

PUBLIC IMPROVEMENT CONSTRUCTION PLANS CASTLE MEADOWS FILING NO. 1

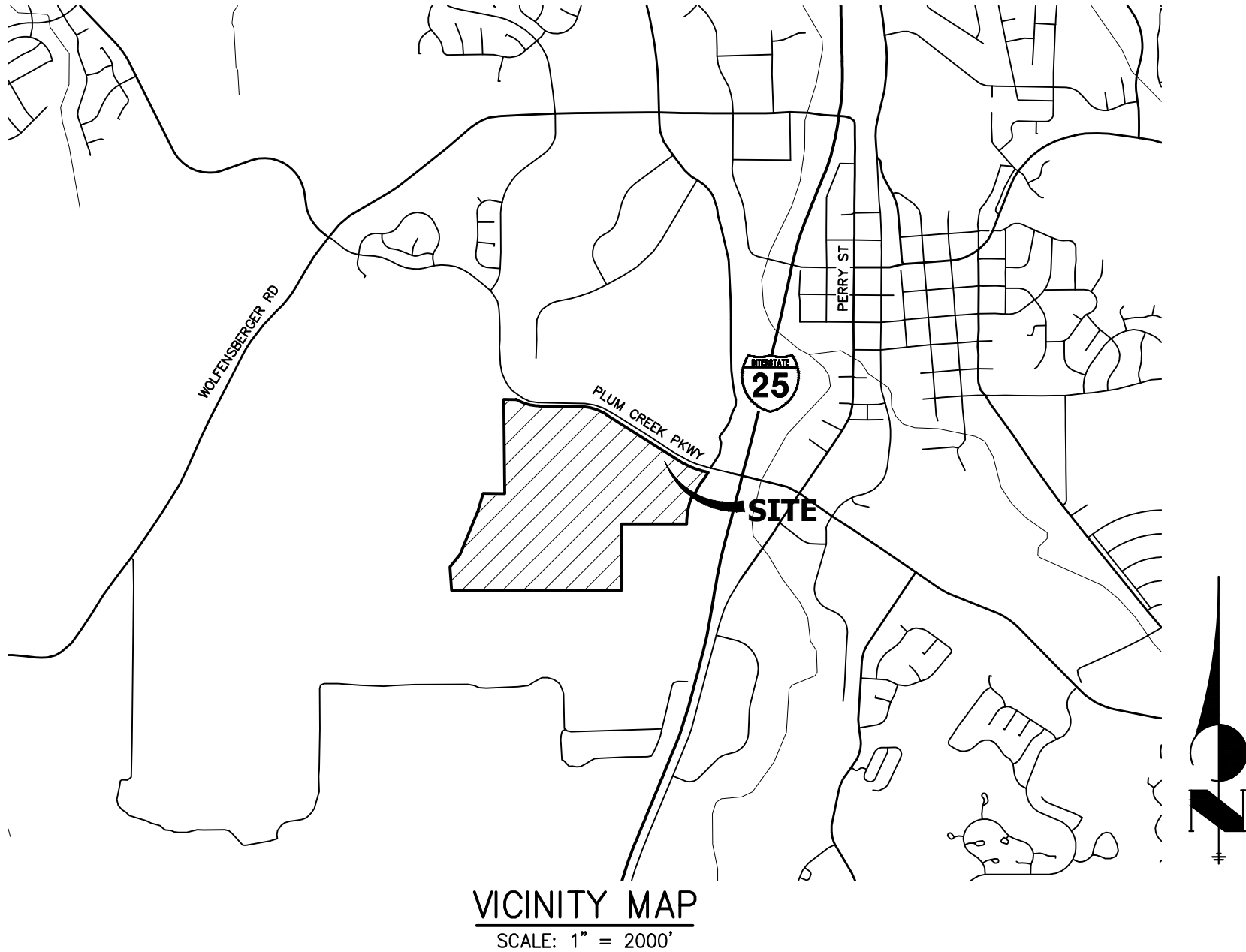
A PARCEL OF LAND BEING A PORTION OF THE SOUTH HALF OF SECTION 10, AND THE SOUTHWEST QUARTER OF SECTION 11,
ALL IN TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN,
TOWN OF CASTLE ROCK, DOUNTY OF DOUGLAS, STATE OF COLORADO
TOWN OF CASTLE ROCK PROJECT NO CD26-0045 GRADING ONLY



Know what's below.
Call before you dig.

COVER SHEET GENERAL NOTES

1. ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE TOWN OF CASTLE ROCK (TCR) MUNICIPAL CODE, TOR TECHNICAL MANUALS, AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE TECHNICAL MANUAL OR ANY APPLICABLE STANDARDS, THE MORE STRINGENT STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE TCR CONSTRUCTION INSPECTOR.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE.
3. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
4. THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE TOWN AND ALL UTILITY COMPANIES INVOLVED WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF ANY UTILITY SERVICE.
5. CONTRACTOR SHALL PROVIDE A MINIMUM SEVENTY-TWO (72) HOURS NOTICE TO THE ON-SITE TCR CONSTRUCTION INSPECTOR, (720) 733-2200, PRIOR TO MAKING ANY CONNECTIONS/TIE-INS TO EXISTING WATER, SANITARY SEWER, AND/OR STORM SEWER SYSTEMS PROVIDED THAT THE UTILITY TIE-IN DOES NOT DISRUPT SERVICE TO EXISTING OR WATER CUSTOMERS. IF THE TIE-IN WILL DISRUPT UTILITY SERVICE, THEN CONTRACTOR SHALL PROVIDE A MINIMUM OF THREE (3) WEEKS NOTICE TO THE TCR CONSTRUCTION INSPECTOR TO ALLOW TIME FOR CR WATER TO PROVIDE WRITTEN NOTIFICATION TO EXISTING CUSTOMERS AFFECTED BY THE TIE-IN. ALL TOWN UTILITY TIE-INS MUST BE APPROVED BY CR WATER PRIOR TO COMMENCING WORK.
6. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE CRITERIA AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB ONSITE AT ALL TIMES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING, BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
8. IF DURING THE CONSTRUCTION PROCESS CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE TCR CONSTRUCTION INSPECTOR IMMEDIATELY.
9. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD UNLESS SPECIFICALLY STATED OTHERWISE.
10. THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN IN ACCORDANCE WITH MUTCD TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (TOWN, COUNTY OR STATE) FOR APPROVAL PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN OR AFFECTING THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.
11. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS SHOWN ON THESE DRAWINGS OR AS DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED UNLESS SPECIFICALLY NOTED OTHERWISE.
12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE AND AVAILABLE TO THE TCR CONSTRUCTION INSPECTOR AT ALL TIMES.
13. DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
14. ALL INITIAL SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PER THE TEMPORARY EROSION & SEDIMENT CONTROL (TESC) PLAN PRIOR TO ANY EARTH-DISTURBING ACTIVITY. ALL EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED IN EFFECTIVE OPERATING CONDITION AT ALL TIMES. REMOVAL OF CONTROL MEASURES SHALL NOT OCCUR WITHOUT THE APPROVAL OF THE STORMWATER INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO CONSTRUCTION GENERAL PERMIT FOR STORMWATER DISCHARGES.
15. THE CONTRACTOR SHALL PROVIDE AN ACTION PLAN IMMEDIATELY FOLLOWING THE PRE-CONSTRUCTION MEETING DETAILING SUFFICIENT MEANS TO MITIGATE DUST ON SITE DURING OVERLOT GRADING, ROCK CRUSHING OR OTHER EARTHWORK ACTIVITIES. IF THE CONTRACTOR FAILS TO CONTROL DUST, ALL EARTH DISTURBING ACTIVITIES SHALL BE STOPPED UNTIL SUFFICIENT MEASURES ARE TAKEN TO THE TOWN'S SATISFACTION. THE CONTRACTOR SHALL ALSO COMPLY WITH ALL TERMS AND CONDITIONS OF THE COLORADO AIR QUALITY REGULATIONS FOR LAND DEVELOPMENT, AS REQUIRED.
16. THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF THE WATER LINES AND DRY UTILITIES.
17. THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS UNLESS SPECIFICALLY APPROVED BY THE TCR CONSTRUCTION INSPECTOR AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DIRECTOR.
18. NO SOLID OBJECT (EXCLUDING FIRE HYDRANTS AND TRAFFIC CONTROL DEVICES AND TRAFFIC SIGNS) EXCEEDING THIRTY (30) INCHES IN HEIGHT ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT STREET, INCLUDING BUT NOT LIMITED TO BUILDINGS, UTILITY CABINETS, WALLS, FENCES, LANDSCAPE PLANTINGS, CROPS, CUT SLOPES, AND BERMS, SHALL BE PLACED WITHIN SIGHT DISTANCE LINES AND SIGHT DISTANCE EASEMENTS.
19. THIS PROPERTY IS LOCATED WITHIN ZONE X AS PER FEMA FIRM PANEL NO. 01696 DATED MARCH 16, 2016.
20. A TIME AND MATERIALS UTILITY PERMIT WILL BE REQUIRED WHERE SITE WILL TIE INTO OR CROSS CRITICAL INFRASTRUCTURE. TMU PERMIT FEES PER THE TMU COST ESTIMATE WILL BE REQUIRED TO BE PAID PRIOR TO CONSTRUCTION.
21. GRADING WITHIN TOWN PLD AND/OR OPEN SPACE REQUIRES PRIOR APPROVAL AND A DEDICATED SLOPE EASEMENT GRANTED TO THE HOA OR METRO DISTRICT. THE EASEMENT ALLOWS LIMITED LAND DISTURBANCE AND MUST COMPLY WITH THE TOWN'S TESC MANUAL. THE HOA/METRO DISTRICT IS RESPONSIBLE FOR ONGOING MAINTENANCE, EROSION CONTROL, AND REPAIRING ANY OFF-SITE IMPACTS AT THEIR EXPENSE.
22. PURSUANT TO THE TOWN OF CASTLE ROCK LANDSCAPE REGULATIONS THE PROPERTY OWNER, METRO-DISTRICT, SUBSEQUENT OWNERS, HEIRS, SUCCESSORS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO THE APPROVED CONSTRUCTION DOCUMENTS. STREETSCAPE LANDSCAPING WITHIN PUBLIC RIGHTS-OF-WAY AND THAT WHICH IS INSTALLED OUTSIDE OF RIGHT-OF-WAY, ARE TO BE MAINTAINED BY THE ADJACENT PRIVATE PROPERTY OWNER OR THE HOMEOWNER/PROPERTY OWNER ASSOCIATION, AS APPLICABLE. SHOULD STREETSCAPE OR OTHER CD APPROVED LANDSCAPING BE INSTALLED ON TOWN OWNED LANDS, THE METRO-DISTRICT, HOA, OR PRIVATE PROPERTY OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE LANDSCAPING. LANDSCAPING SHALL BE CONTINUOUSLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, MOWING, PEST CONTROL, AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL. UPON WRITTEN NOTICE BY THE TOWN, THE OWNER WILL HAVE 45 DAYS TO CURE OR REPLACE DAMAGED OR DEAD LANDSCAPE MATERIAL. IN THE CASE OF DISEASED LANDSCAPE MATERIAL, A SHORTER COMPLIANCE PERIOD MAY BE SPECIFIED IN SAID NOTICE. THE TOWN OF CASTLE ROCK WATER CONSERVATION ORDINANCE REGULATES TIMES OF SEASONAL IRRIGATION AND PROHIBITS THE WASTING OF POTABLE WATER THROUGH IMPROPER IRRIGATION.
23. BENCHMARK: DOUGLAS COUNTY MONUMENT 3.015020, MONUMENTED BY A 3-1/4" ALUMINUM CAP STAMPED "3.015020", LOCATED AT LATITUDE 39°22'09.473"N, LONGITUDE 104°52'04.506"W, SAID MONUMENT HAVING A PUBLISHED ELEVATION OF 1,914.65 METERS OR 6281.65 US SURVEY FEET (NAVD88).
24. BASIS OF BEARINGS: THE BASIS OF BEARINGS IS THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MONUMENTED AT THE CENTER QUARTER CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "AZTEC LS 36567", AND AT THE EAST QUARTER CORNER BY A 2" BRASS CAP STAMPED "LS 6935" BEARING S89°27'29"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE, NAD(83)



SHEET INDEX

1	COVER SHEET
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2	TOTAL

INDEMNIFICATION AND ADHERENCE TO STANDARDS STATEMENTS

THESE PLANS HAVE BEEN REVIEWED BY THE TOWN OF CASTLE ROCK FOR CONCEPT ONLY. THE REVIEW DOES NOT IMPLY RESPONSIBILITY BY THE REVIEWING DEPARTMENT, THE TOWN ENGINEER, OR THE TOWN OF CASTLE ROCK FOR ACCURACY AND CORRECTNESS OF THE CALCULATIONS. FURTHERMORE, THE REVIEW DOES NOT IMPLY THAT QUANTITIES OF ITEMS ON THE PLANS ARE THE FINAL QUANTITIES REQUIRED. THE REVIEW SHALL NOT BE CONSTRUED FOR ANY REASON AS ACCEPTANCE OF FINANCIAL RESPONSIBILITY BY THE TOWN FOR ADDITIONAL QUANTITIES OF ITEMS SHOWN THAT MAY BE REQUIRED DURING THE CONSTRUCTION PHASE.

ALL WORK SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TOWN OF CASTLE ROCK MUNICIPAL CODE, TECHNICAL MANUALS, AND/OR OTHER TOWN-APPROVED APPLICABLE STANDARDS.

FCO#	DATE	PURPOSE/DESCRIPTION

APPLICANT/OWNER/DEVELOPER

CASTLE MEADOWS JOINT VENTURE, LLC
MR. LAWRENCE JACOBSON
4100 E. MISSISSIPPI AVE,
SUITE 500
DENVER, CO 80246
P~303.984.9800

CIVIL ENGINEER/SURVEYOR

JR ENGINEERING
7200 SOUTH ALTON WAY
SUITE C400
CENTENNIAL, CO
P~303.740.9393



JR ENGINEERING

CASTLE ROCK WATER

175 KELLOOGS COURT
BUILDING 171
CASTLE ROCK, CO 80109

NATURAL GAS

BLACK HILLS ENERGY
1769 PARK ST
CASTLE ROCK, CO 80109
RON ZUROFF 303-688-0984

ELECTRIC DEPARTMENT

CORE ELECTRIC COOP
5496 N. US HWY 85
SEDALIA, COLORADO 80135
AUSTA MANGUS 303-688-3100

PUBLIC WORKS DEPARTMENT

CASTLE ROCK PUBLIC WORKS
4175 CASTLETON CT
CASTLE ROCK, CO 80109
720-733-2462

TOWN APPROVAL BLOCK:

TOWN OF CASTLE ROCK APPROVAL
PLANS ARE HEREBY APPROVED FOR ONE YEAR FROM
DATE OF DEVELOPMENT SERVICES APPROVAL

APPROVED BY:

DEVELOPMENT SERVICES

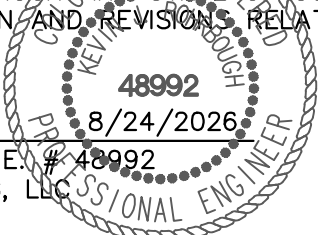
DATE

PROFESSIONAL ENGINEER CERTIFICATION

I HEREBY AFFIRM THAT THESE FINAL CONSTRUCTION PLANS WERE PREPARED UNDER MY DIRECT SUPERVISION, IN ACCORDANCE WITH ALL APPLICABLE TOWN OF CASTLE ROCK AND STATE OF COLORADO STANDARDS AND STATUTES, RESPECTIVELY; AND THAT I AM FULLY RESPONSIBLE FOR ALL DESIGN AND REVISIONS RELATIVE TO SAID PLANS.

Kevin J. Rohrbough

KEVIN J. ROHRBOUGH, P.E., COLORADO P.E. # 48992
FOR AND ON BEHALF OF JR ENGINEERING, LLC



PREPARED FOR

CASTLE MEADOWS
JOINT VENTURE, LLC
MR. LAWRENCE JACOBSON
4100 E. MISSISSIPPI AVE,
SUITE 500
DENVER, CO 80246

JR ENGINEERING
A Westman Company



Centennial 303-740-9393 • Colorado Springs 719-593-2593
Fort Collins 970-491-9988 • www.jrengineering.com

BY DATE

JFK 8/24/26

REVISION

CD26-0045 ISSUED FOR CONSTRUCTION

No.

1

H-SCALE

N/A

DESIGNED BY

KF

DRAWN BY

KF

CHECKED BY

KJR

CASTLE MEADOWS FILING NO. 1

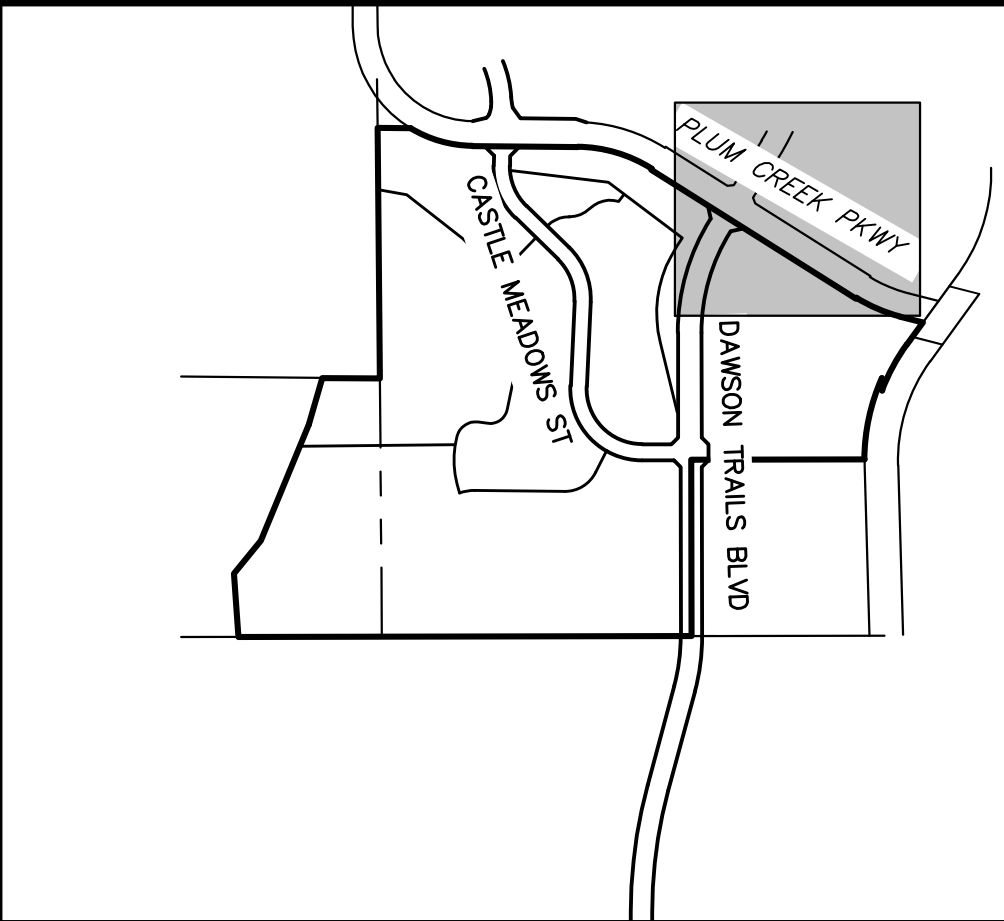
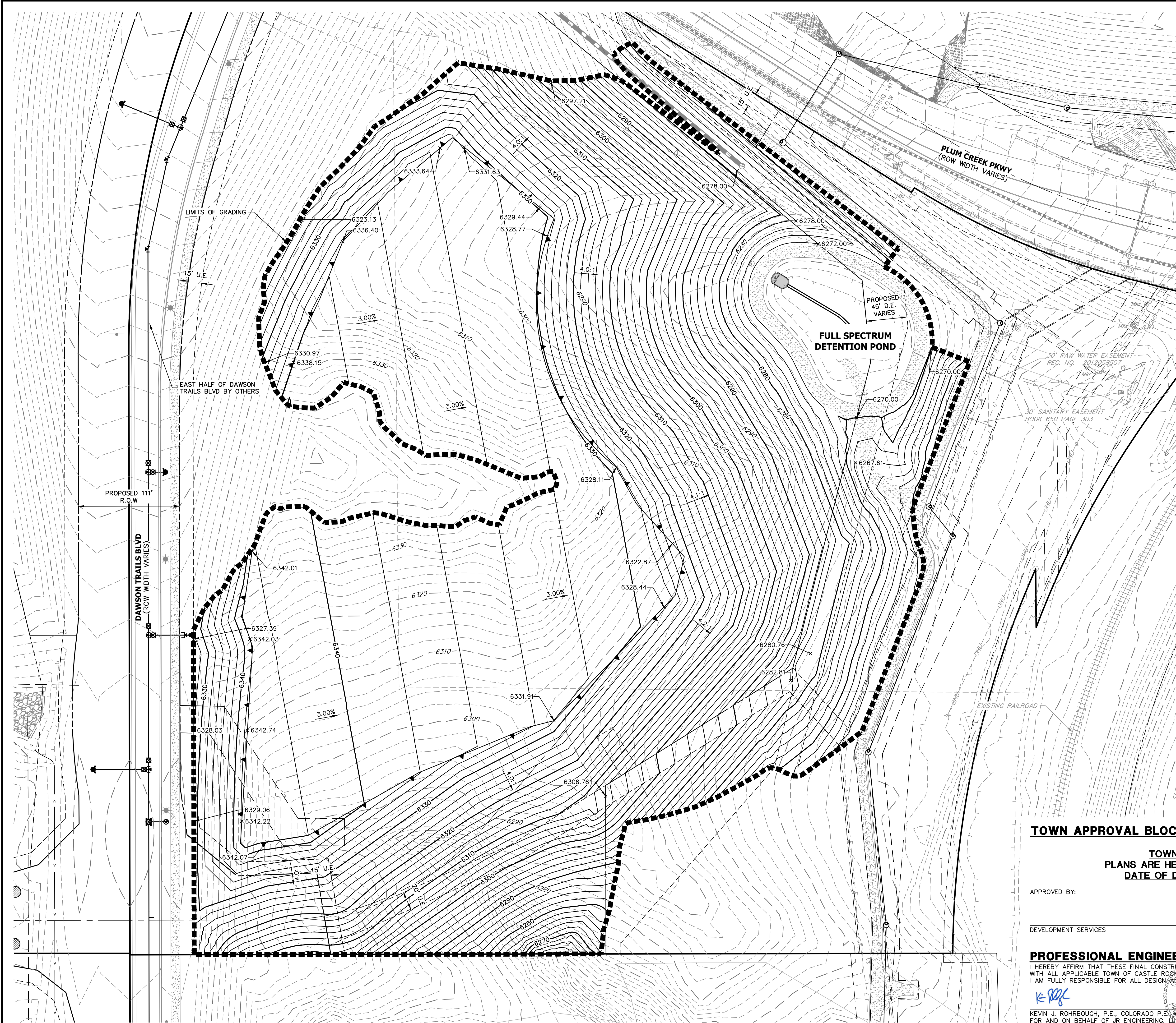
COVER SHEET

CD26-0045

SHEET 1 OF 2

JOB NO. 15856.20

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KEY MAP
SCALE: 1" = 1000'

811
Know what's below.
Call before you dig.

50 25 0 50 100
ORIGINAL SCALE: 1" = 50'

LEGEND

RIGHT OF WAY	_____
PROPERTY LINE	_____
BOUNDARY LINE	_____
SECTION LINE	_____
CENTERLINE	_____
EASEMENT LINE	_____
PROPOSED CURB & GUTTER	_____
EXISTING CURB & GUTTER	_____
PROPOSED INDEX CONTOUR	_____ 6100 _____
PROPOSED INTERMEDIATE CONTOUR	_____
EXISTING INDEX CONTOUR	_____ 6100 _____
EXISTING INTERMEDIATE CONTOUR	_____
PROPOSED TOP OF SLOPE	_____
PROPOSED TOE OF SLOPE	_____
PROPOSED FLOW ARROW	→
PROPOSED STORM INLET	■
EXISTING STORM INLET	⊙
PROPOSED MANHOLE	⊙
EXISTING MANHOLE	⊙
LIMITS OF GRADING	-----

BASIS OF BEARING

BASIS OF BEARINGS: THE BASIS OF BEARINGS IS THE NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN BEING MONUMENTED AT THE CENTER QUARTER CORNER BY A 3-1/4" ALUMINUM CAP STAMPED "AZTEC LS 36567", AND AT THE EAST QUARTER CORNER BY A 2" BRASS CAP STAMPED "LS 6935" BEARING S89°27'29"E AS REFERENCED TO COLORADO STATE PLANE CENTRAL ZONE. NAD(83)

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TOWN OF CASTLE ROCK APPROVAL
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APPROVED BY: _____ DATE: _____

DEVELOPMENT SERVICES _____

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Kevin J. Rohrbough
KEVIN J. ROHRBOUGH, P.E., COLORADO P.E. # 48992
FOR AND ON BEHALF OF JR ENGINEERING, LLC

48992
8/24/2026
PROFESSIONAL ENGINEER

UNTIL SUCH TIME AS THESE DRAWINGS ARE APPROVED BY THE AGENCIES, OR ENGINEERING APPROVES THEIR USE, THESE DRAWINGS ARE DESIGNATED BY WRITTEN AUTHORIZATION.

PREPARED FOR
CASTLE MEADOWS
JOINT VENTURE, LLC
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Fort Collins 970-491-9888 • www.jrengineering.com

REVISION	BY	DATE
1	JFK	8/24/26

1"=50'	H-SCALE	V-SCALE	DATE	DESIGNED BY	DRAWN BY	CHECKED BY
N/A			8/24/26	KF	KF	KJR

CASTLE MEADOWS FILING NO. 1

OVERLOT GRADING PLAN

SHEET 2 OF 2

JOB NO. 15856.20