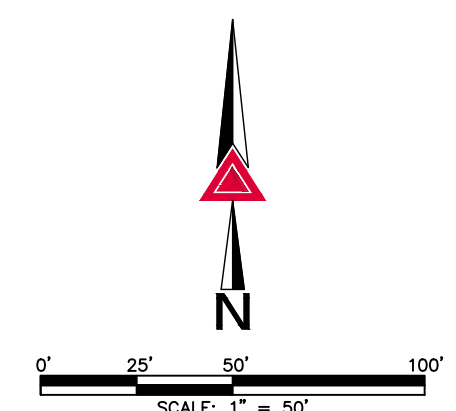
SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND

	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND

	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
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	W.E. WATER EASEMENT
	BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

SEE SHEET 13

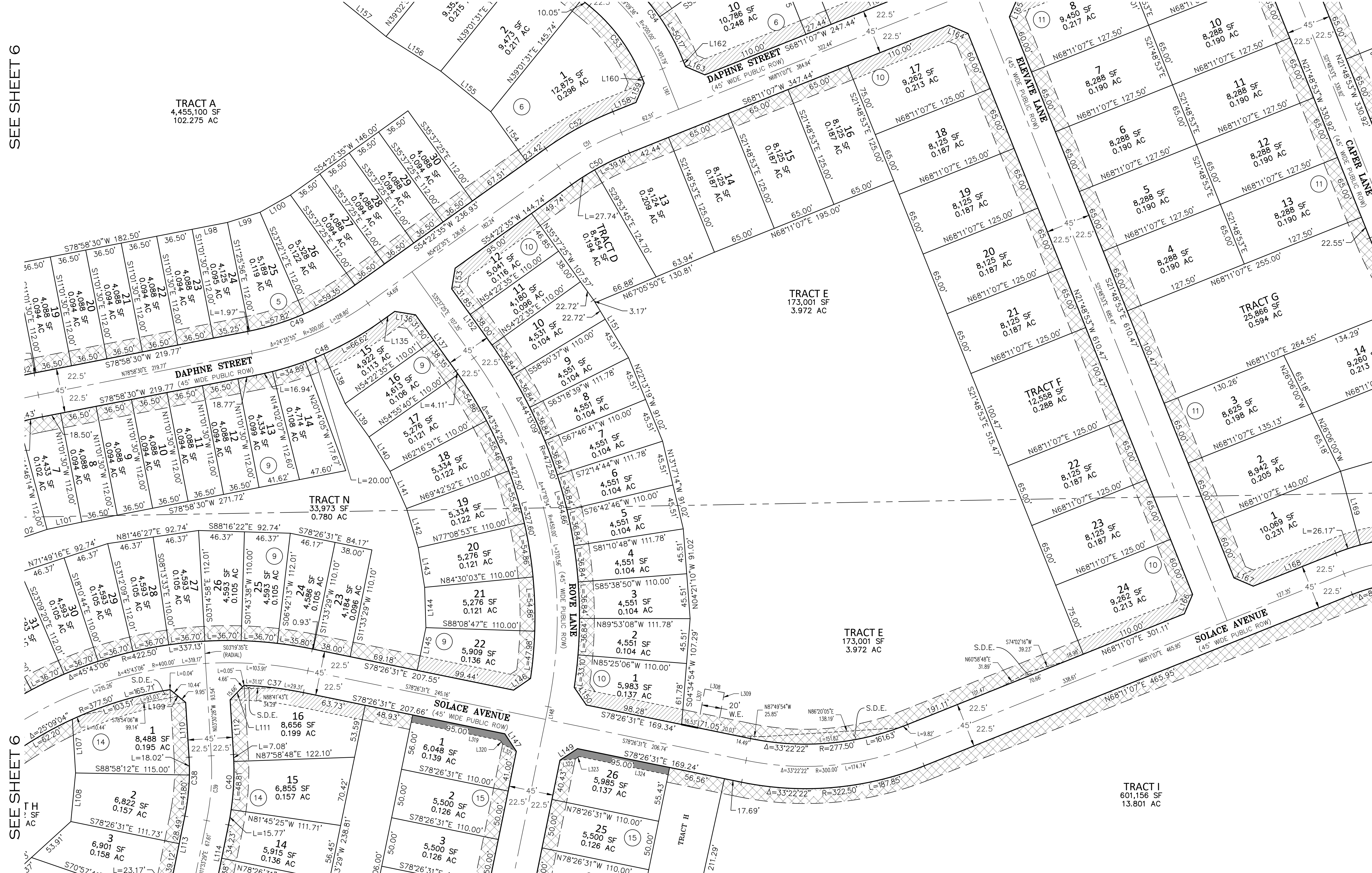
Aztec CONSULTANTS, INC. 300 East Mineral Ave., Suite 1 Littleton, Colorado 80122 Phone: (303) 713-1898 Fax: (303) 713-1897 www.aztecconsultants.com	CANYONS FAR SOUTH FILING NO. 1		DATE OF PREPARATION:	03-25-2024
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Aztec Proj. No.: 190523-02		Drawn By: BAM		SHEET 8 OF 15

SEE SHEET 9

SEE SHEET 9

SEE SHEET 6

SEE SHEET 11



SEE SHEET 6

SEE SHEET 11

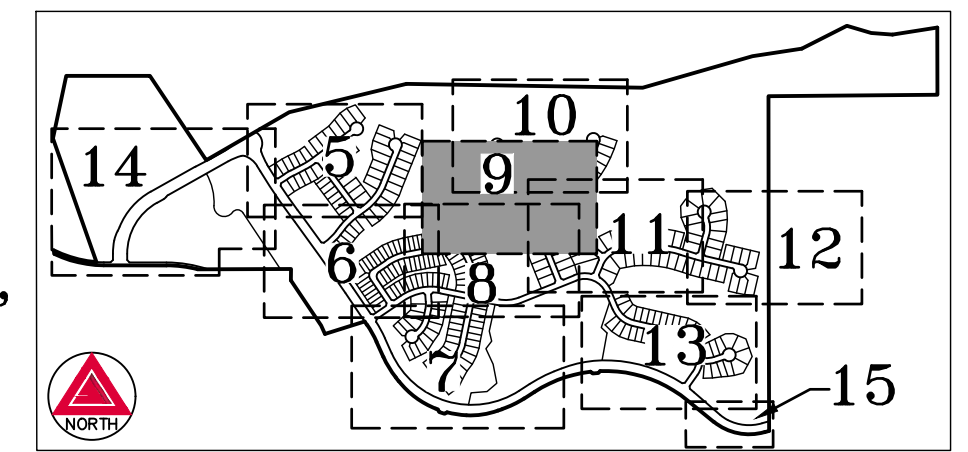
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CANYONS FAR SOUTH FILING NO. 1

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262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003

SEE SHEET 10

SEE SHEET 10



KEY MAP
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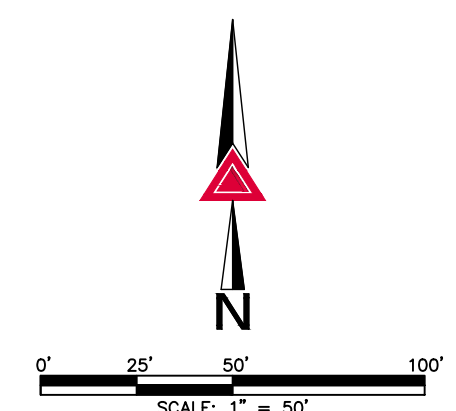
SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND

	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND

	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	(ROW) RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
	U.E. UTILITY EASEMENT
	S.D.E. SIGHT DISTANCE EASEMENT
	W.E. WATER EASEMENT
	## BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

SEE SHEET 5

SEE SHEET 10

SEE SHEET 11

TRACT A
4,455,100 SF
102.275 AC

TRACT E
173,001 SF
3.972 AC

TRACT G
25,866 SF
0.594 AC

SEE SHEET 6

SEE SHEET 8

SEE SHEET 11



AzTec Proj. No.: 190523-02

Drawn By: BAM

CANYONS FAR SOUTH FILING NO. 1

DATE OF PREPARATION: 03-25-2024

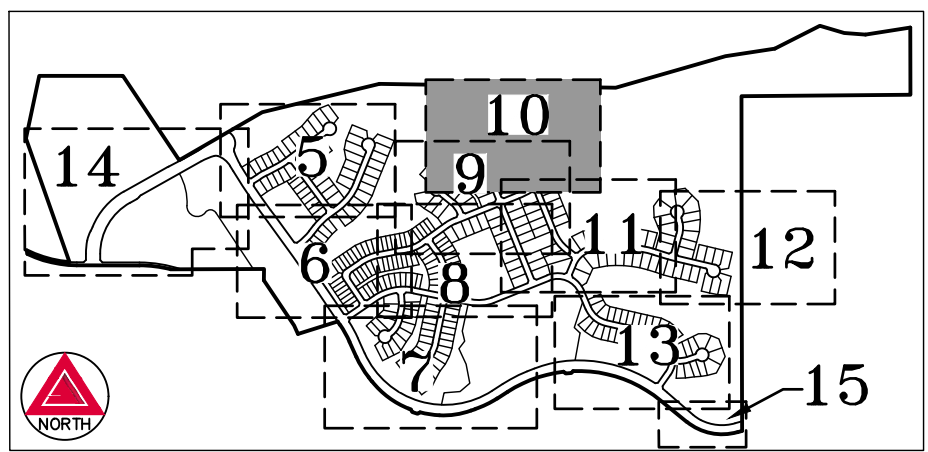
SCALE: 1" = 50'

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M.
& SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SHEET 9 OF 15

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

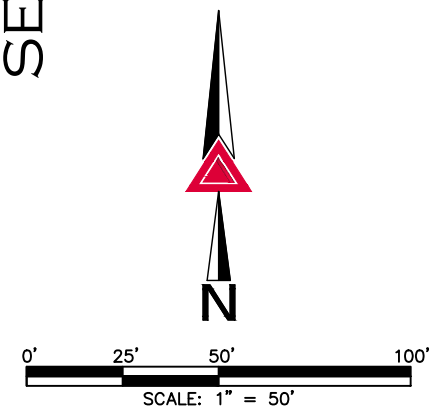
SEE SHEET 15
FOR LINE &
CURVE TABLES

SEE SHEET 15

LINE LEGEND	
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND	
	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
(ROW)	RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
U.E.	UTILITY EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.E.	WATER EASEMENT
##	BLOCK NUMBER

SEE SHEET 11



FOR REVIEW

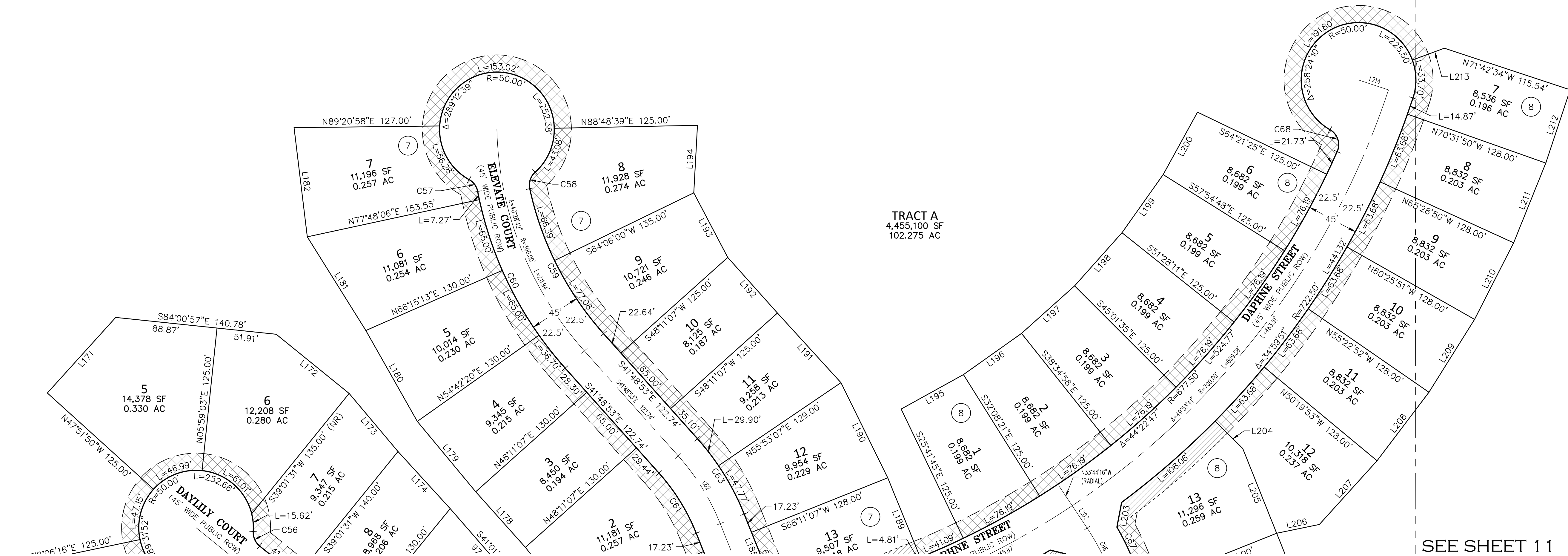
FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

SEE SHEET 11

SEE SHEET 5



S89°06'00"E 1845.91'



SEE SHEET 9

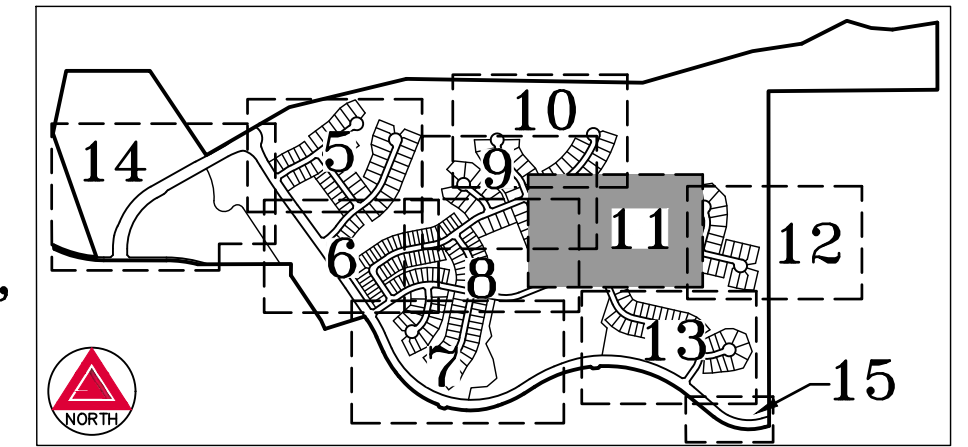


AzTec Proj. No.: 190523-02 Drawn By: BAM

CANYONS FAR SOUTH FILING NO. 1		DATE OF PREPARATION:	03-25-2024
PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M. & SEC 25, T7S, R67W, 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO		SCALE:	1" = 50'
		SHEET 10 OF 15	

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

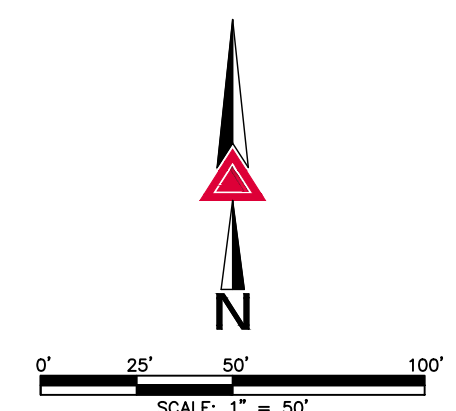
SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND

	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND

	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
(ROW)	RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
U.E.	UTILITY EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.E.	WATER EASEMENT
##	BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.



AzTec Proj. No.: 190523-02

Drawn By: BAM

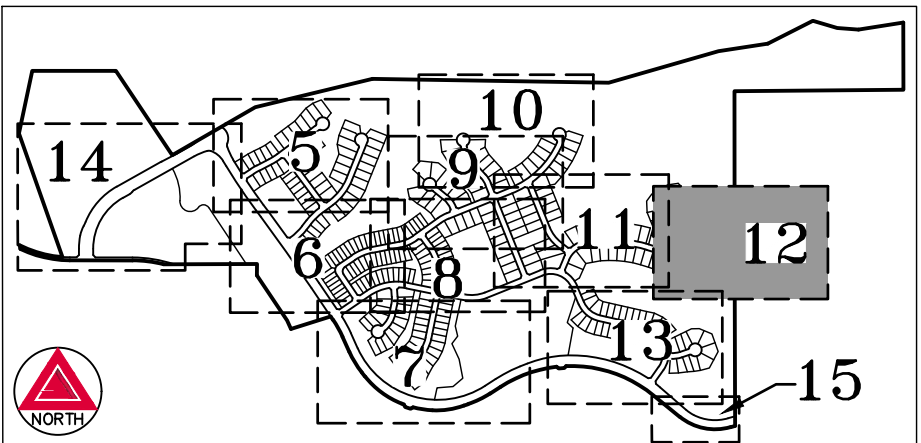
CANYONS FAR SOUTH FILING NO. 1

DATE OF PREPARATION: 03-25-2024
SCALE: 1" = 50'
PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M. & SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

SHEET 11 OF 15

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003

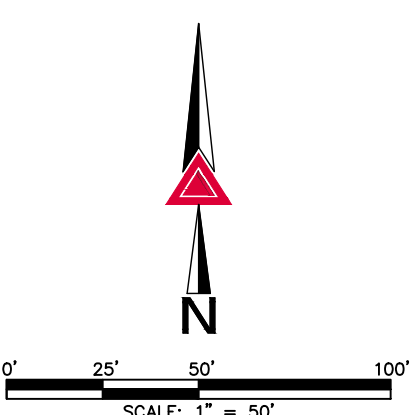


KEY MAP
SCALE: 1" = 1,500'

SEE SHEET 15
FOR LINE &
CURVE TABLES

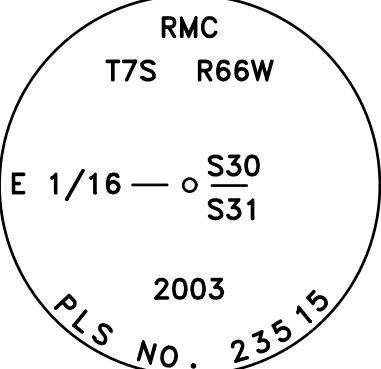
LINE LEGEND	
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND	
	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
(ROW)	RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
U.E.	UTILITY EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.E.	WATER EASEMENT
##	BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.



CASTLE OAKS
FILING NO. 1
REC. NO. 150556

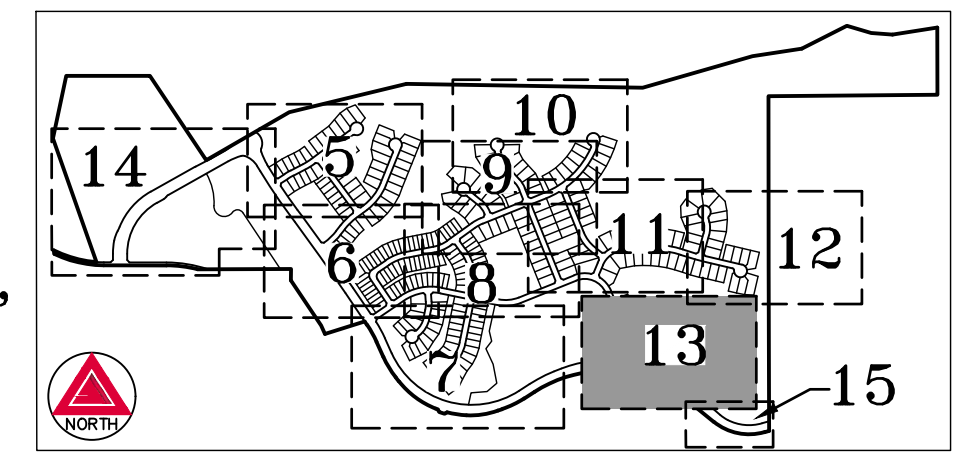
LOT 12



CANYONS FAR SOUTH FILING NO. 1		DATE OF PREPARATION:	03-25-2024
PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M. & SEC 25, T7S, R67W, 6TH P.M. TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO		SCALE:	1" = 50'
AzTec Proj. No.: 190523-02		Drawn By:	BAM
		SHEET 12 OF 15	

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

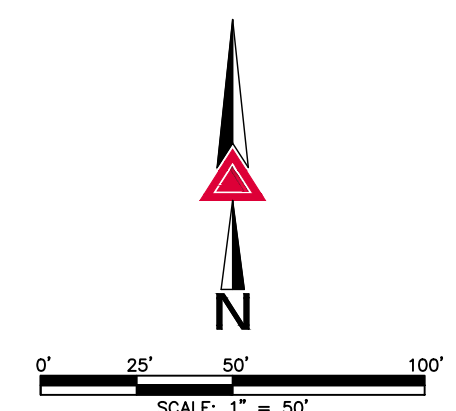
SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND

	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND

	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
	(ROW) RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
	U.E. UTILITY EASEMENT
	S.D.E. SIGHT DISTANCE EASEMENT
	W.E. WATER EASEMENT
	## BLOCK NUMBER



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.



AzTec Proj. No.: 190523-02

Drawn By: BAM

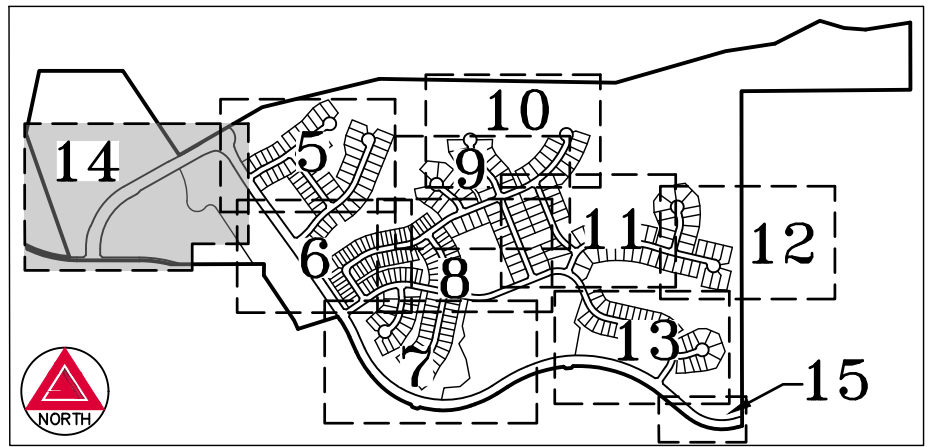
CANYONS FAR SOUTH FILING NO. 1

DATE OF PREPARATION: 03-25-2024
SCALE: 1" = 50'
SHEET 13 OF 15

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M.
& SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



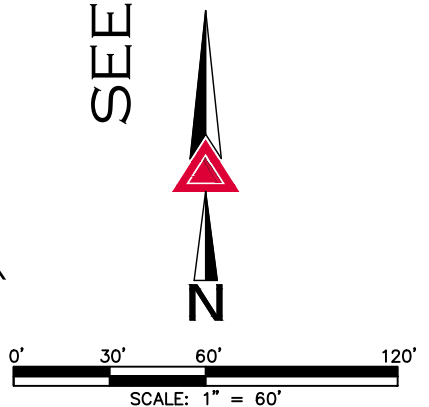
KEY MAP
SCALE: 1" = 1,500'

SEE SHEET 15
FOR LINE &
CURVE TABLES

LINE LEGEND	
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LEGEND	
	FOUND ALIQUOT CORNER AS SHOWN HEREON
	SET NO. 5 X 18" REBAR WITH 1-1/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
1	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 38151"
6	FOUND NO. 5 REBAR WITH 1" RED PLASTIC CAP STAMPING ILLEGIBLE
7	FOUND NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "AZTEC PLS 17666"
8	FOUND NO. 6 REBAR WITH 3-1/2" ALUMINUM CAP STAMPED "CDOT ROW PLS 23521"
9	FOUND NO. 4 REBAR WITH 3/4" YELLOW PLASTIC CAP STAMPED "WSSI PLS 28516"
12	FOUND NO. 4 REBAR WITH 3/4" ORANGE PLASTIC CAP STAMPED "AZTEC PLS 38367"
(ROW)	RIGHT-OF-WAY
	15' UTILITY EASEMENT (TYP.)
	15' SLOPE & UTILITY EASEMENT (TYP.)
	VARIABLE WIDTH SLOPE & UTILITY EASEMENT (TYP.)
U.E.	UTILITY EASEMENT
S.D.E.	SIGHT DISTANCE EASEMENT
W.E.	WATER EASEMENT
##	BLOCK NUMBER

SEE SHEET 6



FOR REVIEW

FOR AND ON BEHALF OF
AZTEC CONSULTANTS, INC.

TRACT K
998,765 SF
22.928 AC

UNPLATTED
SPECIAL WARRANTY DEED
REC. NO. 2021021039

TRACT M
508,751 SF
11.679 AC

TRACT L
514,709 SF
11.816 AC

FOUNDERS PARKWAY
(110' WIDE PUBLIC ROW)
REC. NO. 8603133

AzTEC
CONSULTANTS, INC.
300 East Mineral Ave., Suite 1
Littleton, Colorado 80122
Phone: (303) 713-1898
Fax: (303) 713-1897
www.aztecconsultants.com

AzTec Proj. No.: 190523-02

Drawn By: BAM

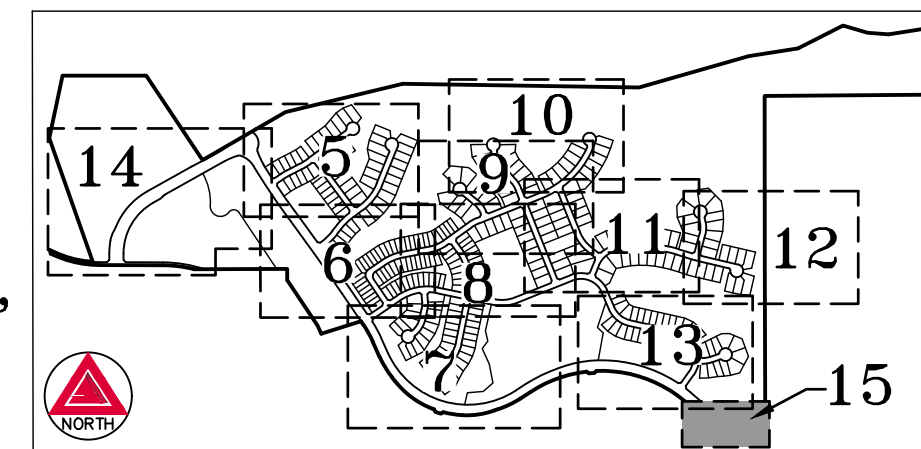
CANYONS FAR SOUTH FILING NO. 1

DATE OF PREPARATION: 03-25-2024
SCALE: 1" = 60'
SHEET 14 OF 15

PORTION OF SEC 30 & SEC 31, T7S, R66W, 6TH P.M.
& SEC 25, T7S, R67W, 6TH P.M.
TOWN OF CASTLE ROCK, DOUGLAS COUNTY, COLORADO

CANYONS FAR SOUTH FILING NO. 1

TRACTS V & X, CANYONS SOUTH FILING NO. 1A, 3RD AMENDMENT,
AND PORTIONS OF THE SOUTH HALF OF SECTION 30 & THE NORTH HALF OF SECTION 31, TOWNSHIP 7 SOUTH, RANGE 66 WEST,
AND A PORTION OF THE SOUTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 67 WEST, ALL OF THE SIXTH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO.
262.703 ACRES - 326 RESIDENTIAL LOTS - 14 TRACTS - PL24-0003



KEY MAP
SCALE: 1" = 1,500'

LINE LEGEND	
	BOUNDARY LINE
	RIGHT-OF-WAY LINE
	LOT/TRACT LINE
	CENTERLINE
	EASEMENT LINE
	FLOOD PLAIN LINE

LINE	BEARING	LENGTH
L1	S00°03'56"E	525.32'
L2	S89°33'53"W	1319.46'
L3	S00°04'19"E	1325.27'
L4	S00°07'26"E	1289.64'
L5	S73°44'56"W	35.76'
L6	N50°42'47"W	264.87'
L7	S41°28'14"W	20.90'
L8	N50°12'36"W	20.90'
L9	S57°03'01"W	96.59'
L10	S60°08'21"W	21.25'
L11	N72°42'43"W	45.11'
L12	N27°24'56"W	21.92'
L13	N38°19'08"W	40.76'
L14	N24°13'28"W	131.22'
L15	N34°09'36"W	33.99'
L16	S72°31'31"W	324.63'
L17	N24°42'07"W	72.63'
L18	N33°43'04"W	424.15'
L19	N00°01'17"E	88.16'
L20	S89°47'43"W	729.71'
L21	N89°50'26"W	488.93'
L22	N11°42'14"W	29.21'
L23	N19°21'06"W	1023.82'
L24	N11°53'16"E	499.36'
L25	S90°00'00"E	653.56'
L26	S33°43'04"E	792.75'
L27	N59°57'41"E	748.96'
L28	N76°24'57"E	941.89'
L29	S89°06'00"W	1845.91'
L30	N74°02'37"E	891.67'
L31	N81°10'33"E	389.27'
L32	N63°07'04"E	395.45'
L33	S73°17'30"E	198.44'
L34	S85°55'00"E	165.86'
L35	N81°10'33"E	354.66'
L36	S28°36'33"E	63.39'
L37	S31°21'51"E	191.34'
L38	S31°21'51"E	47.81'
L39	S31°21'51"E	16.80'
L40	S58°32'44"W	63.71'
L41	S58°20'45"W	57.83'
L42	S62°22'57"W	53.58'
L43	S63°51'56"W	50.51'
L44	S61°29'35"W	49.34'
L45	S54°59'48"W	49.17'
L46	S78°08'47"E	21.09'
L47	S56°30'37"W	60.65'
L48	S11°28'16"W	21.20'
L49	S56°30'37"W	60.89'
L50	S55°05'30"W	64.86'
L51	S58°55'19"W	48.23'
L52	S62°43'44"W	50.91'
L53	S63°51'16"W	51.01'
L54	S60°18'02"W	59.38'

LINE	BEARING	LENGTH
L55	S53°22'11"W	72.95'
L56	S53°22'11"W	9.35'
L57	S81°37'49"E	21.21'
L58	S08°22'11"W	21.21'
L59	S54°22'33"W	65.01'
L60	S68°12'12"W	72.41'
L61	S02°29'56"E	10.39'
L62	S37°36'29"W	57.94'
L63	S36°34'33"E	60.49'
L64	S08°22'11"W	21.22'
L65	S81°37'49"E	21.21'
L66	N53°22'11"E	26.81'
L67	N24°15'22"E	61.09'
L68	N10°49'49"W	77.39'
L69	N11°35'55"E	71.74'
L70	S40°41'53"E	19.85'
L71	N06°19'14"W	60.23'
L72	N40°41'45"E	61.05'
L73	N75°04'24"E	16.88'
L74	N67°57'41"W	27.50'
L75	N20°27'22"E	72.55'
L76	N29°34'33"E	83.59'
L77	N37°54'19"E	83.59'
L78	N46°14'06"E	83.59'
L79	N55°09'02"E	71.66'
L80	N47°51'22"E	47.37'
L81	N40°34'49"E	47.57'
L82	N37°01'00"E	51.05'
L83	N40°08'33"E	58.96'
L84	N46°26'35"E	59.00'
L85	N53°34'06"E	70.93'
L86	N08°57'44"E	21.43'
L87	N53°22'11"E	6.18'
L88	S81°08'36"E	21.03'
L89	N53°22'11"E	5.33'
L90	N38°07'41"E	56.40'
L91	N38°07'41"E	56.40'
L92	S36°34'33"E	60.49'
L93	S79°09'36"E	21.21'
L94	S10°50'24"W	21.21'
L95	N88°40'14"E	5.95'
L96	S76°54'29"E	26.66'
L97	S62°28'28"E	14.06'
L98	S78°58'07"W	36.43'
L99	S72°35'56"W	34.42'
L100	S60°30'12"W	35.33'
L101	S78°04'07"W	35.85'
L102	S71°25'52"W	35.18'
L103	S63°50'05"W	35.18'
L104	S56°58'49"W	35.77'
L105	S79°09'36"E	21.21'
L106	N55°50'24"E	60.97'
L107	N03°30'28"W	54.37'
L108	N05°32'56"E	49.32'

LINE	BEARING	LENGTH
L109	S50°41'21"E	20.39'
L110	N03°30'28"W	55.44'
L111	N43°51'58"E	20.32'
L112	N03°30'28"W	55.29'
L113	N11°33'29"E	67.61'
L114	N11°33'29"E	67.61'
L115	N11°12'01"E	21.35'
L116	S83°07'04"E	26.63'
L117	S48°14'23"W	53.49'
L118	N13°51'44"E	26.69'
L119	S35°09'08"W	75.01'
L120	S22°16'36"W	75.01'
L121	S11°52'27"W	50.40'
L122	S24°22'11"W	43.81'
L123	S42°42'16"W	43.81'
L124	S87°27'01"E	28.10'
L125	N09°39'00"E	23.15'
L126	N37°15'33"W	27.50'
L127	N52°44'27"E	33.35'
L128	N26°00'08"E	66.86'
L129	N28°33'19"E	73.32'
L130	N37°10'08"E	67.72'
L131	N27°33'58"E	67.72'
L132	N17°57'47"E	67.72'
L133	N09°35'19"E	53.58'
L134	S68°26'25"W	61.60'
L135	S54°22'35"W	17.19'
L136	N80°37'25"W	21.21'
L137	N35°37'25"W	69.85'
L138	N23°16'22"W	54.62'
L139	S35°37'25"E	41.40'
L140	N31°23'45"W	40.72'
L141	N24°00'09"W	41.16'
L142	N16°34'08"W	41.16'
L143	N09°10'32"W	40.72'
L144	N01°49'22"W	40.72'
L145	S11°33'29"W	44.09'
L146	N55°25'25"E	20.79'
L147	S33°26'31"E	21.21'
L148	S11°33'29"W	13.07'
L149	N56°33'29"E	21.21'
L150	S34°28'06"E	21.59'
L151	N31°09'23"W	65.05'
L152	N35°37'25"W	69.85'
L153	S09°22'35"W	21.21'
L154	N35°37'25"W	62.57'
L155	N50°58'29"W	65.00'
L156	N57°38'18"W	65.46'
L157	S63°50'05"W	81.05'
L158	S68°11'07"W	25.01'
L159	S23°11'07"W	21.21'
L160	N21°48'53"W	6.60'
L161	N21°48'53"W	44.10'
L162	N21°48'53"W	6.60'

LINE	BEARING	LENGTH
L163	N66°48'53"W	21.21'
L164	N66°48'53"W	21.21'
L165	S23°11'07"W	21.21'
L166	N23°11'07"E	21.21'
L167	S66°48'53"E	21.21'
L168	S68°11'07"W	89.85'
L169	N15°04'34"W	77.07'
L170	N11°53'44"W	63.38'
L171	N42°08'10"E	88.87'
L172	S50°58'29"E	81.91'
L173	S40°05'21"E	66.19'
L174	S42°27'00"E	67.49'
L175	S21°48'53"E	80.42'
L176	S21°48'53"E	75.00'
L177	S38°09'39"E	63.72'
L178	S41°48'53"E	65.00'
L179	S39°42'40"E	79.74'
L180	S29°31'14"E	91.05'
L181	S32°03'19"E	96.31'
L182	S06°53'49"E	95.87'
L183	S23°11'07"W	21.21'
L184	S21°48'53"E	77.23'
L185	S21°48'53"E	77.23'
L186	N66°48'53"W	21.21'
L187	N68°11'07"E	108.73'
L188	S68°11'07"W	108.73'
L189	S22°13'16"E	74.98'
L190	S26°12'10"E	92.39'
L191	S42°23'37"E	82.20'
L192	S41°48'53"E	65.00'
L193	S27°44'58"E	63.62'
L194	S03°08'28"W	58.97'
L195	N61°04'57"E	62.10'
L196	N54°38'20"E	62.10'
L197	N48°11'44"E	62.10'
L198	N41°45'07"E	62.10'
L199	N35°18'30"E	62.10'
L200	N28°51'54"E	62.10'
L201	N76°32'03"W	21.28'
L202	S33°44'16"E	23.42'
L203	N10°52'53"E	21.94'
L204	N45°16'53"W	34.05'
L205	N21°48'53"W	79.46'
L206	N78°21'52"E	38.01'
L207	N42°11'37"E	74.94'
L208	N37°08'38"E	74.94'
L209	N32°05'38"E	74.94'
L210	N27°02'39"E	74.94'
L211	N21°59'40"E	74.94'
L212	N18°22'06"E	67.32'
L213	S69°40'20"W	29.83'
L214	S71°42'34"E	27.50'
L215	N63°37'15"E	22.60'
L216	S22°29'19"W	83.23'

LINE	BEARING	LENGTH
L217	N10°38'04"W	22.60'
L218	N51°46'00"W	71.35'
L219	N51°46'00"W	71.35'
L220	S87°06'04"W	22.60'
L221	N63°36'45"E	95.90'
L222	N78°56'26"E	87.29'
L223	N83°57'29"E	67.93'
L224	N86°05'01"E	72.35'
L225	N89°41'26"E	72.35'
L226	S86°42'09"E	72.35'
L227	S83°05'44"E	72.35'
L228	S79°29'18"E	72.35'
L229	S75°53'24"E	72.01'
L230	N02°11'50"W	89.49'
L231	N36°04'24"E	69.96'
L232	N61°05'46"E	20.86'
L233	S82°47'03"W	55.94'
L234	S82°47'03"W	55.94'
L235	S22°29'19"W	83.23'
L236	N18°38'37"W	22.60'
L237	N56°36'34"E	46.00'
L238	S87°08'39"W	63.13'
L239	N88°36'43"W	63.13'
L240	N84°22'04"W	63.13'
L241	N80°07'25"W	63.13'
L242	N75°52'46"W	63.13'
L243	N73°01'21"W	64.65'
L244	N71°11'24"W	65.20'
L245	N74°49'54"W	72.35'
L246	N78°30'59"W	65.84'
L247	S82°17'07"W	87.35'
L248	S10°48'59"E	74.79'
L249	N03°26'22"W	67.14'
L250	S04°10'51"W	96.79'
L251	S12°14'41"E	29.98'
L252	N12°14'41"W	29.98'
L253	S30°49'11"E	20.86'
L254	S45°52'04"W	24.92'
L255	N80°14'43"E	69.93'
L256	N72°44'13"W	94.65'
L257	S87°17'58"E	71.20'
L258	S78°32'28"E	65.03'
L259	N76°46'43"W	65.00'
L260	N72°12'25"E	15.00'
L261	S38°21'34"E	44.82'
L262	S13°13'17"W	27.50'
L263	S23°12'30"E	50.00'
L264	S30°53'36"E	39.67'
L265	S61°33'35"E	36.04'
L266	S77°59'09"E	61.83'
L267	S64°29'48"E	72.01'
L268	S52°10'30"E	72.01'
L269	S39°51'11"E	72.01'
L270	N46°14'29"W	61.41'

LINE	BEARING	LENGTH
L271	S44°30'12"E	72.01'
L272	S56°49°30"E	72.01'
L273	S69°56'19"E	71.91'
L274	S79°12'34"E	53.54'
L275	S69°39°01"E	49.25'
L276	S41°53'38"E	40.45'
L277	S05°02°00"E	40.38'
L278	N79°24°28"E	21.50'
L279	S85°33°33"E	38.60'
L280	N44°25°37"W	22.60'
L281	S85°33°33"E	2.24'
L282	N71°20°30"E	65.71'
L283	S89°05°18"W	61.05'
L284	N75°51°15"E	73.03'
L285	N81°32°49"E	50.40'
L286	N85°58°42"E	51.68'
L287	N81°57°11"E	70.23'
L288	N88°17°33"E	72.01'
L289	N71°20°30"E	65.71'
L290	S85°33°33"E	2.24'
L291	N53°18°31"E	22.60'
L292	N60°44°43"E	60.93'
L293	N00°00°00"E	48.74'
L294	S44°55°13"E	25.49'
L295	S00°00°00"E	48.43'
L296	N45°04°47"E	25.42'
L297	N89°50°26"W	52.56'
L298	S73°44°56"W	56.58'
L299	N73°44°56"E	46.17'
L300	S08°32°51"E	21.68'
L301	N45°04°47"E	41.66'
L302	S89°50°26"E	19.68'
L303	S24°34°40"W	40.00'
L304	N65°26°58"W	20.00'
L305	S24°34°40"W	40.00'
L306	N65°26°58"W	20.00'
L307	N10°28°26"E	39.81'
L308	S79°31°34"E	20.00'
L309	S10°28°26"W	40.19'
L310	N33°29°19"E	38.64'
L311	N56°30°41"W	20.00'
L312	S33°29°19"W	39.47'
L313	N38°14°43"E	29.68'
L314	N33°43°30"W	21.03'
L315	S38°14°43"W	38.82'
L316	N53°22°11"E	91.89'
L317	N08°22°11"E	4.39'
L318	N53°22°11"E	10.61'
L319	S78°26°31"E	91.89'
L320	S33°26°31"E	4.39'
L321	S62°07°01"E	15