

1. THE PURPOSE OF THIS AMENDMENT IS TO COMBINE THE EXISTING COOPER-HOOK INTEGRATED BUSINESS - PD (LOT 4) AND THE ALEXANDER PLACE PD TO CREATE AN OVERALL MASTER PLAN FOR THE TWO PROPERTIES THAT REVISES THE PROPOSED LAND USE TO SINGLE FAMILY DETACHED RESIDENTIAL.
2. THE MINERAL RIGHTS ASSOCIATED WITH THIS DEVELOPMENT HAVE NOT BEEN SEVERED, AND THERE ARE NO MINERAL OWNERS ASSOCIATED WITH THE PROPERTY. AS SUCH NOTIFICATION OF DEVELOPMENT HEARINGS BEFORE PLANNING COMMISSION AND TOWN COUNCIL IS NOT REQUIRED.
3. THIS SITE LIES WITHIN FEMA FLOOD ZONE X PER MAP 08035C0186G DATED MARCH 16, 2016. NO STRUCTURES SHALL BE PERMITTED IN THE APPROVED 100-YEAR FLOOD PLAIN.
4. THE WESTERN EDGE OF THE DEVELOPMENT PLAN IS IMPACTED BY THE TOWN OF CASTLE ROCK RESIDENTIAL/NON-RESIDENTIAL INTERFACE REGULATIONS. INTERFACE AREAS MUST ADHERE TO CHAPTER 17.50 OF THE TOWN OF CASTLE ROCK MUNICIPAL CODE REGARDING MITIGATION PROCEDURES. A 10-FOOT-WIDE SETBACK IS PROVIDED BY THE NON-RESIDENTIAL USE TO THE WEST AND THIS DEVELOPMENT PLAN ADDS AN ADDITIONAL 20-FOOT-WIDE SETBACK THEREBY MEETING THE REQUIREMENTS OF THE RESIDENTIAL/NON-RESIDENTIAL INTERFACE REGULATIONS.
5. THIS SITE IS WITHIN THE TOWN OF CASTLE ROCK [METZLER BLUE] WATER PRESSURE ZONE.
6. ALL-WEATHER (CONCRETE OR ASPHALT) SURFACED ACCESS ROADS CAPABLE OF WITHSTANDING THE IMPOSED LOADS OF FIRE APPARATUS (75,000 LBS.) AND ALL REQUIRED FIRE HYDRANTS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO AND DURING ALL CONSTRUCTION.
7. RIGHT-OF-WAY FOR INGRESS AND EGRESS FOR EMERGENCY VEHICLES IS GRANTED OVER, ACROSS, ON AND THROUGH ANY AND ALL PRIVATE ROADS AND DRIVES.
8. URBAN/WILDLAND INTERFACE AREA MANAGEMENT PLAN TO BE EVALUATED BY THE TOWN OF CASTLE ROCK FIRE DEPARTMENT AS APPROPRIATE TO EACH PLANNED DEVELOPMENT (PD). A MANAGEMENT PLAN HAS NOT BEEN DEVELOPED FOR THIS PD.

A TRACT OF LAND LOCATED IN THE NORTH ONE HALF OF SECTION 26,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO



DATE _____

TOWN CLERK _____ DATE _____

DEV STANDARDS

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Designed By: HDG
Date: 05/11/2026
Sheet:

Prepared By: HDG
Checked By: KZH
Job No.:

Location:	TOWN OF CASTLE ROCK, COLORADO
Plan Set:	PLANNED DEVELOPMENT PLAN
Sheet Name:	COVER SHEET

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Sheet: 1 of 4

ALEXANDER PLACE PDP - AMENDMENT NO. 1
PLANNED DEVELOPMENT PLAN

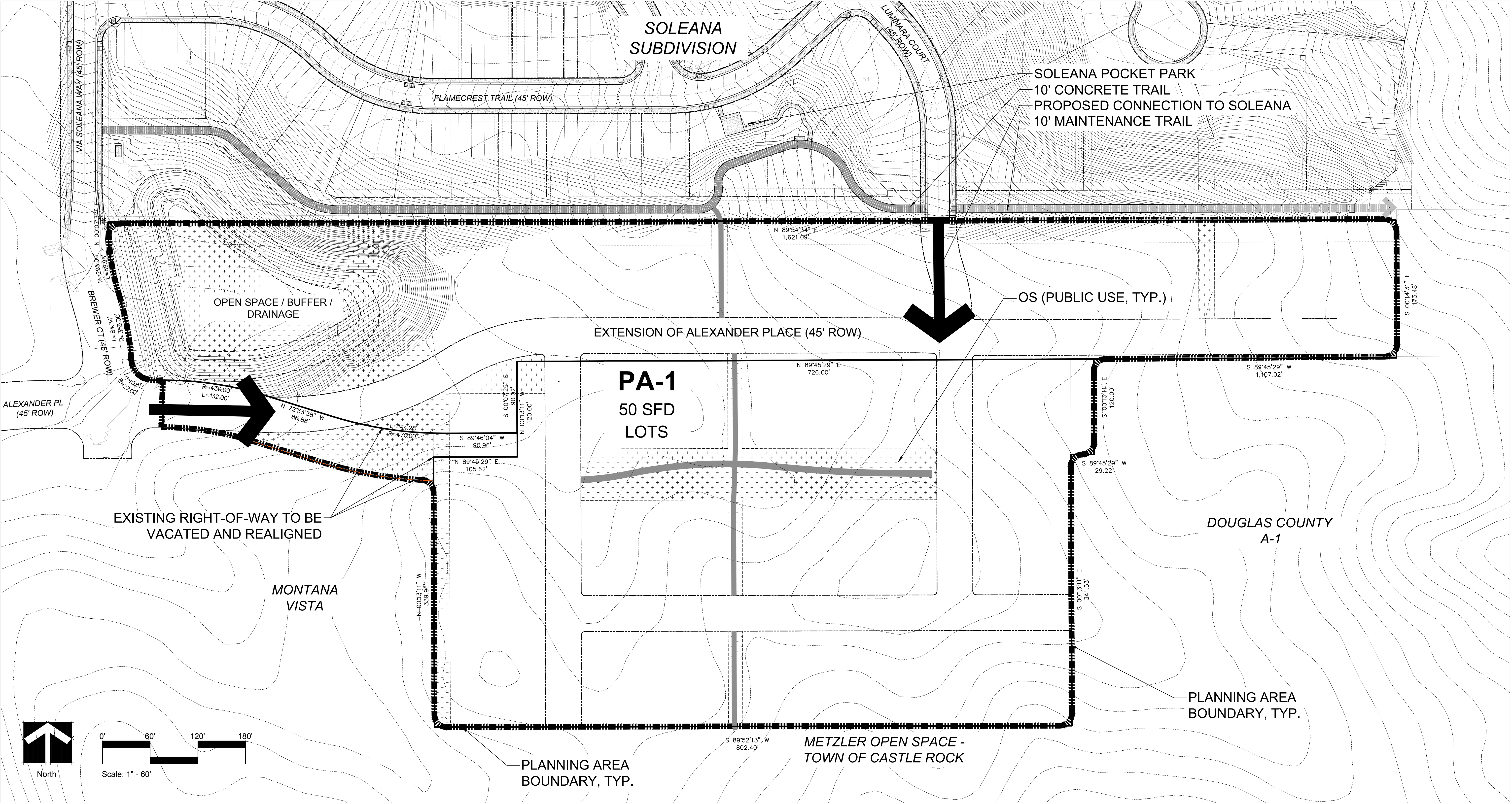
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TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

LEGEND

- PLANNING AREA
BOUNDARY - 50' SFD
- OS (PUBLIC OPEN SPACE)
3.30 ACRES +/-
- PUBLIC ROW
- 10' CONCRETE TRAIL
- 5' CONCRETE TRAIL
- PROPOSED ACCESS POINT

LAND USE SUMMARY

USE	DWELLING UNITS	AREA (AC)	PERCENT OF TOTAL
PA-1	50	15.5180	100%
TOTAL	50	15.5180	100%



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ALEXANDER PLACE PDP - AMENDMENT NO. 1 PLANNED DEVELOPMENT PLAN

A TRACT OF LAND LOCATED IN THE NORTH ONE HALF OF SECTION 26,
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN
TOWN OF CASTLE ROCK, COUNTY OF DOUGLAS, STATE OF COLORADO

4.0 PRIVATE PARK AND OPEN SPACE REQUIREMENTS (WITHIN PA-1)

- A. A minimum of 1.80 acres of the site shall be provided in parks, trails, and open space
- B. Permitted Uses
 - 1. Picnic areas
 - 2. Seating nodes and lookouts
 - 3. Grading and drainage improvements
 - 4. Public utilities and associated structures
 - 5. Pocket parks and playgrounds
 - 6. Trails
 - 7. Park amenities and site furnishings
 - 8. Landscaping

SECTION 5 OVERALL PROJECT STANDARDS

These PD regulations shall not preclude the application of Town ordinances, including revisions to this Title, which are of general application throughout the Town, unless such application conflicts with an express vested property right. The standard zoning requirements of the Town of Castle Rock Zoning Ordinance including off-street parking, development standards, landscaping, site development, accessory, and temporary uses, and use by special review and variance processes shall apply to this Planned Development, except as modified herein.

5.1 Architectural Design Standards

A. Colors and Materials

Architectural design of the home shall be in accordance with the design guidelines established by the HOA/Metro District as applicable.

- 1. All occupied structures and accessory structures shall be constructed and maintained so that predominant exterior wall colors (including the colors of basement walls on the downhill side of the structure) and roof surfacing materials are high quality and consistent for the majority of the structure.
- 2. Colors shall predominately be muted on the primary structure with accent colors limited to architectural features.
- 3. Materials shall include high quality masonry, hardy plank siding, stone, or stucco.
- 4. Reflective materials and bright colors that contrast dramatically with the colors of the sky, land, and vegetation around them shall not be used as predominant colors.
- 5. Colors and materials shall be approved by the HOA/ Metro District as applicable.

B. Building Siding

All building siding shall cover exposed foundations to grade level, except as required by applicable Building Codes.

C. Architectural Design Approval

All architecture of the homes must be submitted to the HOA/Metro District, as applicable for approval prior to submittal for a building permit. Plans not approved shall be modified in accordance with the requirements of the HOA/Metro District as applicable and resubmitted for approval. A building permit may not be obtained if the HOA/District, as applicable, has not approved the architectural plans.

5.2 Lighting

All lighting shall be in accordance with Chapter 17.58 of the Castle Rock Municipal Code, as amended.

5.3 Fencing

The following requirements apply to any new fencing.

- A. For Lots adjacent to open space, perimeter fences are limited to open rail with a maximum height of four (4) feet and shall consist of a minimum level of transparency, such as split rail or open rail. A 2" x 4" wire mesh grid is permitted on the lot side of the open rail fence for pet enclosure.
- B. Fences taller than 30 inches in height above the street flowline are prohibited in sight distance easements.
- C. Perimeter privacy fencing a maximum of 6-feet in height is permitted on side and rear lot lines where not adjacent to open space. A perimeter fence is permitted adjacent to the landscape buffer tract along the western property line.
- D. Barbed wire and chain link are not allowed fencing types.

5.4 Landscaping

- A. Landscape design regulations will be provided in future design guidelines/covenants established by the HOA/Metro District as applicable.
- B. All landscaping shall be in conformance with Town of Castle Rock Landscape and Irrigation Performance Standards and Specifications.

5.5 Signage

- A. Two project identification signs are permitted. Each sign face shall be a maximum of 32 square feet.
- B. The maximum height of the monument shall be eight (8) feet.
- C. There is no maximum square footage requirement for the monument.
- D. The monument/sign shall not be located within sight visibility triangles
- E. Monument/signage shall not be located within 25 feet of public rights-of-way with the exception of within medians in the right-of-way.
- F. The monument/sign may be illuminated by either an internal or external light source.

5.6 Grading / Drainage

The grading/drainage of an individual lot or open space tracts shall not vary from the Final Plat Grading Plan without the written approval of the HOA/Metro district as applicable, and its Engineer(s). Any unauthorized work performed will be required to be returned to the specified grade by the individual(s) or organization(s) that authorized the change without proper approval. All retaining walls used in the grading concept and materials shall be approved by the HOA/Metro District as applicable, prior to construction.

5.7 Compliance with Residential/Nonresidential Interface Regulations

The western property line of Alexander Place PDP Amendment No. 1 is subject to the Residential/Nonresidential Interface Regulations as required in Chapter 17.51.04 of the Town of Castle Rock Municipal Code as amended. Montana Vista, the office development to the west, has provided a landscape buffer of 10 feet. Alexander Place PDP Amendment No. 1 shall provide a 20-foot-wide buffer thereby establishing a total buffer width of 30-feet in width between the two developments.

5.8 Wildland Fire Mitigation

The natural topography and existing vegetation of the development site and adjacent open space suggests that the design of the homes and the neighborhood incorporate methods to limit the potential for the spread of wildland fires into the community. National Fire Protection Association measures approved by the Town of Castle Rock Fire Department shall be incorporated into the Site Development Plan.

5.9 Planning and Design

- A. The design and construction of any lot or structure shall consider the relationship of roads and buildings to existing slope grades and drainage-ways and shall achieve a fit with the landscape that is not intrusive.
- B. Structures in sloping areas shall be designed to conform to the slope by means of stepped foundations, retaining walls or similar methods that will seek to minimize grading and site preparation.
- C. Grading shall be shaped to complement the natural landforms.
- D. Roads on steep slopes or heavily vegetated areas shall be designed to limit, as practical, the area of disturbance.

SECTION 6 SUBMISSION OF SITE DEVELOPMENT PLANS AND/OR PLATS

- 6.1 Following approval of the Alexander Place PDP Amendment No. 1 Planned Development, the Property Owners shall submit a Site Development Plan for all, or any portion or portions of the general Use Areas as they are then ready for development.
- 6.2 No structural building permit will be issued until a Site Development Plan and Plat have been presented to and approved by the Town.
- 6.3 In those cases where the Subdivision Regulations of the Town of Castle Rock require approval of a Plat by the Town Council prior to sale or transfer of lands, a sale or transfer of a portion or portions of the Land is permitted without prior approval of a Site Development Plan, provided a Plat has been approved, which must contain the following language:

"Pursuant to the Town of Castle Rock Municipal Code, no building permit will be issued for the erection of any structural improvement in any area described hereon for which a Site Development Plan and Plat has not been approved by the Town of Castle Rock."

SECTION 7 TRANSITIONAL USE

- 7.1 After approval of the Alexander Place PDP Amendment No. 1 Planned Development Plan incorporated herein by reference, any portion or portions of the property described above, which has not been subjected to a Plat, may be used for agricultural purposes until approval of a Plat for the area or areas in question. Agricultural uses, for purposes of this section, shall mean farming, ranching, pre-existing residential uses, gardening, buildings, and outbuildings pertaining thereto. It shall not be deemed to include commercial feed yards, commercial poultry or pig farms, fur farms, or kennels.
- 7.2 Any activity permitted by this Section shall be considered to be a valid pre- existing non-conforming use within the area described above until a Plat for such area or areas has been approved.
- 7.3 Such transitional use areas shall be closed to vehicular traffic and off-road recreational motor biking excepting agricultural vehicles and implements, emergency vehicles, vehicles engaged in utility and other maintenance work, and designees of the Developer.



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